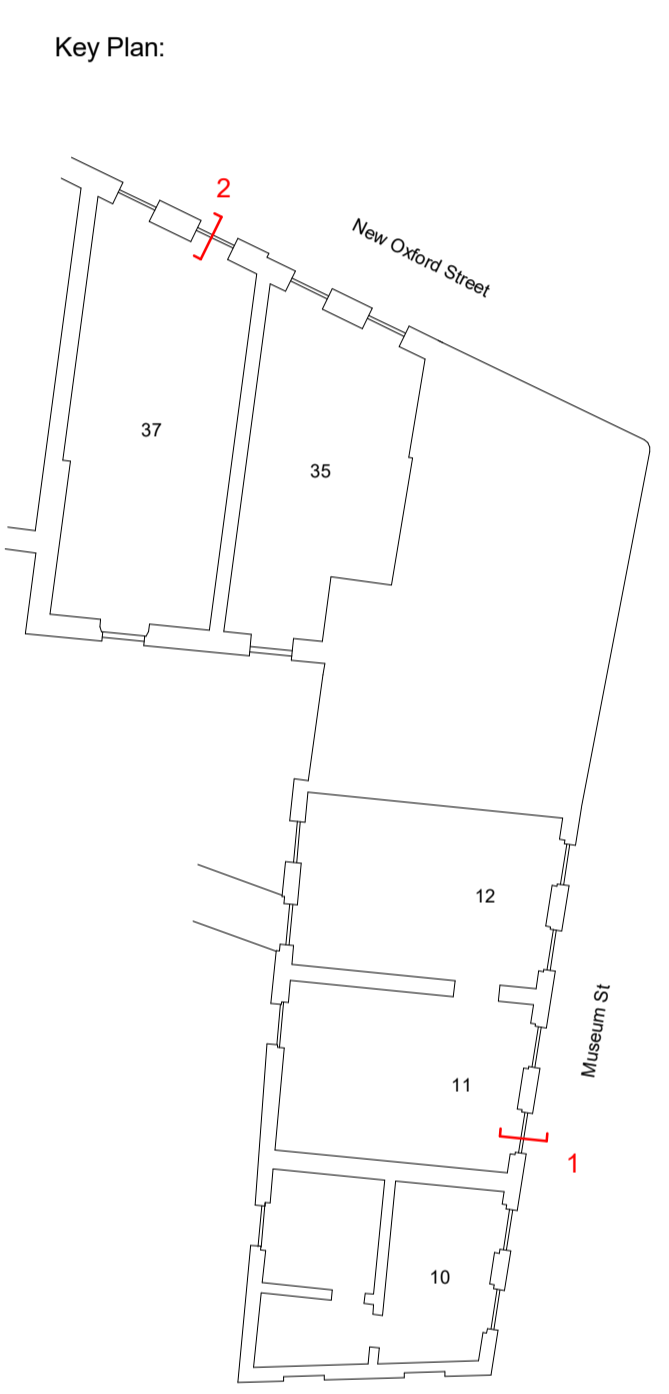


**GENERAL NOTES:**  
 The internal layouts within commercial floor space, residential apartments and ancillary areas of buildings are indicative and will be subject to design development.  
 The precise location of walls, internal doors, columns, risers and the detailed layout of office, bathroom and kitchen areas will be the subject of nonmaterial changes and may vary from the internal layouts set out in these plans.  
 These minor alterations will not affect the position and arrangements of external doors and windows nor will they affect the relative relationship between habitable rooms and windows.  
 Landscape proposals are indicative only.  
 Plant layouts are indicative only.  
 All materials shown or highlighted are indicative only and may be subject to changes made during detailed design development.



24.05.23 IM Issued for Listed Building Consent

# PLANNING

**DSDHA**  
 357 Kennington Lane London SE11 5QY  
 T 020 7703 3555  
 F 020 7703 3890  
 E info@dshda.co.uk  
 W www.dshda.co.uk

project  
**10-12 Museum Street and 35-37 New Oxford Street**

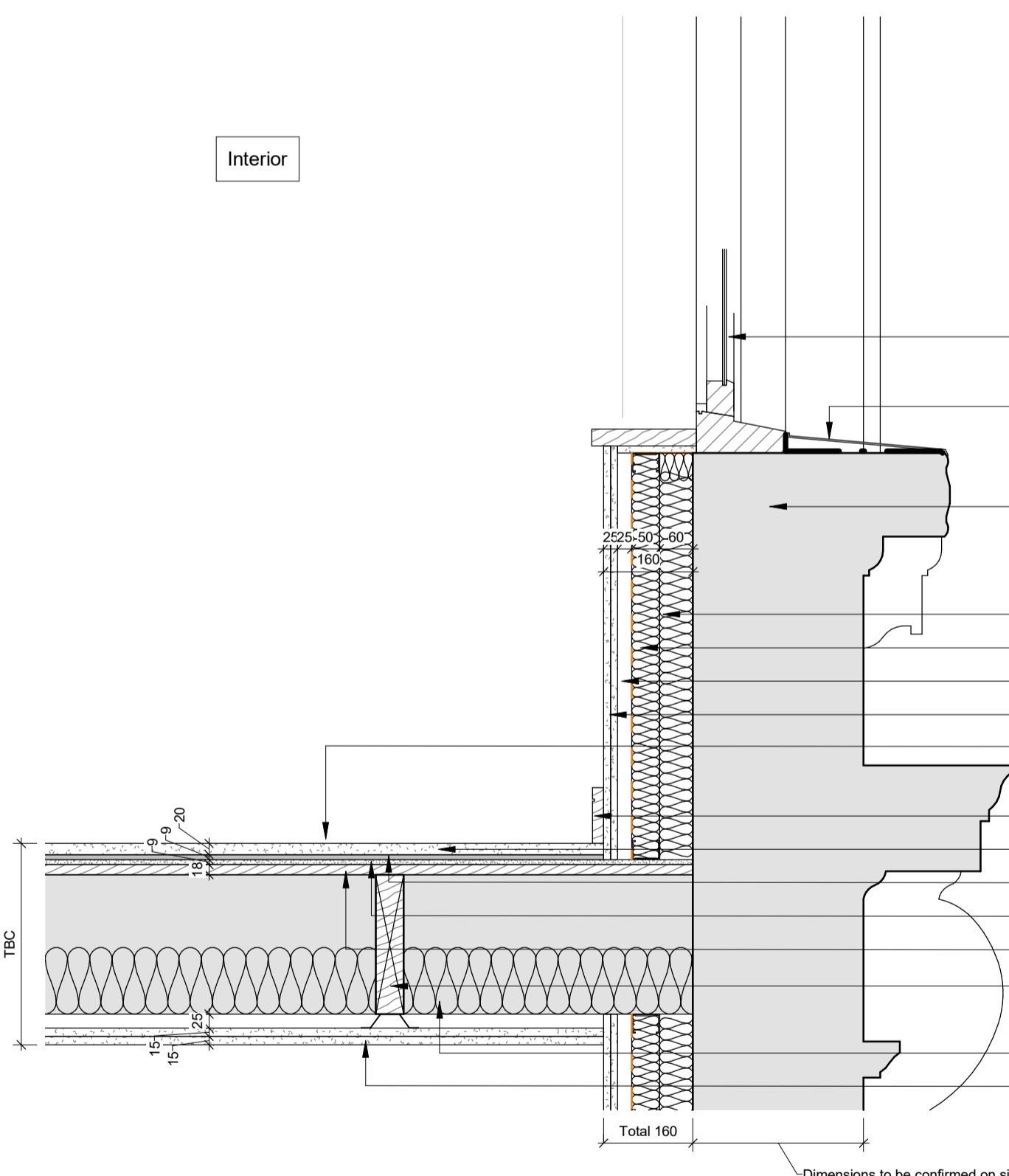
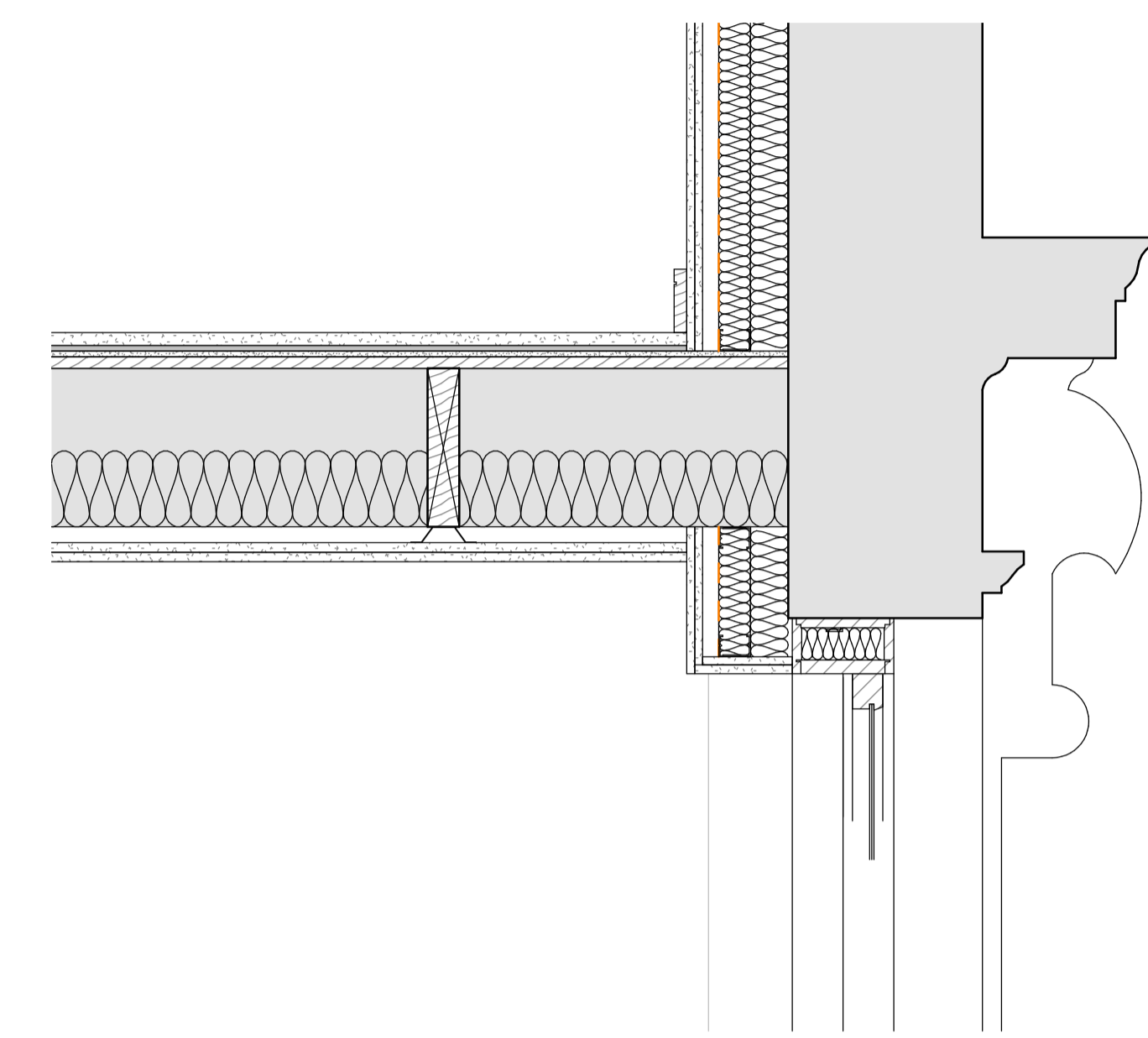
London, WC1A 1JR  
 drawing title

Proposed External Wall Details - Sheet 2

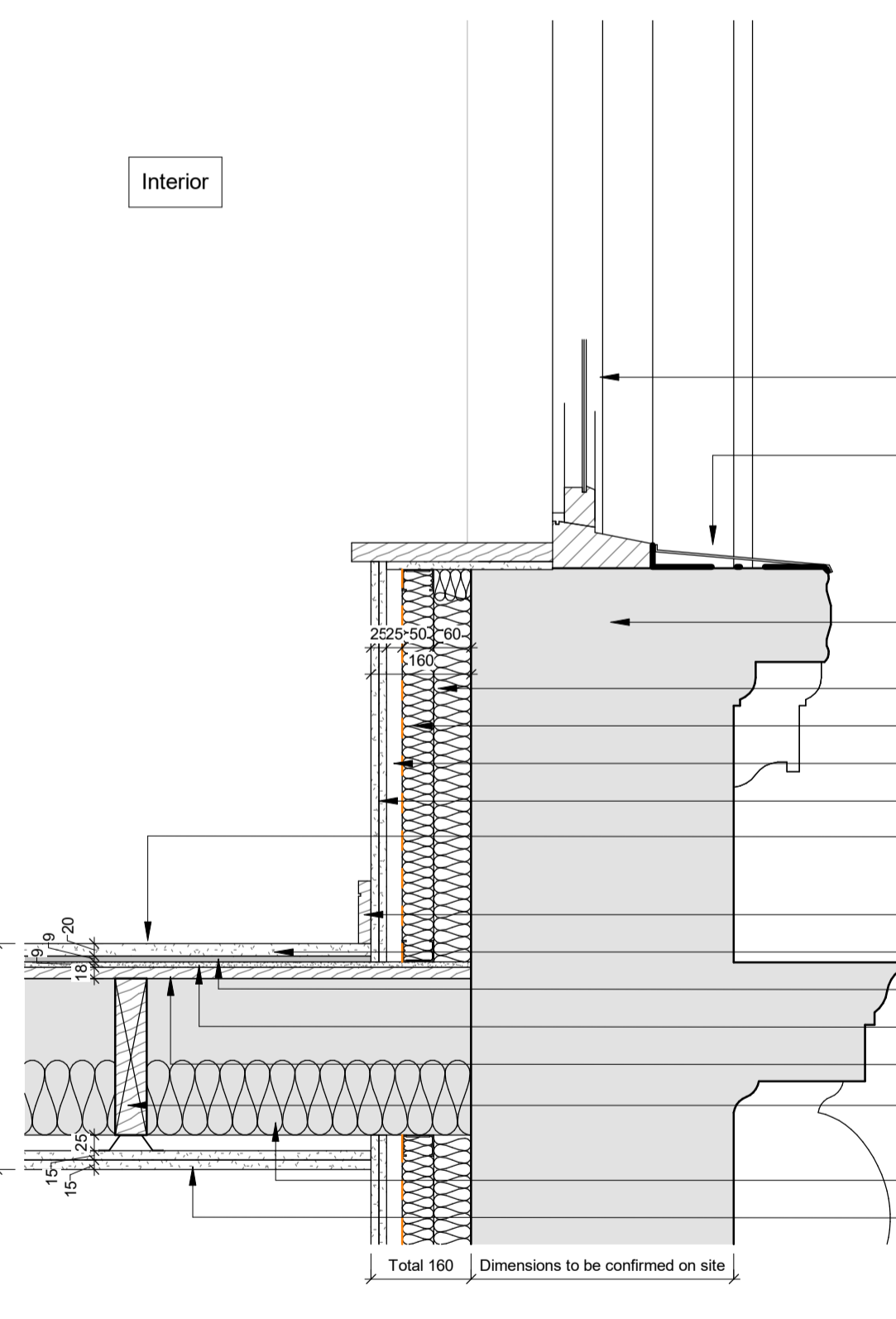
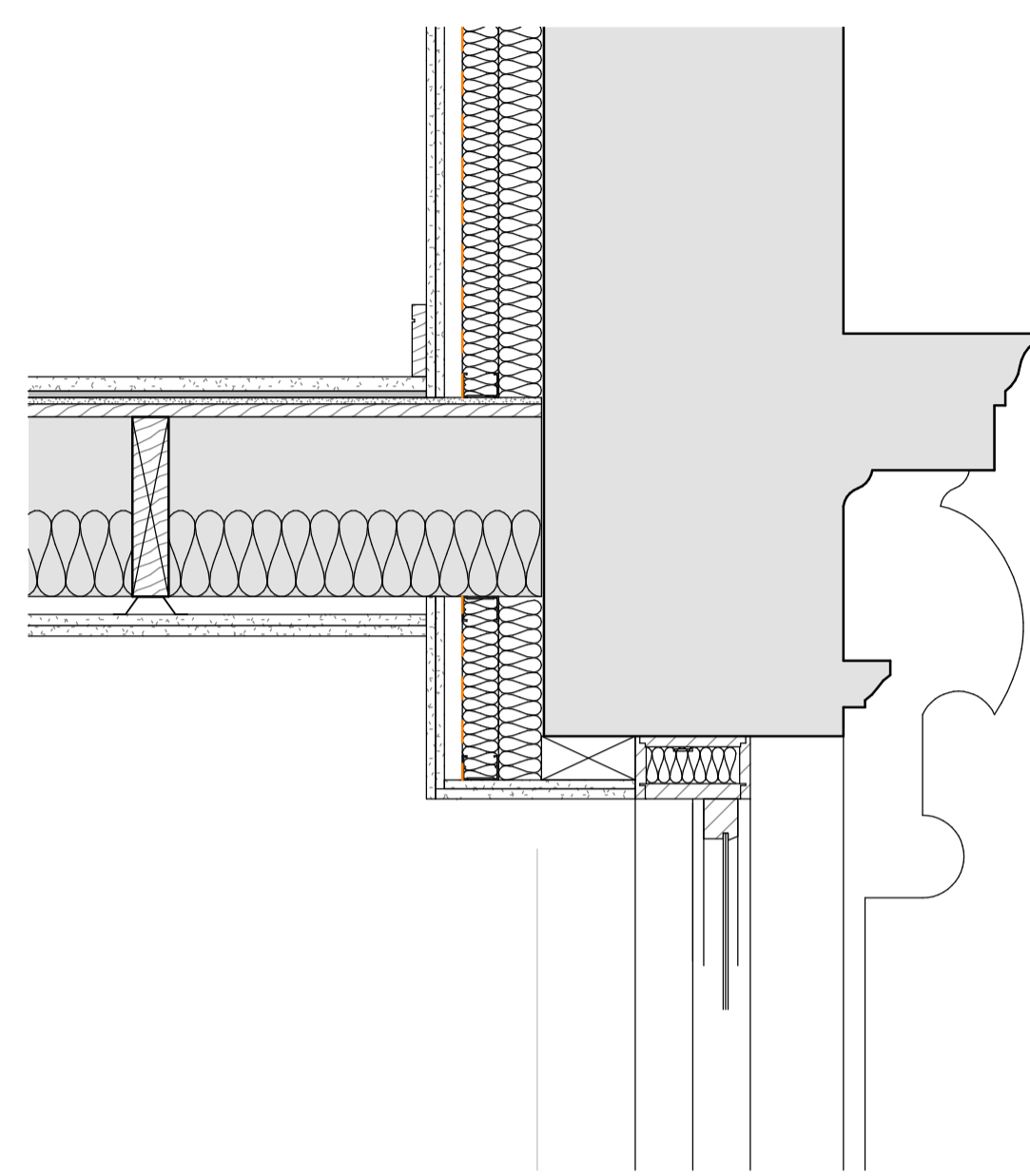
drawn	size	date	scale
JL	A1	24/05/2023	As indicated
drawing number	revision		

295B_P50.101	-
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REPORT DISCREPANCIES DO NOT SCALE FROM THIS DRAWING COPYRIGHT DSDHA  
 USE LATEST REVISION CHECK DIMENSIONS ON SITE



1 11-12 MS - Typical Section Detail through Existing East Facade  
 1 : 10



2 35-37 NOS - Typical Section Detail through Existing North Facade  
 1 : 10

- Existing timber sash windows, to be deglazed, repaired and fitted with vacuum glazing
- Existing lead cill cover to be repaired as needed.
- Existing facade repaired, repainted and tooled to imitate Ashlar masonry like existing.
- Mineral wool insulation
- Stud framing with mineral wool insulation & vapour control layer
- Air cavity gap
- Plasterboard
- NB. Floor finish to be confirmed following further site investigation. Assumed existing timber floor joists can be retained & repaired as needed.
- Timber skirting
- Floor finish zone
- Acoustic Resilient Layer
- Fire protection board (60 min. fire separation)
- Plywood substrate
- Timber joists (Existing)
- Mineral wool insulation between timber floor joists
- 2x layers of Plasterboard to provide 60min fire separation

- Existing timber sash windows, to be deglazed, repaired and fitted with vacuum glazing
- Existing lead cill cover to be repaired as needed.
- Existing facade repaired and repainted.
- Mineral wool insulation
- Stud framing with mineral wool insulation & vapour control layer
- Air cavity gap
- Plasterboard
- NB. Floor finish to be confirmed following further site investigation. Assumed existing timber floor joists can be retained & repaired as needed.
- Timber skirting
- Floor finish zone
- Acoustic Resilient Layer
- Fire protection board (60 min. fire separation)
- Plywood substrate
- Timber joists (Existing)
- Mineral wool insulation between timber floor joists
- 2x layers of Plasterboard to provide 60min fire separation, or retained and repaired lath & plaster where extant on 35 NOS