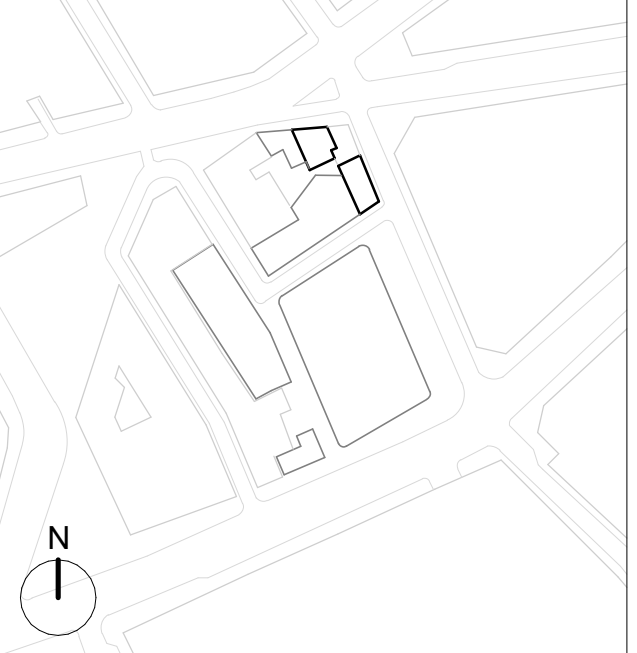




NOTES



GENERAL NOTES:

Existing drawings are for The internal layouts within commercial floor space, residential apartments and ancillary areas of buildings are indicative and will be subject to design development.

The precise location of walls, internal doors, columns, risers and the detailed layout of office, bathroom and kitchen areas will be the subject of nonmaterial changes and may vary from the internal layouts set out in these plans.

These minor alterations will not affect the position and arrangements of external doors and windows nor will they affect the relative relationship between habitable rooms and windows.

Landscape proposals are indicative only.

Plant layouts are indicative only.

All materials shown or highlighted are indicative only and may be subject to changes made during detailed design development.

only - not for approval.

KEY:

Application Boundary

- KEY:**
- 35 New Oxford Street**
- Existing stair & balusters retained & repaired
 - Existing envelope walls to be upgraded thermally with mineral wool & plasterboard internally. Historic joinery, where existing, to be lifted and reinstated.
 - New vertical services cupboard
 - Historic joinery to be retained and repaired where extant
 - Existing door architraves to be retained & repaired. Doors to be replaced with fire-rated timber doors (FR30min) in appropriate historic style
 - Existing floor build-up retained & floorboards repaired
 - New fire-rated timber door (FR30min) in appropriate historic style
 - Existing fireplace retained & repaired
- 37 New Oxford Street**
- Existing stair & balusters retained & repaired
 - Existing envelope walls to be upgraded thermally with mineral wool & plasterboard internally. Historic joinery, where existing, to be lifted and reinstated.
 - New vertical services cupboard
 - Historic joinery to be retained and repaired where extant
 - Existing door architraves to be retained & repaired. Doors to be replaced with fire-rated timber doors (FR30min) in appropriate historic style
 - Existing floor build-up retained & floorboards repaired
- 11-12 Museum Street**
- Existing stair & balusters removed and new lobby created that connects to 19WCS via deck access
 - Demolition of existing 1990's extension above first floor; new envelope wall infill to form continuous west elevation wall.
 - New lightweight partition & door installed to form new bedroom
 - Existing envelope walls to be upgraded thermally with mineral wool & plasterboard internally. Historic joinery, where existing, to be reinstated.
 - New partition & door installed to form new bathroom; new sanitaryware installed.
 - New lightweight infill to existing opening
 - New opening within existing wall
 - New partition & door installed to form new lobby
 - New vertical services cupboard
 - Existing party walls to be upgraded thermally with mineral wool & plasterboard internally. Historic joinery, where existing, to be lifted and reinstated on top of insulation.
- 10 Museum Street**
- General Note: Lath & plaster wall & ceiling finish to be retained and repaired; Existing floor build-up retained & floorboards to be repaired
- Existing stair & balusters retained & repaired
 - Existing fireplace retained & repaired
 - Existing cupboards retained & repaired
 - Existing architraves to be retained & repaired. Modern doors to be replaced with fire-rated timber doors (FR30min) in appropriate historic style
 - Historic window surrounds, coving, cornices and skirtings to be retained

- 24.05.23 IM Issued for Listed Building Consent

PLANNING

rev	date	author / check	comments
DSDHA 357 Kennington Lane London SE11 5QY T 020 7703 3555 F 020 7703 3890 E info@dsdha.co.uk W www.dsdha.co.uk			
project			
Museum Street and West Central Street			
London, WC1A 1JR			
drawing title			
WCS - Proposed Second Floor Plan			
drawn	size	date	scale
JM	A1	24/05/23	1 : 100
drawing number			revision
295B_P20.192			-
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