

DESIGN & ACCESS AND HERITAGE STATEMENT

Double and single storey rear extension, conversion of upper floors from dwelling into flats, loft conversion with rear dormer providing 3 no. 2-bed flats and 1 no. 3-bed flat



38 Priory Road
London
NW6 4SJ

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MPD 1179



MASTERPLAN
DESIGN

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1.0 Introduction

This Design & Access Statement has been prepared by Masterplan Design Ltd to be read in conjunction with the plans submitted for 38 Priory Road, London, NW6 4SJ

The application is for a double and single storey rear extension, a conversion of upper floors from an existing dwelling house into flats, including a loft conversion with side and rear dormers.

The property is within a conservation area but is not listed and is not within a flood zone.

Entrance to the upper ground, first and second floors can be accessed via the main door to the front of the property. The lower ground floor flat is accessed via a side entrance door with direct access into the flat.

The front façade has mouldings above the painted timber sash windows. Steps go up to the entrance door under a flat roof area with mouldings and columns.

The building is set back from the main pavement and is primarily slabs with planting. The boundary on the back of the pavement line is a low brick wall.

2.0 Design

Use

The existing building has a mixed residential use class between a dwelling house on the upper ground, first, and second floors with a lower ground floor level garden flat.

The proposal seeks to change the upper maisonette dwelling house into 4 no. self-contained flats. The proposed works would look to extensively improve the existing building by fully renovating the living spaces to make them adequate for current living standards.

Design standards:

- The design of the scheme considers the following where possible.
- Car parking: There are currently no parking spaces within the front yard. There will be no change to the existing. Street parking is available if required. (Subject to section 106 already agreed)
- Cycle parking: Cycle parking has been provided in the proposals to the front yard as shown on the plans.
- Approach and access: The approach into the building will remain as existing. Due to the level split in the building layout it has not been possible to provide level access for wheel chair users due to the entrance stairs. There will be no change to existing rise or going of the staircase. New steps will be provided to the lower ground floor garden flat which are compliant to part M of the building regulations. It is not possible for the scheme to accommodate a lift in the scheme due to the restricted space in the front garden.
- Doorways and Halls: All hallways are designed to be 1200mm minimum wide. The internal door openings to habitable rooms have minimum clear opening of 775mm, in compliance with part M of the building regulations. All doors have a 300mm wide unobstructed space on the pull side of the door where possible.

- Noise and Sound proofing: The internal layouts aim to stack similar room uses over each other in order to reduce the noise impact between flats. Generally living rooms are located to the rear and bedrooms to the front apart from the new bedroom within the lower ground floor extension. The proposed new internal walls consider acoustic regulations between rooms as well as between common area and flat set out in Part E of the building regulations.
- Ceiling heights: All habitable rooms exceed the minimum ceiling height requirement of 2.3 meters.
- Lighting: Automatic external lighting which is operated by daylight sensors will be provided to the entrance doors to front and side. Lighting will also be provided to side elevation and garden. All in keeping with the character of the building. Internally the common halls and entrance will have automatically activated low energy lighting.
- Storage: All flats have been provided with adequate storage areas.

Amount

The existing site area is 286.1m². The existing external footprint of the building is 98.9m². The proposed external footprint of the building is 131.5m². The proposed extension on the lower ground floor is 4m deep, of which 4.8m wide is a double storey extension with a flat roof and a portion which is 3.6m wide, which is a single storey with a flat roof, thus creating an additional 32.6m².

Gross Internal Floor Area m²			
Location	Existing	Proposed	Increase
Lower Ground	84.0	115.9	31.9
Upper Ground	82.8	100.3	17.5
First Floor	80.6	80.6	0.0
Second Floor	78.7	78.7	0.0
Loft	Not habitable	43.3	21.7
Total	326.1	418.8	49.4 (plus 21.7 loft)

The above table indicates the gross internal floor area for each floor. The increase in gross internal floor area equates to 49.4m² plus an increase of 21.7m² in the loft, which was previously not habitable.

Location	Existing flats	Proposed flats	Beds per flat	GIA of flat (m ²)
Lower Ground	1	1	3	115.9
Upper Ground	0	1	2	88.8
First Floor	0	1	2	68.6
Second Floor (incl. loft space)	0	1	2	86.4
Total	1	4	9	359.7

The bedroom sizes to each flat comply with the council’s requirements where by all double bedrooms are above 11m² and single bedrooms are above 6.5m².

Layout

Externally the proposal will only alter the rear of the property with the extension to the lower ground floor garden flat.

Internally the maisonette is converted into 3 no. flats with common halls and communal staircase. Each flat complies with size standards set out by the technical guidance as shown in the table above.

Kitchen areas are kept separate from living areas in all flats, and all habitable rooms come off a hall way. Kitchens to upper ground, first and second floor flats are all off the living room areas and therefore form an inner room. Part B2 item 2.5 of the building regulations accepts kitchens as inner rooms in flats.

Windows are provided to all habitable rooms, kitchens and living rooms which provide sufficient light into the rooms and can be opened to provide natural light and ventilation.



Figure 1: Floor Plans

Scale

The scale of the extension to the rear does not have a significant impact on the scale of the building. The height of the single storey extension is 4m and the height of the double storey extension is 7.5m.

A large percentage of the garden is retained and due to level differences on site, the extension appears lower in height when viewed from the garden. Due to the minimal scale of the extension, it does not have an impact on the neighbouring properties in regards to daylight and overlooking or obstruction of views.

Neighbouring properties have had similar extensions to this proposal so it will be in keeping with the surroundings. No. 36 has a roof terrace, No. 30, 32 and 34 all have Lower Ground Floor and Upper Ground Floor extensions.

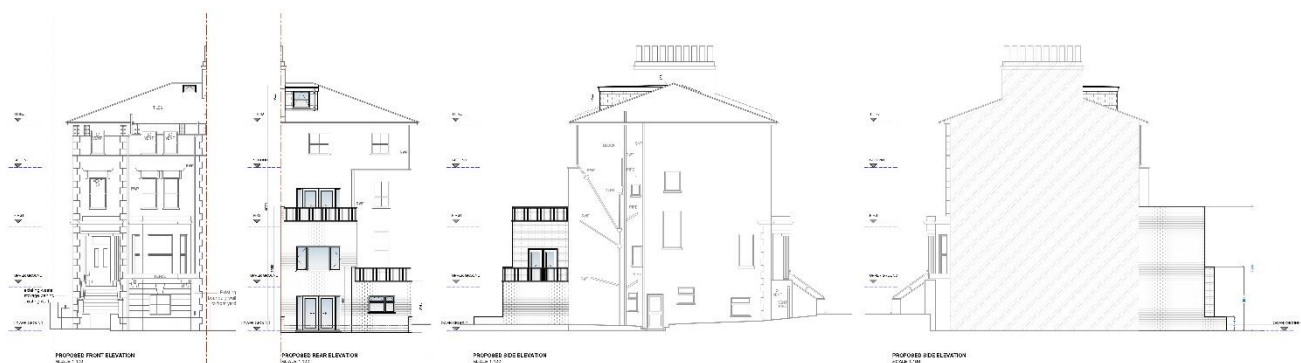


Figure 2: Elevations

Landscaping

It is proposed to demolish or repair the existing low brick wall to the boundary to match the existing. Provisions for bins and cycle storage have been made in the front garden.

To the rear of the dwelling, new paved steps are provided with access to the lower ground floor garden flat. The existing trees to the rear will be pruned (subject to TPO and obtaining permission for pruning).

The garden currently belongs to the lower ground floor garden flat only. There will be no change to this existing situation. This ensures that security is retained to the lower ground garden flat.

Appearance

Generally the existing windows and mouldings, entrance doors, external wall and drainage goods are in poor condition and in need of repair and renovation.

All windows to be repaired as a first point of action and where they are beyond repair they will be replaced with new double glazed timber sash windows painted white within the existing structural openings, except for some to the rear elevation as noted on the drawings. All new windows and doors to the extension will be double glazed timber sash windows and painted white.

The external walls will be repaired where required and painted white to match existing. All mouldings and other building features will also be painted white. Drainage goods to be painted white on elevations to match walls. Main gutter from roof in black to match adjacent property.

Roof to be replaced as condition is poor; tiles and flashings to match existing. Flat roof to extension to be asphalt. Conservation style roof lights to lower ground extension to be non-opening with obscured glazing from the Rooflight Company or similar. Opening conservation style roof lights to sloping roof areas from Rooflight Company or similar.

Roof light to side elevation to be automatic opening in case of fire as required by building regulations and give a free area of 1m².

Brick boundary walls to rear to be repaired and replaced where required. New brick walls to garden to match existing walls. See point 2.5 landscaping above. Garden wall to left hand side is a garden party wall, so any repairs that may be required (if any) will need to be agreed with Adjoining Owner.

3.0 Access

The proposed extension will not have any impact on the existing highways or public transport services. The approach into the building will remain as existing. Due to the level spilt in the building layout it has not been possible to provide level access for wheel chair users due to the entrance stairs. There will be no change to existing rise or going of the staircase. New steps will be provided to the lower ground floor garden flat which are compliant to part M of the building regulations. It is not possible for the scheme to accommodate a lift in the scheme due to the restricted space in the front garden.

4.0 Heritage

Introduction

Situated in the Priory Road Conservation Area, the scheme has been designed to have minimal visual impact upon views from Priory Road or from the properties within Priory Terrace. The proposal will not result in any adverse impact on the amenity of surrounding properties and will act to enhance the wider conservation area.

This report sets out the planning considerations behind the proposed development scheme. Providing a description of the site and surrounding area together with the planning history, a description of the proposal. It identifies the relevant planning considerations and tried to address the relevant planning policies. It reviews the issue of the conversion of the building and the impact on amenity, and assesses the impact on the conservation area and concludes.



Figure 3: Map of Conservation Area

Background Information

No. 38 Priory Road comprises one half of a pair of 19th Century semi-detached houses. The site is located toward the northern end of Priory Road. The 4-storey building comprises a lower ground floor flat, whilst the maisonette on the upper floors is in use as a single dwelling house spread.

The building is rendered and partially painted over with a white finish. A columned portico and stairway provides access to the main entrance at ground level. The glazing takes the form of painted timber sash windows with decorative mouldings on the front elevation. A low brick wall forms the extent of the front garden curtilage.

The roof has a high central chimneys stack, though due to its height and shallow pitch the roofline itself is not visible from street level.

Access to the rear of the property runs along the northern boundary with No 40 Priory Road, with an independent side access to the lower ground floor garden flat.

The garden area is largely paved over, with a number of trees along the boundary.

Surrounding Area:

The surrounding area is characterised by residential uses with Priory Road itself comprised for the most part of a mix of three and four storey buildings of a variety of brick and white rendered appearance. Many of the properties have substantial porticos reached by steps from street level.

The properties have small front gardens with many featuring mature trees and low brick walls defining the front curtilage. Others have areas of hard-standing to accommodate parked vehicles.

Relevant Planning History:

There are no planning history records for this site.

There have been a number of consents however, granted over recent years, for applications which include rear lower ground floor and upper ground floor extensions, roof terraces at other residential properties in Priory Road, which are similar to this proposal. Examples include, a rear extension and roof terrace to No. 36, lower ground floor and upper ground floor rear extension to No. 30, 32 and 34.

The following planning permissions are also considered relevant:

76 Priory Road Planning permission (2008/0462/P) was granted on 11 March 2008 for a significant scheme of external alterations including the excavation of lower ground level with front and rear lightwells, the erection of a two-storey rear extension at lower ground and ground floor, including the creation of a terrace at ground floor level. Additional alterations were also made to the roof.

78 & 80 Priory Road Planning permission (2008/4522/P) was granted on 23 December 2008 for a full width single storey rear extension at lower ground level together with screening at upper ground to allow for a terrace.

42 Priory Road Full Planning Permission (2010/5660/P) was granted on 21st December 2010 for a full width single storey rear extension at lower ground level together with conversion of upper three floors dwelling into 3 x self-contained flats.

Application Proposal

This application seeks planning permission for a single storey and double storey rear extension together with other external alterations and conversion of the maisonette on the three upper floors into three (3) self-contained flats.

There are a number of minor proposals for the front of the building which include the repair and or replacement of the existing windows with new double glazed timber sash windows, which will be painted white. The existing external steps to ground level, which are in a poor state of repair, will be replaced and six

new cycle parking stands will be erected to the front of the dwelling. The existing low level boundary brick wall will be repaired and/or rebuilt.

At the rear a new single storey flat roof extension and double storey flat roof extension is proposed. There is an existing rear extension at the rear of the attached property (36), which also has a roof terrace. The finished height of the roof terrace party wall will be the same as No.36. It will extend no further to the rear than the extension at 40. The extension is set away from the boundary with number 40 and extends to only 0.5 metres above the level of the boundary wall on this side of the property. The single storey portion of the extension creates a roof terrace for the double storey portion with a door opening onto the terrace from the Lounge on the Upper Ground Floor flat.

Three low-profile conservation roof lights are proposed in the flat roof of the extension. These will be obscure and non-opening. Direct access to the garden will be provided from a French door in the rear elevation.

It is proposed to excavate the soil to a depth of 0.7 metre to a distance of 1.1 metres from the rear elevation to form a small patio area in front of the windows. A short flight of steps will provide access to the remaining rear amenity space. An obscure glazed balustrade will be sited at the edge of the amenity space to act as a safety barrier, whilst still permitting daylight to reach the rear windows.

Replacement new double glazed timber sash windows are proposed to the entire rear elevation and most likely to the front elevation as well.

The reverse slope of the roof will accommodate 2 new low-profile conservation lights to match that on the northern pitch.

Impact

The site is identified as being located within the designated heritage asset of the Priory Road Conservation Area. PPS5 sets out the clear policy that there is a presumption in favour of the conservation of designated heritage assets. It is therefore important to understand the character of the conservation area and what role the existing building plays, in order to assess the impact of the proposals and their potential for enhancing the asset overall.

The Conservation Area Proposals Statement details the history and character of the Conservation Area. The statement explains that the development of the estate proper began when Colonel Upton inherited the Howard Estate in 1846:-

‘He made a building agreement for 15½ acres with developer George Duncan. They built pairs of good class villas in Kilburn Priory, Priory Road and St George’s Road with a style that reflected the developments of the Eyre estate in St John’s Wood. The properties are substantial three storey buildings “good value for servant keeping families who did not aspire to their carriages”

History of Priory Road Conservation Area

The conservation area derives its name from a twelfth century Benedictine Priory which was situated just outside the modern conservation area. The Dissolution of the Monasteries in 1536 resulted in the demise of the Priory and a complex line of ownership followed. During the period up until 1819, when Fulke Greville

Howard purchased the estate, the area was known as the Abbey Farm Estate. At this time the estate was in agricultural use, indeed Abbey Road was originally a footpath from London to the Priory whilst the footpath that connected Kilburn Priory and Hampstead Heath later become Priory Road.

In the 1820's a group of fairly large villas and eight cottages was built. Work then came to an end until recommencing in 1846 when Colonel Upton inherited the estate and began to build 'good class villas in Kilburn Priory, Priory Road and St George's Road'. Smaller closer packed terraces were built at the Kilburn end of Belsize with shop floors at ground level, a third of which were built by small builders under lease.

Later developments include St Mary's Church (Listed) which was built in 1857. The northern section of Priory Road was constructed in 1874 whilst the last section within Priory Terrace was completed by 1894.

In 1837, the London and Birmingham railway line was cut through the estate and a station sited at what is now known as Kilburn High Road Station. Further infrastructure was provided with a major new road that ran to the railway bridge.

In the post war period there has been little extensive development other than the demolition of 49 and 51 Priory Road in the 1950's to make way for Sylvian Court. A terrace of 8 houses was built in the 1960's and a pair of semi-detached houses were constructed at the expense of 224 and 226. The 1980's saw backland development at No. 48, No. 53 Priory Road and the Vicarage.

On a smaller scale, a range of development has taken place including alterations to the roofs to include dormer windows, basement and rear and side extensions.

Characteristics and Impact upon the Conservation Area

The original buildings in the Priory Road Conservation Area were influenced by Osborne House which was built for Queen Victoria in 1849. Following on in this vein, the conservation area is regarded as representing a pocket of Victorian, Italianate inspired development reminiscent of Renaissance Italy.

Semi-detached villas consisting of three storeys and a basement are the chief style of dwelling in the area. In terms of the features that characterise the area, these are defined in the conservation statement as follows, (however in many cases these features have been lost):

'visible shallow pitched roofs with overhanging eaves supported on brackets, horizontal string courses, rounded or Romanesque arches, double arcaded windows, campanile, window casements capped by various pediments, sash windows with margin lights, porticos, stucco, stuccoed rusticated quoins, decorative ironwork at windows and railings up front steps, decorated cornices.'

On Priory Road itself, the height and scale of the dwellings increases from south to north. Two-storey with basement are represented by Nos. 1-31, this then increases to three-storeys with basement from No. 33 onwards.

Most of the properties have a raised ground floor with steps leading up to decorated porches. Roofs are either hipped or gabled and some feature side dormers. There is also some variation in window design, some being arched whilst most have decorative features. Larger scale dwellings with campanile can be found on the corner of Abbot's Place. Over time forecourt parking has been introduced to the detriment of the local character particularly at Nos 21, 43 and 45. However, low boundary walls and planting can still be found at a number of locations.

Overall, the Priory Road Conservation Area remains a good example of mid-19th century suburban development. The statement identifies a significant number of the properties as making a positive contribution to the special character and appearance of the conservation area, including the application property, 38 Priory Road.

The proposal will have no impact on the overall layout of the conservation area and its quiet, residential character. Indeed, it will complement the layout and character by continuing and improving the residential use of the building by upgrading the overall standard of the property.

The extension is confined to the rear and is in line with other similar extensions that have been granted consent in Priory Road over a period of the last 2 years, namely at Numbers 76, 78 and 80. In terms of the approval at No. 76, the consent permitted a level of development well over and above what is proposed in this application. No. 36 already has a rear Lower Ground Floor extension with a roof terrace for the Upper Ground Floor flat. Additionally, No. 30, 32 and 34 not only have a rear Lower Ground Floor extension but also an Upper Ground Floor extension as well.

The obscure glass balustrade is at garden level and will not affect the character of the area. Overall, there will be only marginal views of the alterations from the rear windows of the neighbouring properties. The extension has been carefully designed to mirror the articulation of the existing elevation, thus further reducing its impact, as it is stepped away from No. 40. It also acts to retain the shape of the existing building line to the benefit of the conservation area.

The conservation roof lights proposed for the main roof will not be visible from street level on Priory Road. This is due to a combination of the shallow pitch of the roof, the siting only on the side and reverse roof slopes together with the low profile design of the windows.

The replacement of the windows provides an opportunity to provide new quality double glazed timber sash window replacements that will not only help to lower carbon emissions but also provide an improved appearance, unifying the various different glazing styles currently featured. As such the character of the conservation area will be both preserved and improved

The repair of other external features on the front elevation and relocation of the drainage pipes away from the front elevation will provide a genuine improvement to the appearance of the property and views along Priory Road, to the benefit of the conservation area.

The repair and retention of the front boundary wall in conjunction with the existing and proposed planting will ensure that the proposed cycle stands and waste storage bins will be screened from view and will not result in any undue detriment to the wider street scene.

The new structural opening to be formed for the double glazed timber sash window on the northern flank sits comfortably alongside the various existing sash windows on this elevation.

The proposal respects the traditional features of the property and the street as a whole and ensures that its original appearance and the character of the conservation area is not compromised. The proposed alterations will have very limited visual impact either on their own or cumulatively and have been designed to a high standard so that they provide attractive and well-proportioned additions to the property. Accordingly, it is considered that the scheme will positively contribute to the character and appearance of the conservation area and, as such, comply with the guidance in PPS5.

5.0 Policies

In this section the relevant national and local planning policies pertinent to the application are considered.

The statutory development plan for this site comprises the Camden UDP (adopted 2006). A number of the UDP policies were ‘saved’ beyond 26 June 2009 further to a Direction from the Secretary of State.

At the present time the Camden UDP continues to carry statutory weight. The London Borough of Camden is however at a relatively advanced stage in the preparation of their Local Development Framework (LDF). The examination hearing sessions for the Core Strategy and Development Policies DPD took place in May-June 2010. The Inspector’s report was received at the end of August 2010 and his findings are under consideration by the Council at the present time. These draft policies are therefore also considered below.

Adopted London Borough of Camden Unitary Development Plan (UDP) (2006):

The UDP Proposals Map indicates that the site falls within the Priory Road Conservation Area.

Policy B1 provides the general design guidelines that the Council will employ to ensure that all development in any part of the Borough is of a high standard. It seeks to ensure that development is sensitive to its setting, safe and accessible for all whilst simultaneously being sustainable and adaptable. Elements such as landscaping are to be used to maintain amenity and improve overall attractiveness. Consideration will be given to how proposals have taken into account local factors such as building lines, plot sizes, height, scales and natural features. The impact on views will also be assessed.

Policy B3 and Policy B7 provide specific guidance on alterations and extensions to ensure that they are not detrimental in design terms. Moreover, the policy wording makes clear that consent for development in a conservation area will only be granted if it preserves or enhances the special character or appearance of the area. The policy indicates that consideration will be given to whether development is subordinate to the original building and that features are retained and restored. Complementing or matching high quality materials will be sought and unsympathetic development removed.

The application proposal has been designed to integrate into the surrounding area in a subtle and unobtrusive fashion. The lower ground floor extension will extend beyond the existing rear building line; however, care has been taken to ensure that it maintains the articulated form that is currently expressed. This not only helps to maintain the historical plot layout including well-proportioned amenity space and building line shape, but is also sympathetic to the adjoining properties in terms of ensuring there is no adverse impact on outlook and daylight and sunlight.

The proposal is small in scale and confined to the rear lower ground floor and upper ground floor level only. Moreover, the existing extension at No. 40 & 36 will act to further minimise any impact on this attached property. The extension remains subservient to the original building and does not infringe upon the amenity of neighbouring properties. The proposal is much smaller in scale than that approved recently for a similar property at 76 Priory Road.

The introduction of low-profile conservation roof lights is not a new element within the street scene of Priory Road, indeed they are a feature of a number of properties including Nos. 48, 44, 42, 71, 91, 96, 99, and 108. In any event, by virtue of their positioning and their design they will not be detrimental to the character of the conservation area.

The trees along the rear boundary are unaffected by the proposal and will continue to screen the rear of the property, even after pruning. The new cycle stands and waste storage bins in the front garden area will be screened by the existing and proposed planting.

Policy SD6 of the Camden UDP confirms that the Council will not grant planning permission for development that it considers causes harm to the amenity of occupiers and neighbours.

Particular regard has been paid to preserving the amenity of both neighbouring properties and those within the application site itself. The 3 proposed rooflights on the extension roof will have obscure glass and be non-opening. This obscure glazing will negate overlooking from the flats above into the living space of the lower ground flat. Restricting the rooflights to non-opening, will mean that any noise generated by the lower ground floor occupants will be attenuated and will not result in detriment to the amenity of other residents.

The new window to the bedroom proposed on the side elevation of the ground floor flat, has been sited so it does not result in any overlooking into habitable rooms on the flank of No. 40 Priory Road.

Camden Council will oppose development that would result in the loss of 2 or more residential units in accordance with Policy H3. This application proposes the retention of a family sized unit with access to the garden and will result in an increase in residential units of a type that the council wishes to promote.

Local Development Framework (LDF)

Core Strategy:

Policies CS1 and CS6 seek to make full use of Camden's capacity for housing and promote a range of housing types in order to eliminate social polarisation, in line with the drive for sustainable development and the objective of making the best use of land. This application will result in the conversion and enlargement of the property to allow for an increase in the number of residential units. The units that will be created will include 2 bedroom units and a 3 bedroom property with direct access to amenity space. These are dwellings of a size that the Council has identified as being in demand and will therefore be attractive to a range of occupiers.

Policy CS14 acts to ensure that Camden remains attractive, thereby requiring development that respects local character, including that of conservation areas. As discussed above, the application proposals are in line with and complement the context, character and appearance of the surrounding area. The scheme has been designed to a high architectural standard and ensures that the character and appearance of the conservation area are preserved. In addition, the proposal will improve the layout of the current property, will have no negative impact on surrounding amenity, and will fit in with the character and appearance of the existing building. Accordingly, it is considered that the application proposal complies with all of the relevant policies within the draft Core Strategy.

Emerging Development Policies DPD:

Policy DP2 seeks to maximise the quantum of residential units in the borough by preventing their loss and promoting high densities.

The council intends to create mixed use communities by providing a mix of dwelling sizes and types. Policy DP5 acts to ensure that all residential development contributes to meeting a range of different size units including conversion of existing residential and non-residential floor space in accordance with the dwelling size priority table. This issue is discussed in detail in Section 6.

Policy DP6 and DP29 encourages development to be accessible and requires housing development to meet lifetime home standards. 10% should meet either wheelchair housing standards or be easily adapted to them.

Access to the building will remain as existing. Due to the split level in the building layout it has not been possible to provide level access for wheel chair users. However, the proposal seeks to improve the existing external steps up to ground level, which are currently uneven and of a poor standard. Other access alterations will be compliant with part K and part M of the building regulations.

Policy DP18 seeks to ensure minimum standards of parking are applied. There is currently no off street parking and this will remain the case.

Policy DP24 requires development to be of a high standard and therefore ensures that consideration is given to existing surroundings and respect is paid to general design principles. These include scale, materials, the provision of amenity space and interesting frontages, recognition of existing natural features and accessibility.

The character of conservation areas will be preserved and enhanced by virtue of emerging Policy DP25. The policy ensures that account will be taken of conservation area statements and management plans. The demolition of unlisted buildings and the removal of trees and garden spaces that contribute to the conservation area will be resisted.

Regard has been taken of the Priory Road Conservation Statement in developing these proposals and a full assessment has been made in Section 7 of the impact upon the heritage asset.

Policy DP26 addresses and seeks mitigation for the impact of development on occupiers and neighbours by only granting permission for development that does not cause harm to amenity. Factors that will be assessed include any resulting impact on visual amenity, overlooking, outlook, natural and artificial light levels together with appropriate design standards. These issues are considered in the next section of this report.

Other Relevant Guidance

Conservation Area Proposals Statement – Priory Road Conservation Area:

The document provides specific guidance on appropriate development within the Priory Road Conservation Area. In this context it clearly establishes that in most cases rear extensions should be no more than one storey in height depending on its general effect on surrounding properties and the wider conservation area.

The statement indicates that extensions will be judged in terms of such matters as whether proposals are in harmony with the character and form of the original dwellings. Extensions should be subordinate and their design, scale and materials should be consistent with the original building. The statement also indicates that rear extensions will be unacceptable where they spoil uniform rear elevations.

The proposals as discussed above are in accordance with this guidance and the attached property at no.40 has already been extended to the rear.

Camden Planning Guidance 2006:

This document sets out standards relating to residential development for both new properties, and conversions. It includes guidance on minimum room size standards for residential development and appropriate arrangements for waste storage. The proposal has been designed to a high standard with generous room sizes and room heights which in all cases either meet or exceed the minimum standards. The waste storage provision meets the requirements set out Section 5 of the SPG.

PPS5 – Planning for the Historic Environment:

This recent guidance sets out a policy approach to determining applications and to formulating policy affecting heritage assets including conservation areas. Decisions are based on the nature, extent and level of that significance, investigated to a degree proportionate to the importance of the heritage asset. Policy HE7.5 is relevant and states:

“Local planning authorities should take into account the desirability of new development making a positive contribution to the character and local distinctiveness of the historic environment. The consideration of design should include scale, height, massing, alignment, materials and use.”

Policy HE9.1 states that:

“There should be a presumption in favour of the conservation of designated heritage assets and the more significant the designated heritage asset, the greater the presumption in favour of its conservation should be.”

An assessment of the designated heritage asset, the Priory Road Conservation Area, is set out in the next section of this report and the positive contribution that can be achieved by the proposed external alterations are assessed in relation to the asset as a whole.

Summary:

It is evident that there is a strong policy objective to ensure that developments of the nature proposed by this application fit in with and complement the appearance of surrounding areas, and are of a high quality of design which does not prejudice the character and amenity of existing buildings and conservation areas. It is clear from the above analysis that the application proposal sits comfortably alongside such policy ambitions.

6.0 Conclusion

This application proposes a single storey and double storey rear extension and conversion of the maisonette dwelling on the upper ground floor, first and second floors and a loft conversion into a total of 5 no. self-contained flats, this is including the existing Lower Ground Floor garden flat, in association with other external alterations at 38 Priory Road.

The proposed development represents attractive, well-designed additions to the building which will provide high quality residential accommodation and complement the character and appearance of Priory Road Conservation Area as a whole. As such it is in accordance with the advice in PPS5.

The conversion of the property into flats will provide the type of accommodation that has been identified by the Council as being a “high priority” within the borough. Moreover, the proposal will create a mix of unit sizes that will meet Camden’s objective of combating social polarisation and will help to promote diversity in the borough. A family sized unit is retained in the development with access to the rear garden.

The proposed extension has been designed to fit in with the appearance of the existing building and have limited visual impact on the surrounding area. Views of the rear extension will be extremely limited and will not have any adverse impact on the appearance of the street scene or the amenity of surrounding properties. Similar, larger extensions have been approved at No’s. 30, 32, 34, 36, 40, 42, 76, 78 and 80 Priory Road.

The other minor external alterations, including the dormers, rooflights and new side elevation window opening, will again not have any adverse impact either on the amenity of neighbouring properties or upon the character of the conservation area and are a feature that are already present on a large number of properties in Priory Road.

The proposal complies with all relevant adopted and draft planning policy guidance for the Borough.

Accordingly, the application proposal is entirely acceptable in all respects and consent should therefore be granted.