

Applicant:

Argent (King's Cross) Ltd.
4 Stable Street
London
N1C 4AB

Agent:

Midgard
4 Elstree Way
Borehamwood
Hertfordshire,
WD6 1RN

Date: 16/06/2023

Patrick Marfleet

Planning Officer



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190226_W1 W2 Amendments_LBC 2018 5651 P

Application Ref: 2018/5651/P

Dear Patrick,

Approval of External Lighting for Kings Cross Central Development Zone W

(Building W1 & W2)

On behalf of our client Argent LLP, I am pleased to submit below the External Lighting for Building W1 & W2 as required by conditions 2(c) of the Outline Planning Permission with reference 2018/5651/P.

Background to Application:

Application for approval of reserved matters in relation to Buildings W1 and W2 comprising 12 to 17 storeys of mixed-use accommodation comprising 218 residential units; four retail companies at lower ground floor and podium levels (flexible class A1-A4); and associated cycle and disabled car parking, loading bay, refuse stores, storage, plant areas provided within the shared lower ground floor/basement area.

Purpose of Application:

To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 of the Camden Local Plan.

Prior to commencement on the relevant part of the development hereby approved, the following details shall be submitted to and approved in writing by the local planning authority:

- a) Details of all external lighting to include location, design, specification, fittings and fixtures (including means of reducing light spillage).

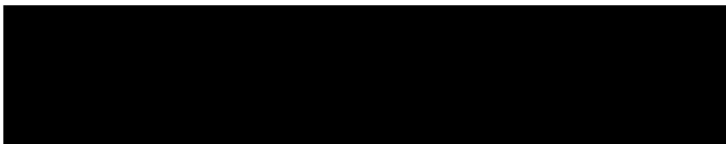
This planning application comprises the following documentation:

- External lighting design drawings
- External lighting Luminaire Schedule

This planning application follows discussions with planning officers of the London Borough of Camden Council. The scope of the application (as identified above) reflects the outcome of this pre-application discussion and the permission granted with reserved matters conditions regarding Planning Portal Reference: (Planning Portal Reference: Application Ref: 2018/5651/P)

Should you have a query regarding this submission, please do not hesitate to contact me. My contact details are included in this letter. Alternatively, I look forward to receiving your written confirmation of the planning application's validation and receipt of the planning application fee.

Yours sincerely



Tyrone Cutts

