

Robert Evans  
Argent (Kings Cross) Ltd  
London & Continental Railways Ltd  
and Exel PLC  
c/o 5 Albany Courtyard  
London  
W1J 0HF

Application Ref: **2006/3220/P**  
Please ask for: **Gavin Sexton**  
Telephone: 020 7974 **3231**

22 November 2007

Dear Sir/Madam

## **DECISION**

Town and Country Planning Acts 1990 (as amended)  
Town and Country Planning (General Development Procedure) Order 1995  
Town and Country Planning (Applications) Regulations 1988

### **Full Planning Permission Granted Subject to a Section 106 Legal Agreement**

Address:

**Great Northern Hotel**

**Pancras Road**

**King's Cross,  
London**

Proposal:

Demolition of internal and external elements at ground and basement levels and alterations to provide grade-level pedestrian arcade with openings on all four sides; alterations to existing windows to provide doorways to retained ground floor foyer; installation of ground floor shutters in north east elevation; two new retail units (Class A1) at ground floor; all in connection with facilitating pedestrian access and movement related to new King's Cross station western concourse abutting northeastern elevation.

Drawing Nos: Location Plan 452\_05\_001; Site Plan 452\_05\_002 P2; 452\_05\_100 P5, 101 P4, 102 P5, 103 P5, 104 P5, 105 P5, 106 P4, 110 P5, 200 P4, 201 P4, 202 P4, 203 P3, 204 P3, 300 P7, 301 P5, 302 P5, 303 P5;  
52\_06\_100 P14, 101 P8, 102 P5, 103 P5, 104 P5, 105 P5, 106 P4, 110 P10, 200 P6, 201



P6, 202 P8, 203 P9, 204 P5, 300 P8, 301 P6, 302 P6, 303 P8, 400 P8, 700 P8, 701 P8, 702 P5, 703 P5, 704 P4, 705 P5, 706 P1, 707 P1, 708 P1;  
452\_07\_100 P7, 101 P5, 110 P6, 200 P5, 201 P5, 202 P5, 203 P4, 204 P3, 300 P6, 301 P6, 302 P5, 303 P5, 700 P6, 701 P5, 702 P5, 703 P5, 704 P5, 705 P6, 706 P2, 707 P1;

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 Details of the roller shutters to be fitted to the ground floor concave elevation of the Hotel shall be submitted to and approved by the Council before the relevant parts of the works are commenced. Such details to include: manufacturer specifications including details of finishes, detailed and contextual elevations showing shutter in the closed and open positions (at a scale of 1:20). The relevant work shall be carried out in accordance with such details thus approved.

Reason: To safeguard the appearance of the premises and to preserve the character and appearance of the conservation area in accordance with the requirements of policies B1 and B7 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 3 Samples or manufacturer details as appropriate of the proposed flooring material, white concrete surface treatment and metal pillar guards to the ground floor shall be submitted to and approved by the Council before the relevant parts of the works are commenced and the development shall be carried out in accordance with the approval given.

Reason: To safeguard the appearance of the premises and to preserve the character and appearance of the conservation area in accordance with the requirements of policies B1 and B7 of the London Borough of Camden Replacement Unitary Development Plan 2006.

Informative(s):

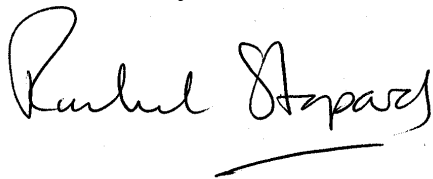
- 1 Reasons for granting permission.

The proposed development is in general accordance with the policy requirements of the London Borough of Camden Replacement Unitary Development Plan 2006, with particular regard to policies SD1, SD2, B1, B3, B6, B7, KC8 and KC11. For a more detailed understanding of the reasons for the granting of this planning permission, please refer to the officers report.

- 2 It is expected that the design details of all wayfinding and signage related to the operation of the adjoining station will be in agreement with the signage and advertising strategy to be submitted by NR as part of the conditions for the station.
- 3 Advertisements: This permission is granted without prejudice to the necessity of obtaining consent under the Town and Country Planning (Control of Advertisements) Regulations 1992, which includes shopfront fascia and signage. Application forms may be obtained from the Council's One Stop Reception, Environment Department, Camden Town Hall, Argyle Street WC1H 8EQ. (Tel: 020-7278 4444 or email [env.devcon@camden.gov.uk](mailto:env.devcon@camden.gov.uk) or on [www.camden.gov.uk/planning](http://www.camden.gov.uk/planning))
- 4 Nothing in this permission grants consent for uses above the first floor slab - these are covered in application 2004/2307/P.

Your attention is drawn to the notes attached to this notice which tell you about your Rights of Appeal and other information.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Rachel Stopard', with a horizontal line underneath.

Rachel Stopard  
Director of Culture & Environment

It's easy to make, pay for, track and comment on planning applications on line. Just go to [www.camden.gov.uk/planning](http://www.camden.gov.uk/planning).