

Proposed retention of parasol/jumbrella to first floor terrace

at

35 Chalk Farm Road, London NW1 8AJ

**DESIGN AND ACCESS STATEMENT**



Figure 1 Chalk Farm Road view

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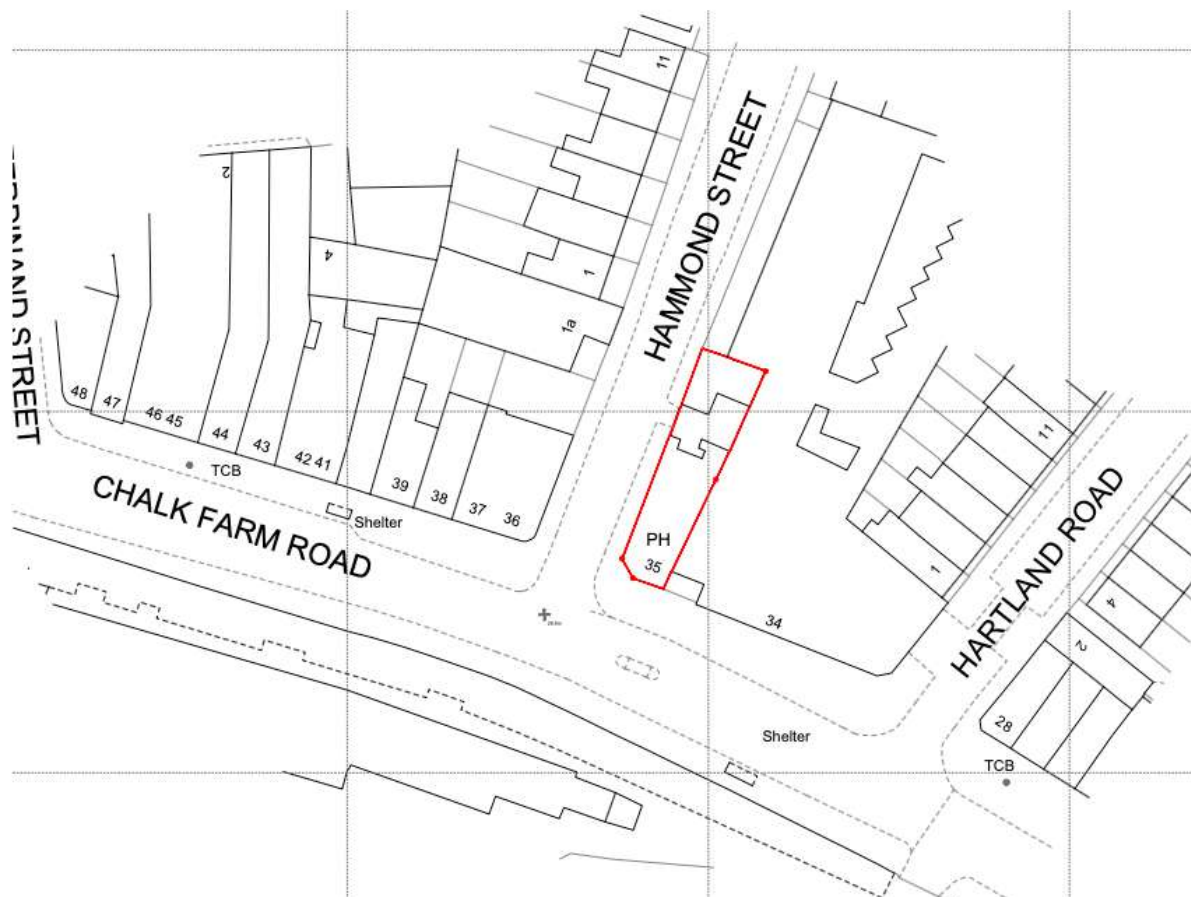


Figure 2 Location Plan for our site (edged in red)

## 1.0 Introduction

- 1.1 This Design and Access Statement accompanies an application for the retention of a parasol/jumbrella on the first floor terrace of the Lock Tavern at 35 Chalk Farm Road, London
- 1.2 The DAS has been written to meet the requirements of Article 4C of the Town and Country Planning (General Development Procedure) Order 1995 (as amended).
- 1.3 As this is a proposal for the retention of a parasol, some aspects such as the social and economic context, are of limited applicability.
- 1.4 The application premises is not listed nor is it located within a Conservation Area. It is however located near to the Harmond Street Conservation Area.
- 1.5 The full address is The Lock tavern, 35 Chalk Farm Road London NW1 8AJ

## 2.0 Our Client and Design Brief

- 2.1.1. Our client is the owner and operator of the existing public house.
- 2.1.2. Our client is seeking to retain the existing parasol that has been installed on the first-floor terrace since early 2021.
- 2.1.3. The existing parasol is a 4m square canvas parasol that can be collapsed when not in use and overall has a minimal visible presence within the streetscape.
- 2.1.4. In previous correspondence and applications, the use of the first-floor terrace has been confirmed as lawful therefore this application purely focuses on the introduction of the parasol. Please note that from the photographs shown in Figures 3 to 6, it can be clearly seen that parasols have in fact been in place on this roof since at least 2008.





Figure 3 - Chalk Farm Road view July 2008



Figure 4 - Chalk Farm Road view July 2012

### 3.0 Design Principles and Concepts

#### 3.1 Site and Location

- 3.1.1. The overall site has an area of 0.267 m<sup>2</sup>.
- 3.1.2. The first-floor terrace is south facing and so, certainly during the summer, is flooded with natural light and at times heat and so our client has installed the parasol for the safeguarding of our customers.
- 3.1.3. The Local Tavern has been a central part of London's live music scene for many many years and is a popular and busy venue.
- 3.1.4. Originally the building stood alone with Harmond Street to the left and a petrol station to the right but in 2008 permission was given to erect student accommodation adjacent to the site (34 Chalk Farm Rd) and now the Building sits on the corner with a four-storey building next door which has been enlarged to actually consume the space from Harmond Street to Hartland Road.
- 3.1.5. As previously noted this site is not part of the conservation area nor is it listed, we would suggest that the original architecture does have some merit however the introduction of this parasol does not intrude on that, especially as it remains collapsed for a goodly portion of its life

#### 4.0 Layout

- 4.1.1. The parasol has been centrally located on the terrace in order to provide maximum coverage and minimal intrusion.
- 4.1.2. There was a historical application made (and appealed in 2005) for a permanently fixed canopy which was refused however within the inspector's comments clearly state *"The roof terrace has railings and planters around its edge and had the canopy not been installed the terrace might well have had parasols and column heaters to add some comfort in the British climate."* We, therefore, suggest that the installation is not out of keeping with expectations.

#### 5.0 Scale

- 5.1.1 The proposed parasol does not detract from the building's scale and has a minimal impact on the existing surroundings.



Figure 5 - Chalk Farm Road view June 2014



Figure 6 Chalk Farm Road view May 2015

5.1.2 The guidance for design statements asks that the elements of the design have to be justified in terms of human scale. This parasol is almost domestic in its structure and it is considered to be well related to the existing scale of the site

## 6.0 Appearance

6.1 Whilst the building originally had a fairly prominent position within the street the introduction of the student accommodation next door has heavy overshadowed this and therefore the parasol is hardly visible within the street and for the most part is obscured by the glazed balustrade that protects the terrace area.

6.2 The introduction of this parasol does not detract from the nearby conservation area and the introduction of the student accommodation between our site and the conservation area means that any impact is even further diluted (especially as the parasol is not visible from Harmood Street)

6.3 Overall we consider that the introduction of this parasol has a negligible impact on the character and appearance of the building and of the neighbouring conservation area, Chalk Farm Road etc..



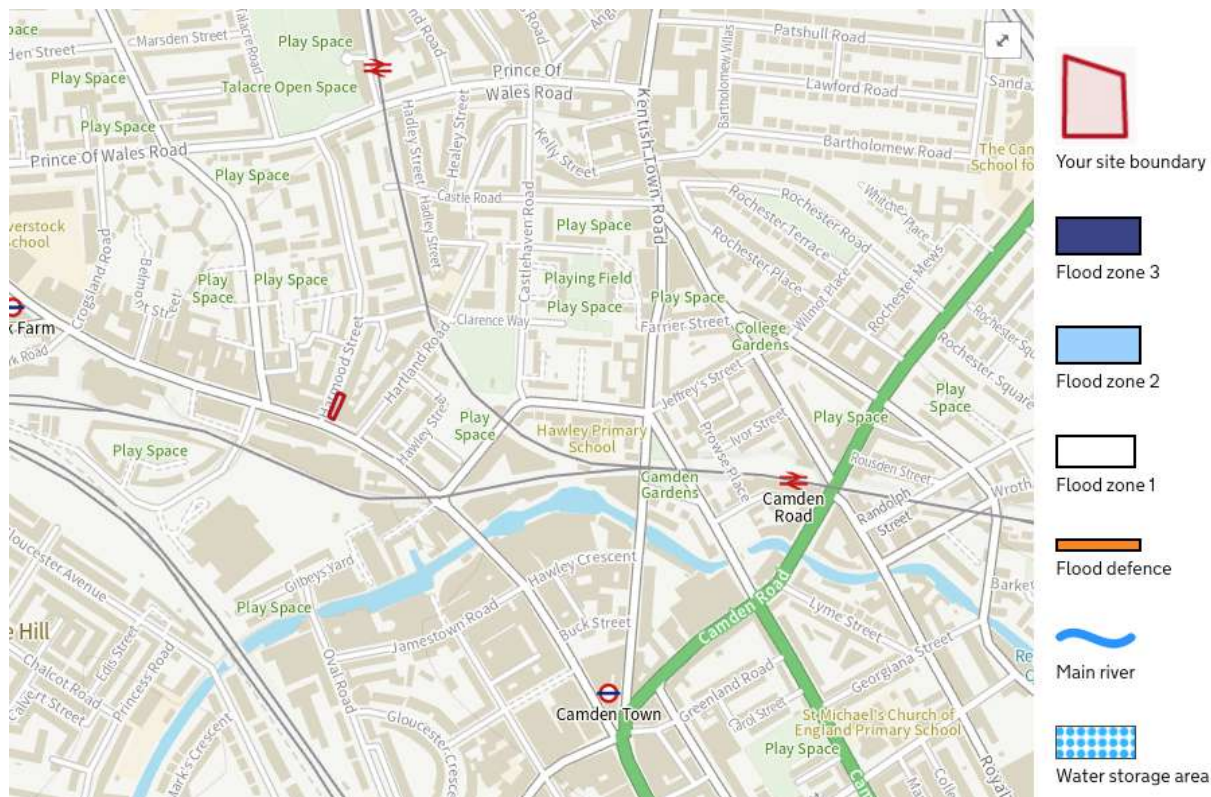


Figure 7 Flood Risk Map

## 7.0 Consultations

### 7.1 Flood risk

The location of this site is, according to the Environment agencies website, in an area which falls within a Flood Risk 1 area i.e benefiting from flood defences in the likelihood of flooding. Generally this means that the chance of flooding each year from the sea is 0.1% (1 in 1000) or less. This puts the site in a zone 1 category for flooding. And therefore no separate consultation is needed.

### 7.2 Access Groups

As this is an application for a minor addition to an existing building use no consultation has been undertaken with any access group.

## Appendix A – Planning History

Application Number	Development Description	Status	Date Registered	Decision
<u>2022/0250/INVALID</u>	Temporary display of LED light curtain at first floor level above corner entrance, 1x internally illuminated logo sign at second floor level, 1x internally illuminated logo sign at fascia level to Chalk Farm Road elevation and installation of structure and lighting affixed to frontage of public house (Sui Generis) for a period of 28 days from 23/12/2021 until 31/01/2011 (Retrospective).	WITHDRAWN	--	Withdrawn Decision
<u>2021/1685/PVL</u>	4 Tables and 8 Chairs Monday-Saturday 12:00-22:00 Sunday 12:00-21:00 New Application	FINAL DECISION	08-04-2021	Granted
<u>2003/0098/P</u>	The retention of an aluminium framed canopy over the existing roof terrace at first floor level at the front of the public house.	APPEAL DECIDED	05-06-2003	Refused and Warning of Enforcement Action to be Taken
<u>PE9800202</u>	Alterations to reinstate windows and corner entrance, provision of new gates to rear and fire escape to rear, erection of replacement outbuilding for use as servery. As shown on drawing Nos 222/01, 02, 03, 04 and servery proposal on unnumbered A4 size sketch.	FINAL DECISION	18-03-1998	Grant Full Planning Permission (conds)
<u>CA1639/AD2363</u>	The display of an externally illuminated pictorial hanging sign on the Chalk Farm Road frontage,	FINAL DECISION	23-07-1983	Permission