

KEY:

- 1. Allow to demolish internal partition
- 2. Expose all service runs by removing tiles to walls and floors
- 3. Allow to remove roof lights at a later stage ensuring that site is secure
- 4. Carefully demolish the existing boundary wall in 1m sections to retain neighbors ground level and rebuild external wall.
- 5. Existing tree to be removed in line with arboricultural report
- 6. Allow to excavate area as shown to meet the requirements of the newly proposed patio design.
- 7. Treatment of wall to be confirmed. Refer to AS518. Contractor to complete 300x300mm test area before decision.
- 8. Allow to excavate existing plant room floor by 150mm below existing level.

Allow to remove unless otherwise stated :

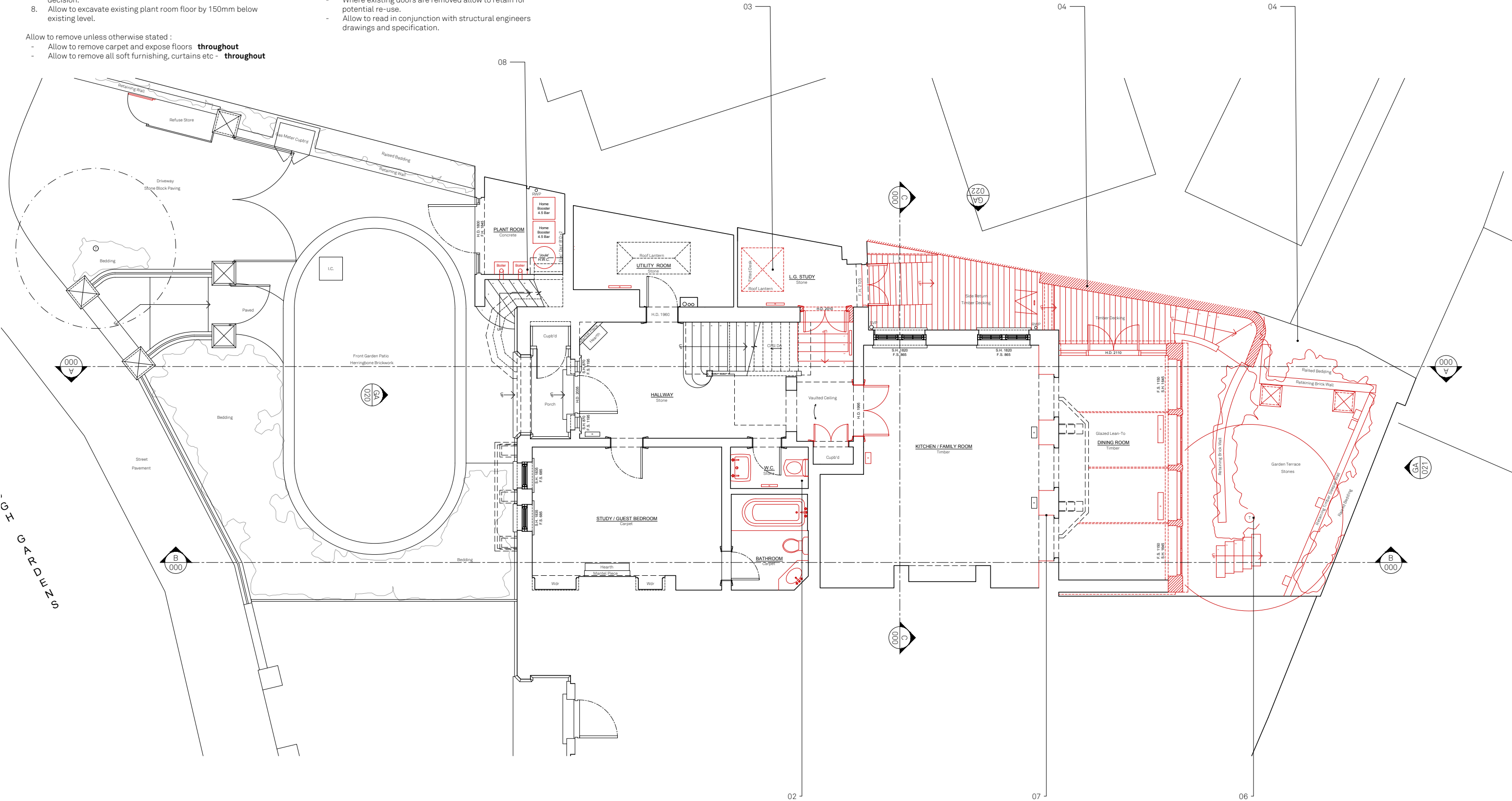
- Allow to remove carpet and expose floors **throughout**
- Allow to remove all soft furnishing, curtains etc - **throughout**

- Allow to remove all fitted furniture including kitchen carcasses - **throughout**
- Allow to remove all sanitary ware and retain for re-use
- Remove and retain all disconnected appliances
- Remove all light fittings - **throughout**

Note :

- Contractor to investigate all service runs - **throughout**
- Contractor to assess current plumbing set up - **throughout**
- Contractor to Investigate and record conditions of all windows and openings - **throughout**
- Where existing doors are removed allow to retain for potential re-use.
- Allow to read in conjunction with structural engineers drawings and specification.

ELEMENTS TO BE DEMOLISHED

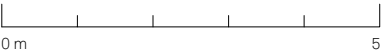


T1 06/04/23 SC/AM Issued for tender

REV DATE DRAWN/CHK DESCRIPTION

GAINSBOROUGH GARDENS  
GA101 rev- EXISTING GROUND FLOOR DEMOLITION PLAN

22080\_TENDER\_Published 10/07/23



Scale 1:100 @ A3



North

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KEY:

- 1. Allow to remove roof lights at a later stage ensuring that site is secure
- 2. Remove existing rear extension.
- 3. Existing tree to be removed in line with arboricultural report
- 4. Create opening in existing floor for trench heater installation
- 5. Remove existing asphalt roof lining and flashings. Contractor to remove 300x300mm test area and relaying information to project Architect before proceeding with removing full area.

Allow to remove unless otherwise stated :

- Allow to remove carpet and expose floors **throughout**
- Allow to remove all soft furnishing, curtains etc - **throughout**
- Allow to remove all fitted furniture
- Allow to remove all sanitary ware and retain for re-use.

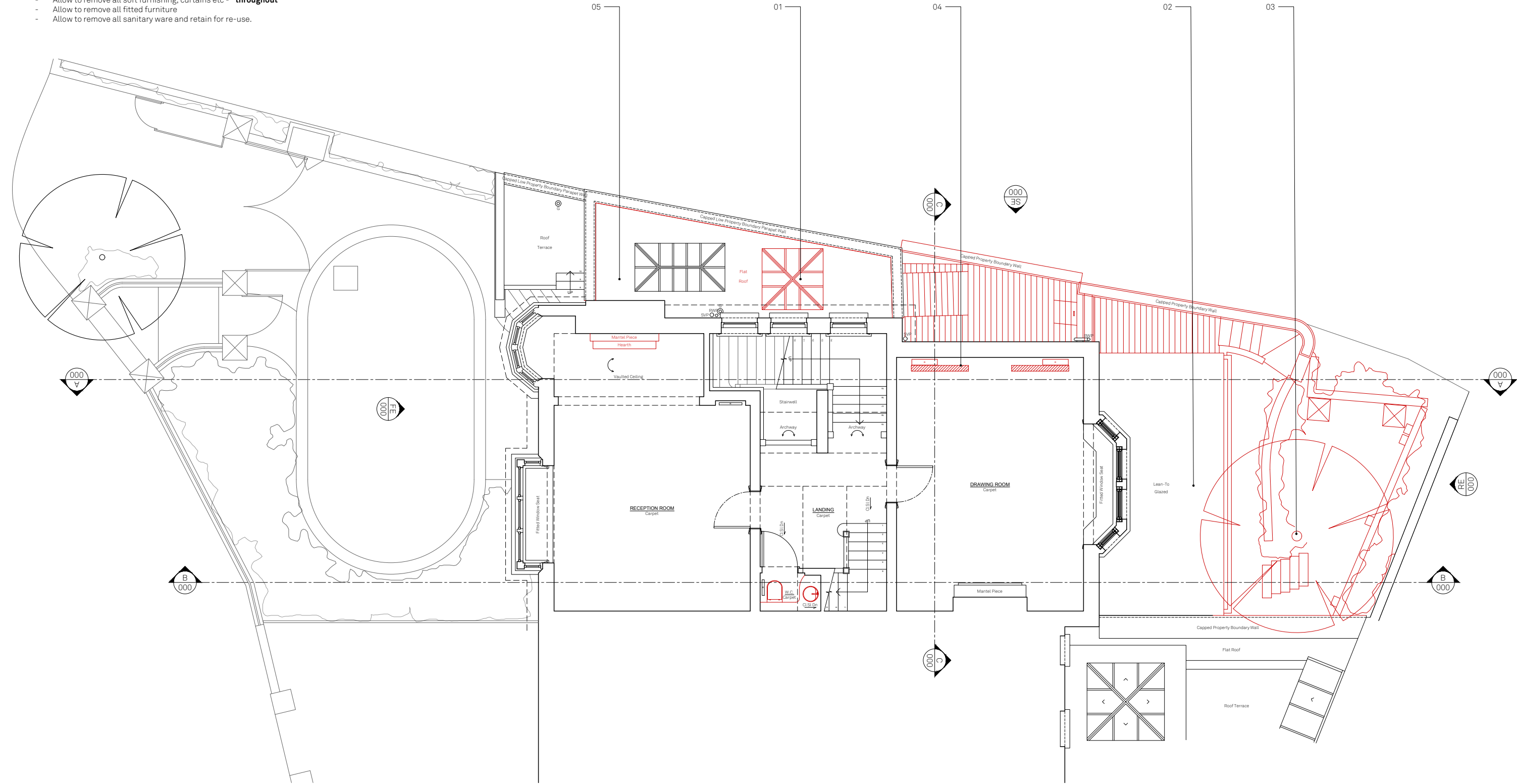
- Remove and retain all disconnected appliances
- Remove all light fittings - **throughout**

Note :

- Contractor to investigate all service runs - **throughout**
- Contractor to assess current plumbing set up - **throughout**
- Contractor to Investigate and record conditions of all windows and openings - **throughout**
- Allow to read in conjunction with structural engineers drawings and specification.

ELEMENTS TO BE DEMOLISHED

DRAWINGS AS PER LISTED BUILDING  
CONSENT APPLICATION  
REF.: 2022/3636/L

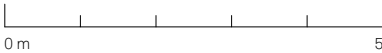


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REV DATE DRAWN/CHK DESCRIPTION

**GAINSBOROUGH GARDENS**  
GA102 rev- EXISTING 1ST FLOOR DEMOLITION PLAN

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KEY:

- 1. Allow to demolish internal partition
- 2. Allow to remove roof lights at a later stage ensuring that site is secure
- 3. Remove but retain existing fireplace surrounds. Allow to shift fireplace recess in dressing room.

Allow to remove unless otherwise stated :

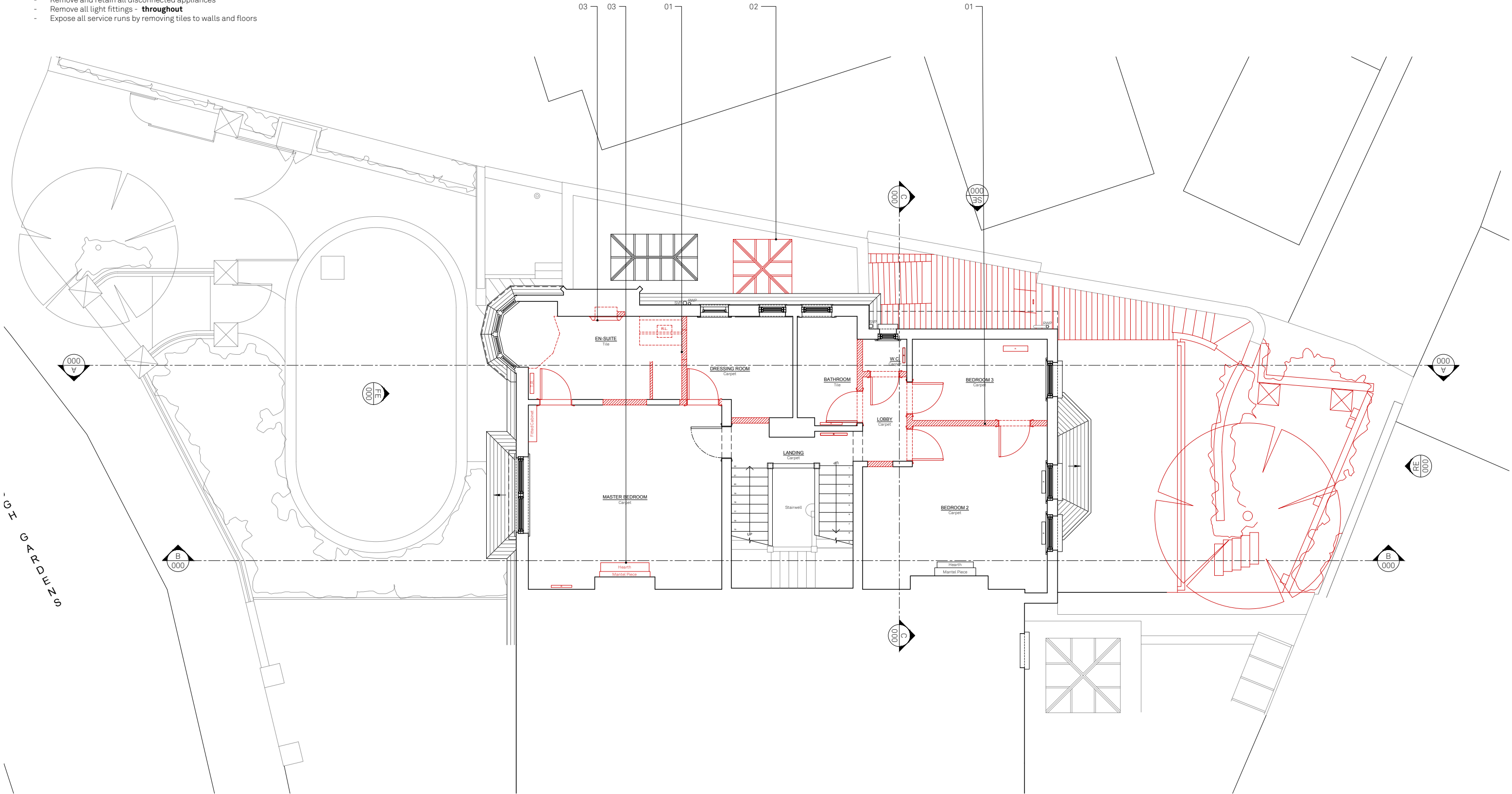
- Allow to remove carpet and expose floors **throughout**
- Allow to remove all soft furnishing, curtains etc - **throughout**
- Allow to remove all fitted furniture including kitchen carcasses - **throughout**
- Allow to remove all sanitary ware and retain for re-use.
- Remove and retain all disconnected appliances
- Remove all light fittings - **throughout**
- Expose all service runs by removing tiles to walls and floors

Note :

- Contractor to investigate all service runs - **throughout**
- Contractor to assess current plumbing set up - **throughout**
- Contractor to Investigate and record conditions of all windows and openings - **throughout**
- Allow to read in conjunction with structural engineers drawings and specification.

ELEMENTS TO BE DEMOLISHED

DRAWINGS AS PER LISTED BUILDING  
CONSENT APPLICATION  
REF.: 2022/3636/L

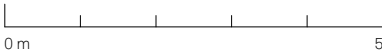


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REV DATE DRAWN/CHK DESCRIPTION

GAINSBOROUGH GARDENS  
GA103 rev- EXISTING 2ND FLOOR DEMOLITION PLAN

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KEY:

- 1. Allow to demolish internal partition
- 2. Allow to remove roof lights at a later stage ensuring that site is secure

Allow to remove unless otherwise stated :

- Allow to remove carpet and expose floors **throughout**
- Allow to remove all soft furnishing, curtains etc - **throughout**
- Allow to remove all fitted furniture including kitchen carcasses **throughout**
- Allow to remove all sanitary ware and retain for re-use.
- Remove and retain all disconnected appliances

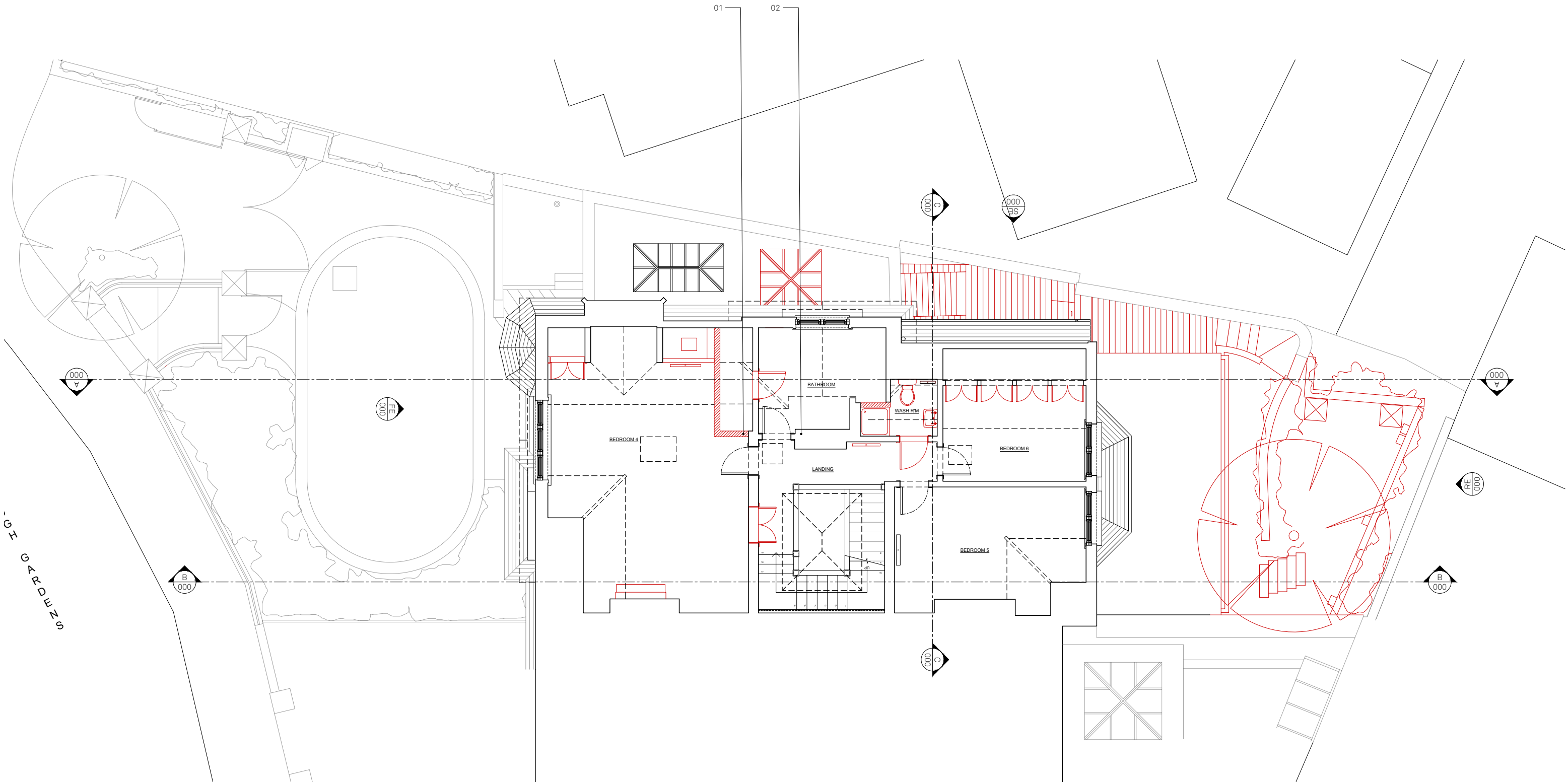
- Remove all light fittings - **throughout**
- Expose all service runs by removing tiles to walls and floors

Note :

- Contractor to investigate all service runs - **throughout**
- Contractor to assess current plumbing set up - **throughout**
- Contractor to Investigate and record conditions of all windows and openings - **throughout**
- Allow to read in conjunction with structural engineers drawings and specification.

ELEMENTS TO BE DEMOLISHED

DRAWINGS AS PER LISTED BUILDING  
CONSENT APPLICATION  
REF.: 2022/3636/L

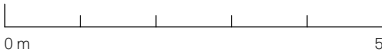


T1 06/04/23 SC/AM Issued for tender

REV DATE DRAWN/CHK DESCRIPTION

**GAINSBOROUGH GARDENS**  
GA104 rev- EXISTING 3RD FLOOR DEMOLITION PLAN

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