

Flat 5, 15 Lindfield Gardens, NW3 6PX
Discharge of Conditions, June 2023

21.06.2023

MATA ARCHITECTS

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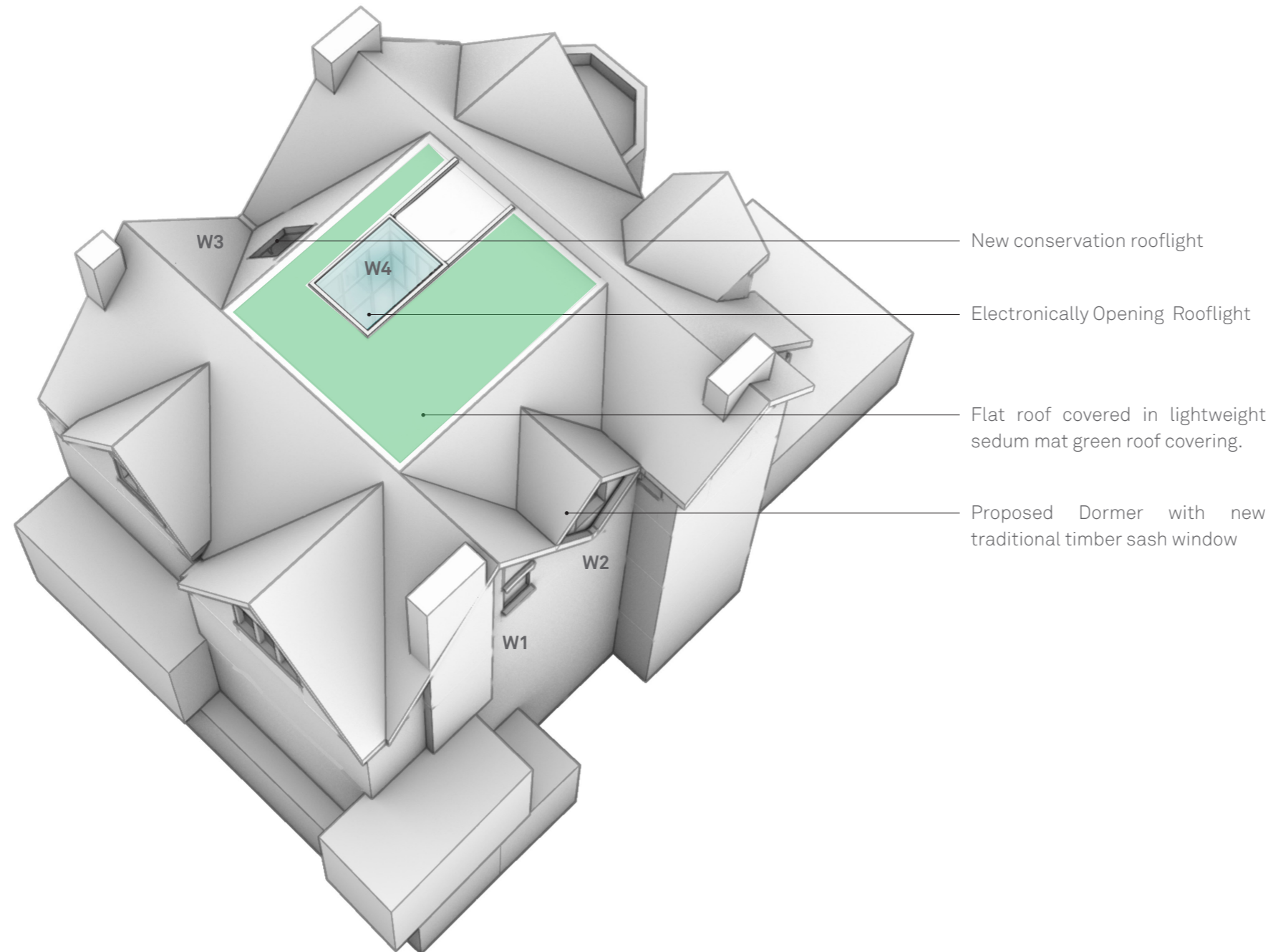
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1.0 SUMMARY OF WORKS



Birdseye View - Proposed Roof Form
NTS

1.1 SUMMARY OF WORKS

Application Ref: 2023/0283/P

Erection of a rooftop extension with flat green roof and rooflight within valley roofslope to provide additional accommodation for top floor flat, plus installation of rooflight on south roofslope, dormer window on north roofslope and associated external works.

2.0 PLANNING RESPONSE

Application ref: 2023/0283/P
Contact: Daren Zuk
Tel: 020 7974 3368
Email: Daren.Zuk@camden.gov.uk
Date: 27 April 2023

SM Planning
80-83 Long Lane
London
EC1A 9ET



Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk/planning

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
15 Lindfield Gardens
London
NW3 6PX

Proposal:
Erection of rooftop extension with flat green roof and rooflight within valley roofslope to provide additional accommodation for top floor flat, plus installation of rooflight on south roofslope, dormer window on north roofslope, and associated exterior works
Drawing Nos: P001, P100, P101, P120, P121, P122, P130, P131, P200/A, P201/A, P220/A, P221/A, P222, P230/A, P231/A, Design & Access Statement, and Covering Letter

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the

following approved plans:
P001, P100, P101, P120, P121, P122, P130, P131, P200/A, P201/A, P220/A, P221/A, P222, P230/A, P231/A, Design & Access Statement, Covering Letter

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

- a) Details including sections at 1:10 of all windows and rooflights (including jambs, head and sill).
- b) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 The side dormer window and reinstated window along the north elevation facing no.17 Lindfield Gardens shall be fully obscure glazed. The obscure glazing shall be retained in perpetuity thereafter.

Reason: In order to prevent overlooking of the neighbouring occupiers in accordance with the requirements of policy A1 of the London Borough of Camden Local Plan 2017.

- 5 Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include:

- i. a detailed scheme of maintenance;
- ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used; and
- iii. full details of planting species and density.

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

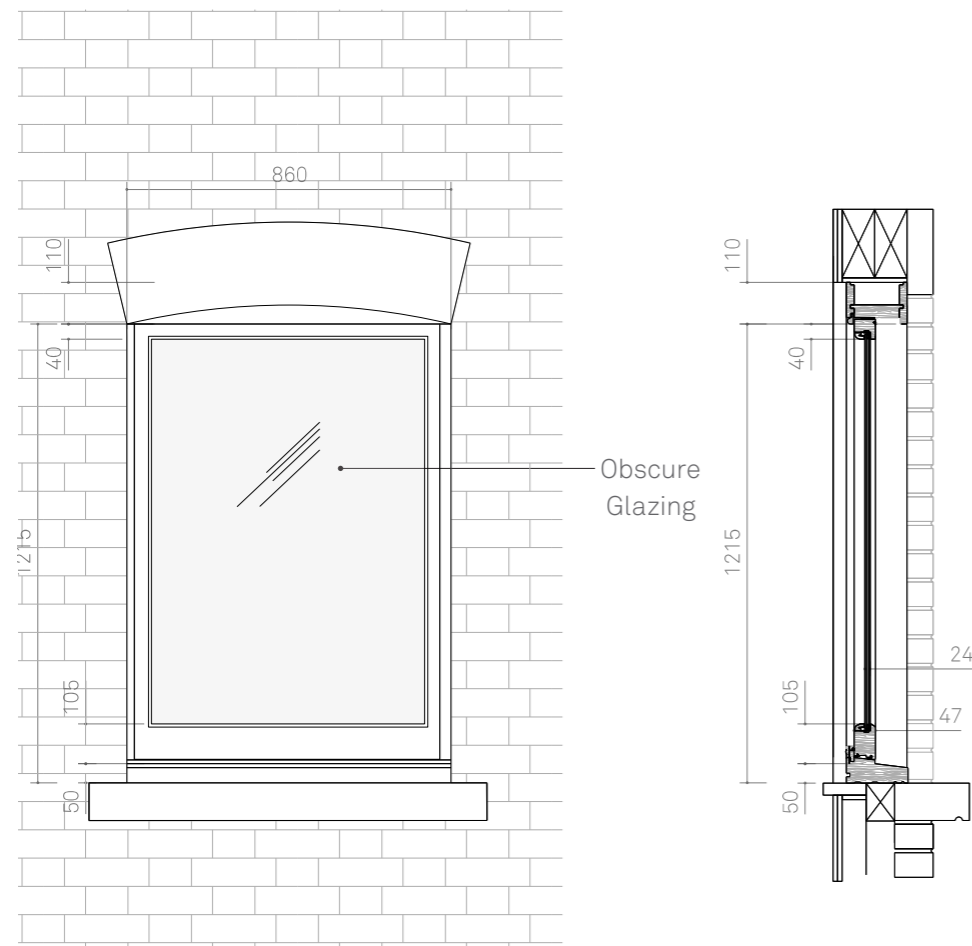
Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

Informative(s):

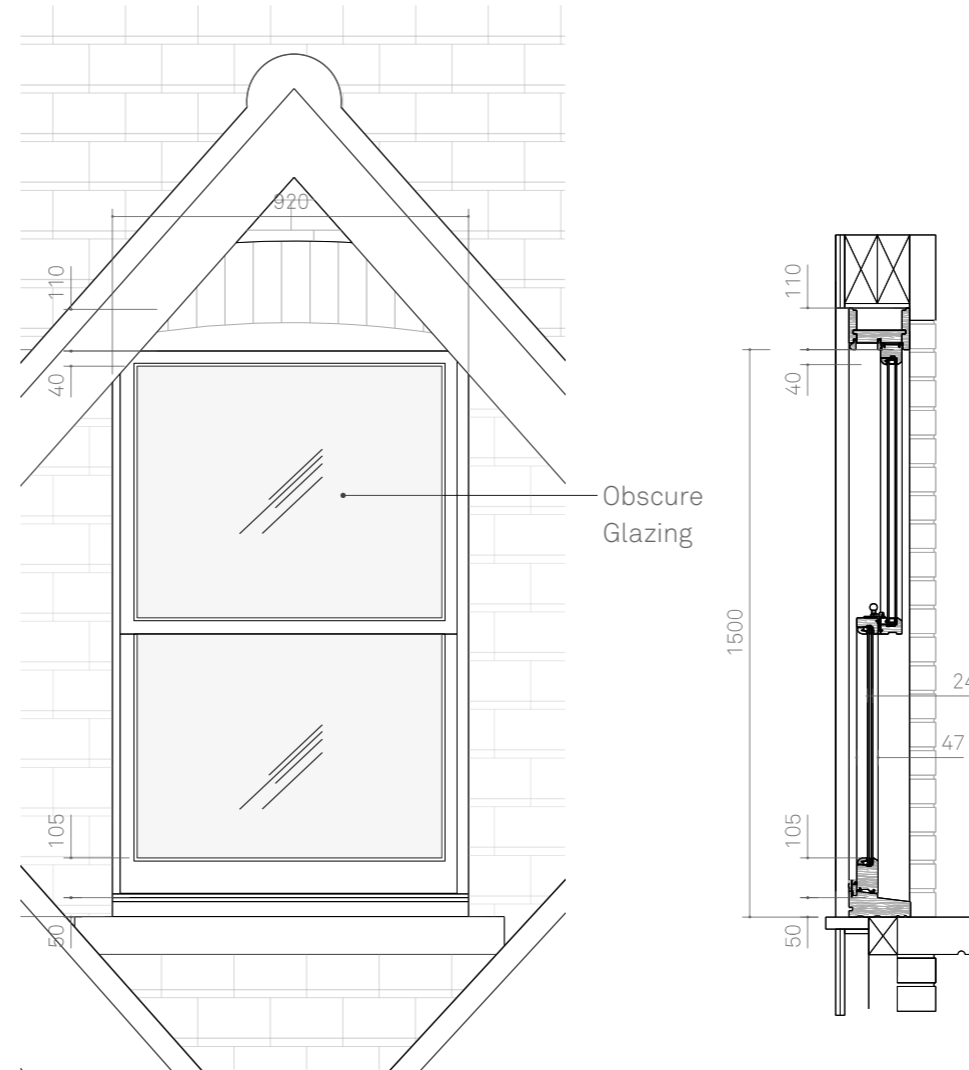
2.1 APPROVAL WITH CONDITIONS

This application seeks to discharge the conditions no.3, 4 & 5 of the approval for the works to Flat 5 at 15 Lindfield Gardens.

3.0 CONDITION 3(A)



W1
Timber Framed Window
Elevation, Plan and Section
Scale 1:20

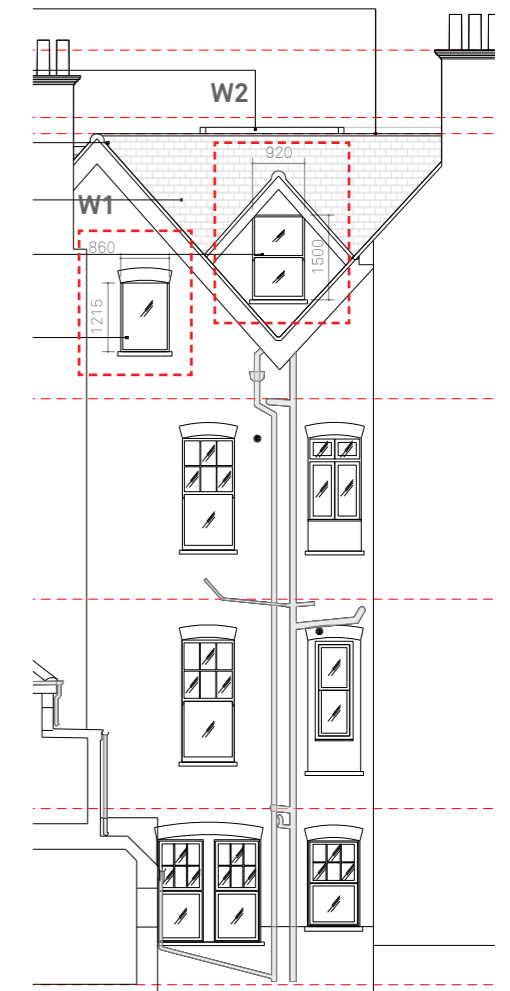


W2
Timber Sash Window
Elevation, Plan and Section
Scale 1:20

3.1 TIMBER SASH WINDOW

a) Details including sections at 1:10 of all windows and rooflights (including jambs, head and cill).

See appendix drawing:
A22-009 - 900 - Glazing Schedule W1,
A22-009 - 901 - Glazing Schedule W2

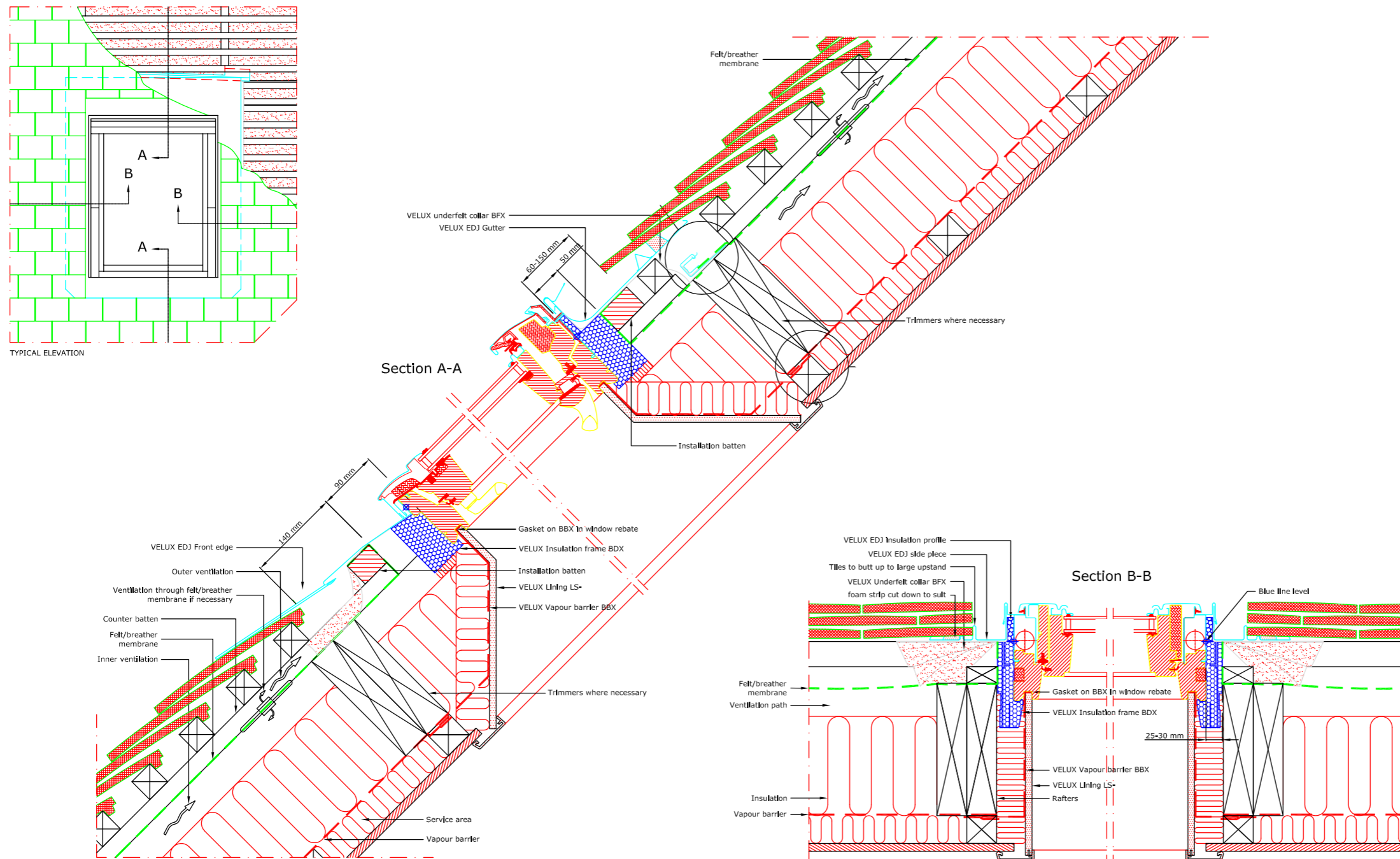


P22-009 - 220 - Proposed North West
Elevation
Not To Scale

3.2 CONSERVATION ROOFLIGHT

a) Details including sections at 1:10 of all windows and rooflights (including jambs, head and cill).

Spec of Rooflight:
 Conservation Velux, GGL SK10 2870H
 EDN SK10 2800 Special Conservation Flashing
 Dimensions: 1140 x 1600mm



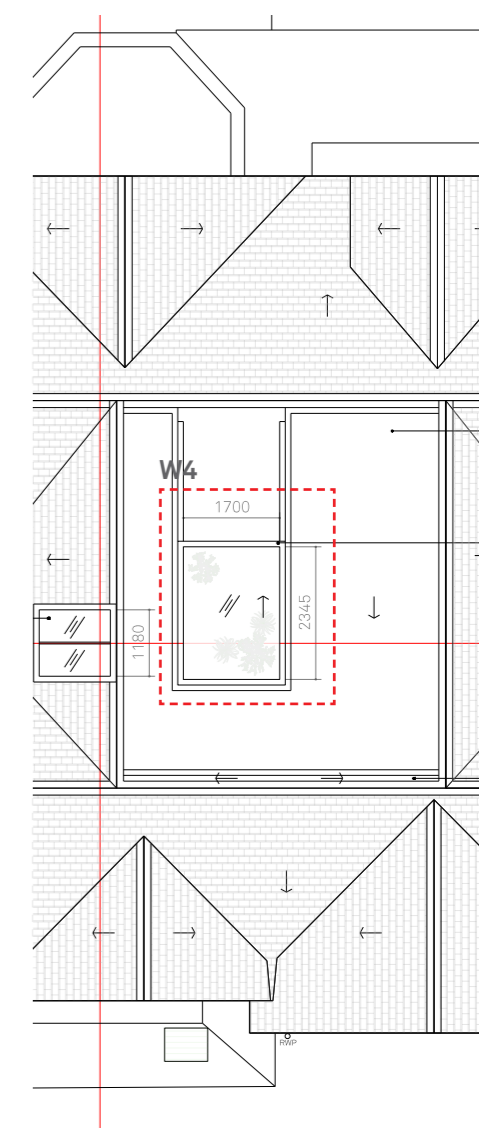
W3
 Velux Conservation Rooflight
 Elevation, Section AA, Section BB
 Not to Scale
 See Appendix drawing: Velux Conservation
 Rooflight Technical Detail

P22-009 - 221 - Proposed South East
 Elevation
 Not To Scale

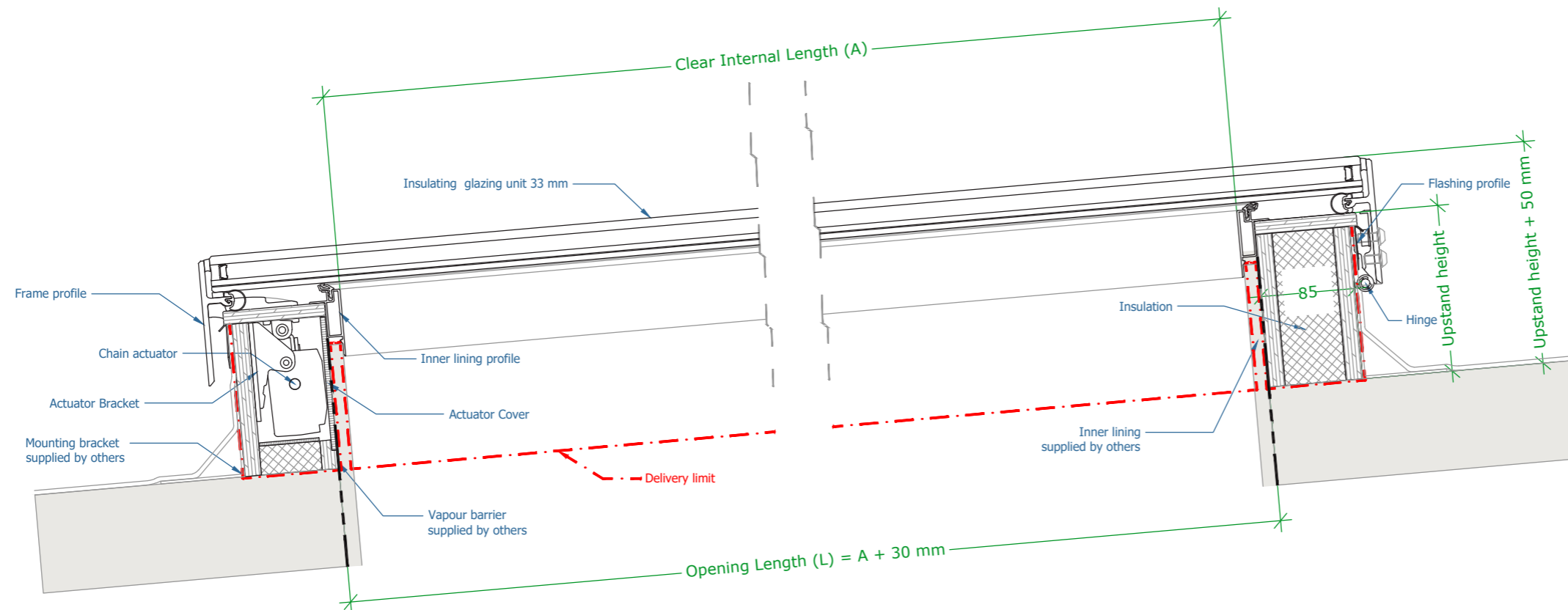
3.3 ELECTRONICALLY OPENING FLAT ROOFLIGHT

a) Details including sections at 1:10 of all windows and rooflights (including jambs, head and cill).

Spec of Rooflight:
Velux Vario Flat Roof 1700x2345



P22-009 - 201 - Proposed Roof Plan
Not To Scale



W4
Openable Flat Rooflight
Section AA
Scale 1:5
See Appendix drawing: Vario Velux Flat roof window Detail

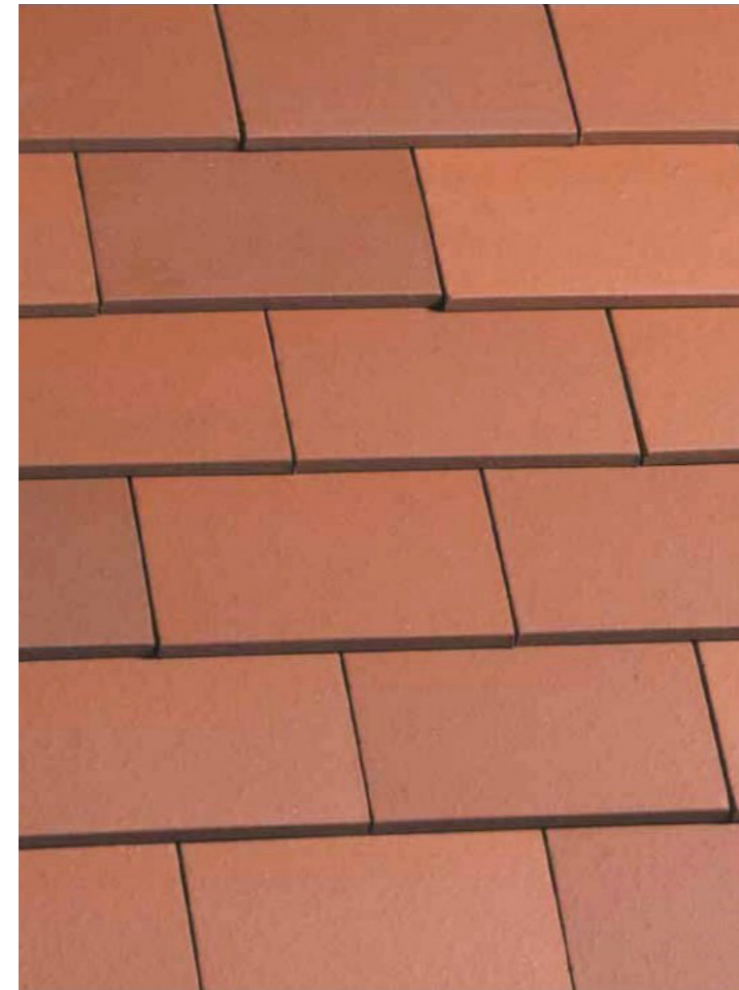
4.0 CONDITION 3(B)



Image of Existing Red Clay Tiles to Roof



Image of Existing Tiles to Dormer



Acme Single Camber - Clay Plain Tile in Red Smooth

4.1 FACING MATERIALS

b) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority).

Where possible existing red clay tiles to be re-used to clad new roof form and dormer. If new tiles are required Clay Plain Tiles in Red Smooth are to be used to match existing.

Spec of Proposed Tile:
Acme Single Camber - Clay Plain Tile in Red Smooth supplied by Marley Tiles for more information please see Product Data sheet

5.0 CONDITION 5

General Maintenance

The appearance of the vegetation on an extensive green roof will change over the year. The growth and flowering of the individual species within the vegetation mix will be dependant upon fluctuations in the seasonal weather. Extensive green roofs and sedum plants will not always be green. In the winter, sedum will become smaller and turn red/brown in colour as they prepare themselves to withstand the coming winter frosts.

Bauder recommends that all green roofs have a way of watering during prolonged periods without rain. All green roofs will benefit from water during droughts. Generally sedums are much more drought tolerant than native wildflowers but both will benefit from a prolonged soaking (not little and often) to prevent them from fully drying out (see Bauder's Watering Guide).

All green roofs will require feeding from time to time. Bauder's lightweight Xero Flor Sedum Blanket contains little in the way of natural nutrient, so fertiliser must be applied annually to ensure that the plants become resistant to extremes of weather and temperature.

The Bauder Sedum Blanket contains approximately 14-17 different plant species. Not every species incorporated will survive and the more dominant will prevail over time dependant on location.

General maintenance is best carried out annually during springtime. However, increasing the number of visits will improve the aesthetics of the roof.

BAUDER GREEN ROOF MAINTENANCE SERVICE

Green roof maintenance service is carried out by Bauder's preferred maintenance providers. These experienced green roof maintenance companies have worked closely with Bauder carrying out maintenance services throughout mainland Britain for several years.

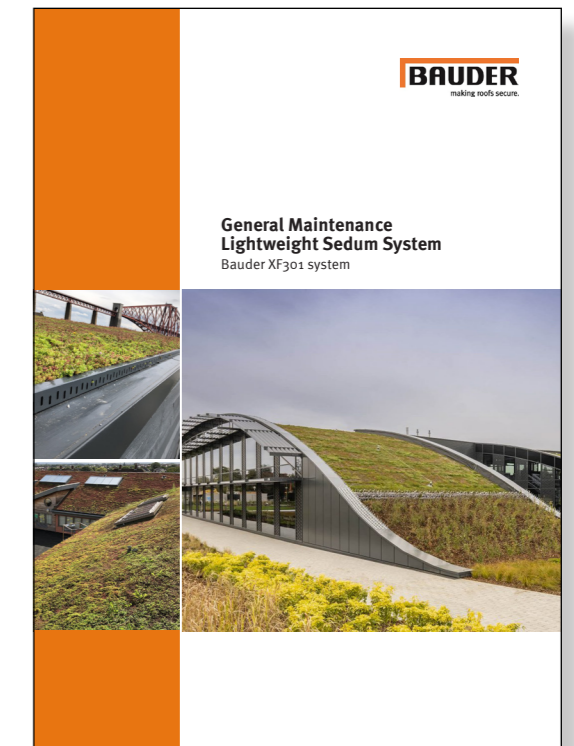
A typical maintenance programme includes:

- **Roof evaluation** - a comprehensive review of the Bauder green roof to determine what remedial work, if any, needs to be completed.
- **Removal of weeds and unwanted items** - over time a green roof can become congested with leaves, debris and other unwanted vegetation, which can be removed.
- **Inspection** - examination of roof outlets and removal of any encroaching vegetation to enable water to flow freely to rainwater pipes.
- **Application of fertiliser** - to help restore a green roof to its best, an organic slow release granular fertiliser will encourage growth.
- **Testing** - after all work has been performed, the irrigation system will be examined to ensure it works as expected.

5.1 LIVING ROOF

- i. a detailed scheme of maintenance

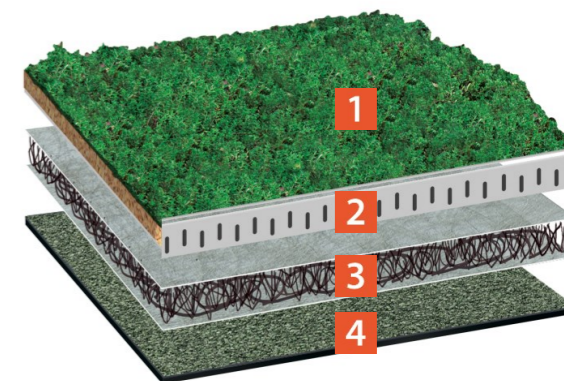
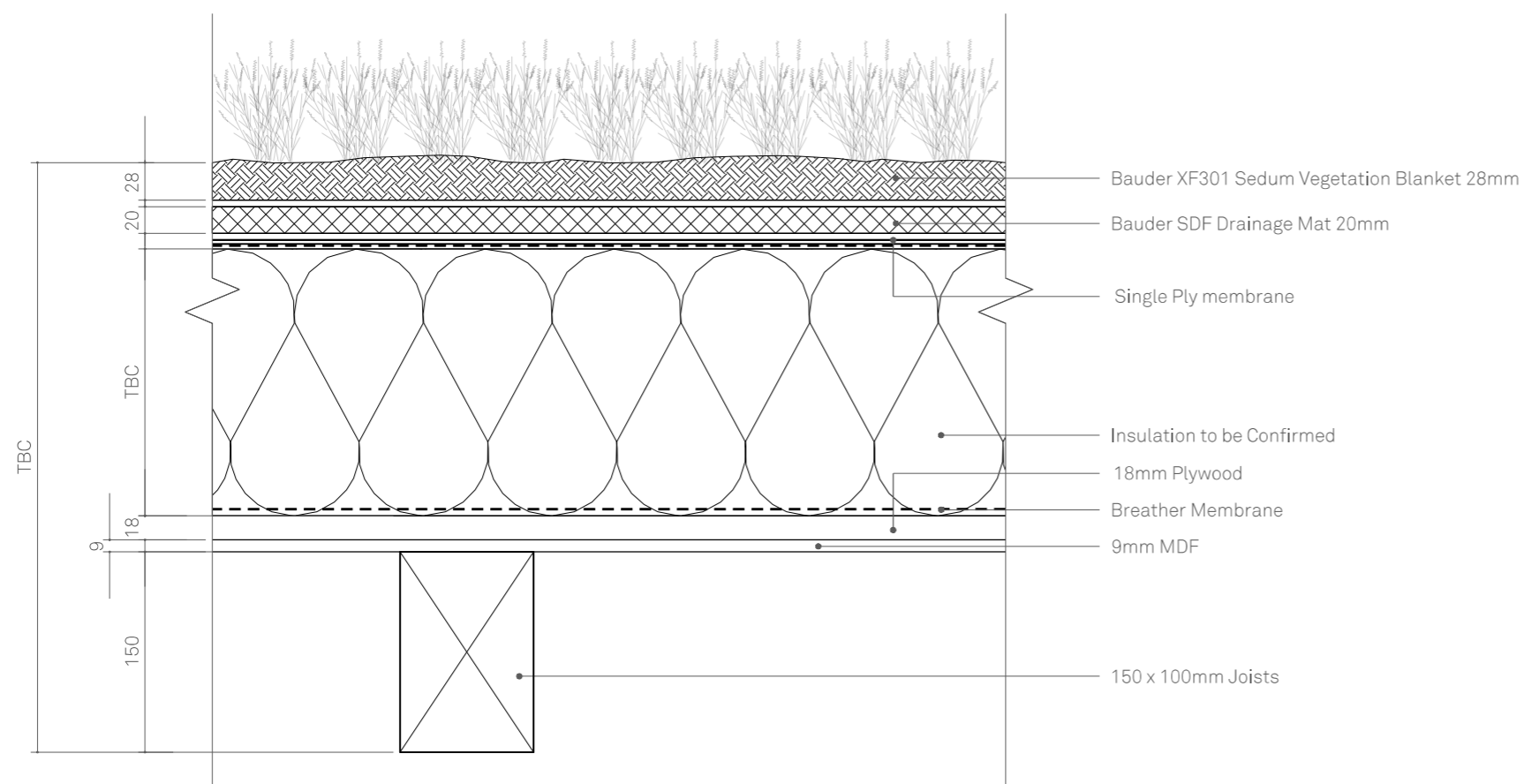
Extract from: 5i General Maintenance Lightweight Sedum System. Reference can be located in the Appendix



5.2 LIVING ROOF CONT.

ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used.

Spec for Living Roof:
 Sedum Blanket Bauder Green XF301
 Lightweight Sedum System



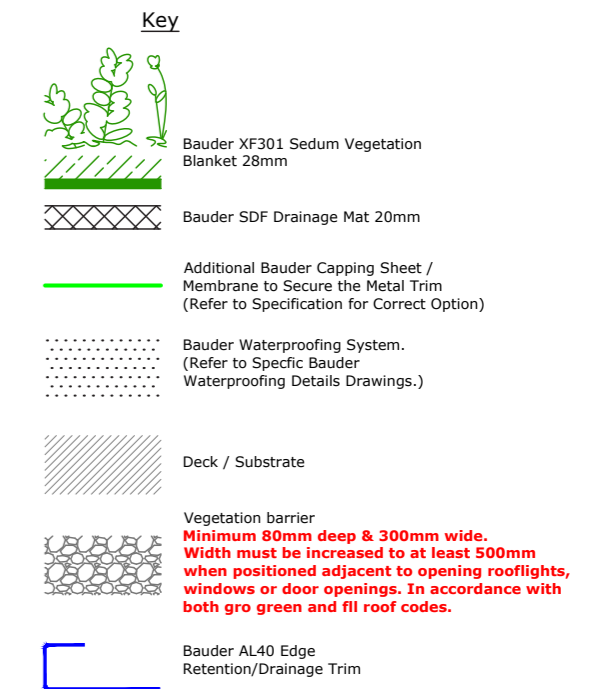
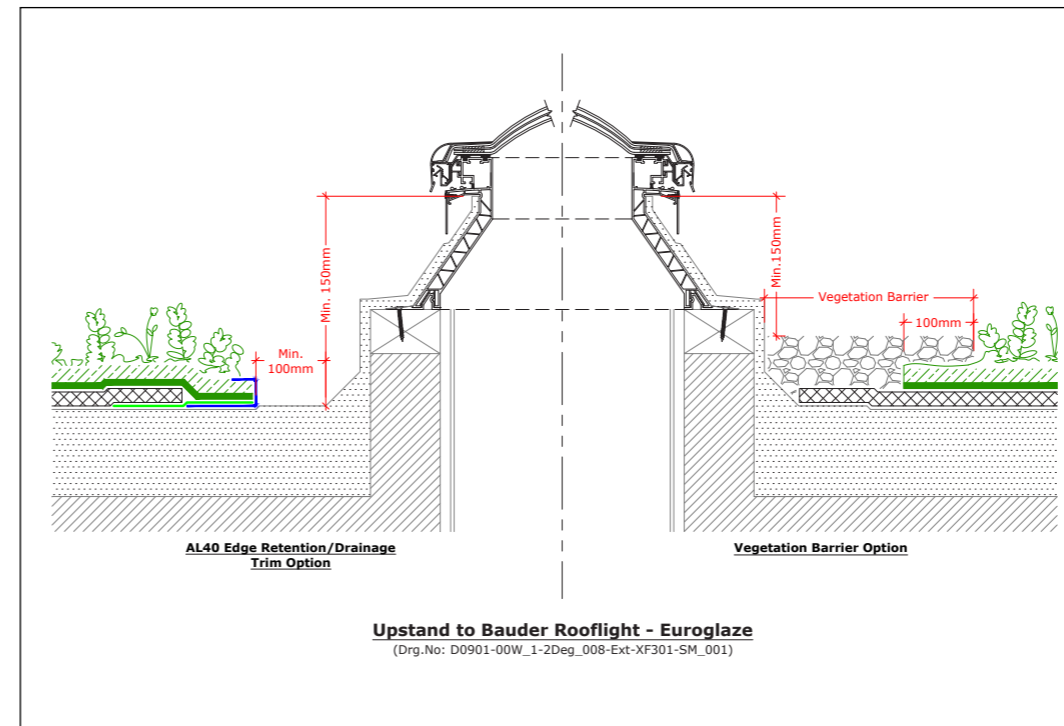
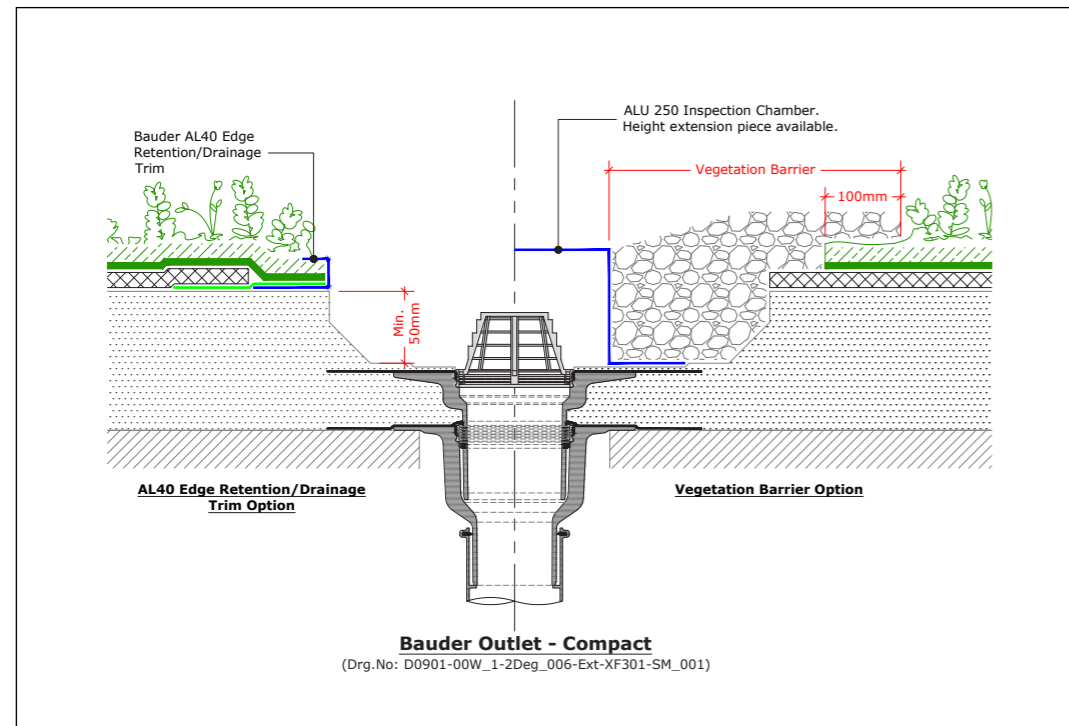
Technical Detail of XF301 Sedum Roof
 from Typical Details Sheet
 Scale 1:5
 Reference can be located in the Appendix

Extract from: 5ii Bauder Technical Details
 Sheet and System Summary
 Reference can be located in the Appendix

5.2 LIVING ROOF CONT.

ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used.

Spec for Living Roof:
 Sedum Blanket Bauder Green XF301
 Lightweight Sedum System as seen in 5ii
 Bauder Typical Details



Bauder Sedum Blanket XF301 indicative plant list

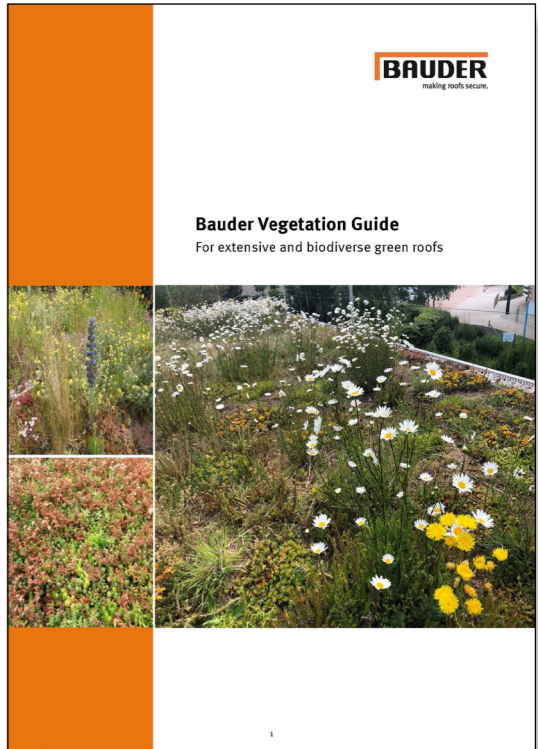
Sedum Species
Sedum album
Sedum ellacombianum
Sedum floriferum
Sedum hybr. Czar's Gold
Sedum montanum
Sedum kamtchaticum
Sedum oreganum
Sedum pulchellum
Sedum reflexum
Sedum rupestre Angelina
Sedum sexangulare
Sedum spurium 'coccineum' (Purple Carpet)
Sedum spurium
Sedum spurium 'Summer Glory'
Sedum stenopetalum
Sedum stoloniferum
Sedum saxifraga granulata
Sedum hispanicum*

The Bauder Green Roof is “planted with mainly sedum species, these roofs are very drought tolerant and low maintenance... ..The exact percentages of seed and mix of species is reviewed and adjusted prior to each production of sedum blanket.”

5.3 LIVING ROOF CONT.

iii. full details of planting species and density.

Extract from: 5iii Bauder Vegetation Guide. Reference can be located in the Appendix



6.0 MATA QUALITY MANAGEMENT SYSTEM

Revision No.

-

Revision Date

22/06/2023

Revision Description

-

File Location

\\DMS_Server\DMS\22-000\22-009
Lindfield Gardens\05 Documents\10
Reports

Filename

22-009 Lindfield Gardens Flat 5 -
Discharge of Conditions

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