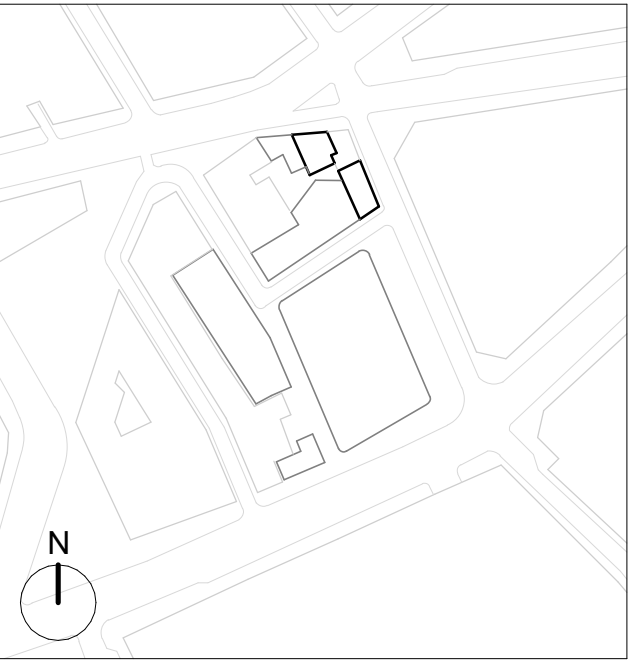




NOTES



**GENERAL NOTES:**

Existing drawings are for The internal layouts within commercial floor space, residential apartments and ancillary areas of buildings are indicative and will be subject to design development.

The precise location of walls, internal doors, columns, risers and the detailed layout of office, bathroom and kitchen areas will be the subject of nonmaterial changes and may vary from the internal layouts set out in these plans.

These minor alterations will not affect the position and arrangements of external doors and windows nor will they affect the relative relationship between habitable rooms and windows.

Landscape proposals are indicative only.

Plant layouts are indicative only.

All materials shown or highlighted are indicative only and may be subject to changes made during detailed design development.

only - not for approval.

**KEY**

Application Boundary

- KEY:**
- 35 New Oxford Street**
- Existing stair & balusters retained & repaired
  - Shopfronts to be demolished and rebuilt in a traditional style
  - Historic joinery to be retained and repaired where extant
  - Existing floor build-up retained & floorboards repaired
  - Existing blocked-up window and associated details to be retained and repaired.
- 37 New Oxford Street**
- Existing stair & balusters retained & repaired
  - Shopfronts to be demolished and rebuilt in a traditional style
  - Historic joinery to be retained and repaired where extant
  - Existing floor build-up retained & floorboards repaired
  - Existing blocked-up window and associated details to be retained and repaired.
- 11-12 Museum Street**
- Existing floor build-up retained & floorboards repaired
  - Historic coving, cornices and skirtings to be retained where extant
  - Existing stair to be removed and replaced with a compliant stair
  - Shopfronts to be demolished and rebuilt in a traditional style
  - Goods yard entrance to be reinstated with traditional style panelled doors
  - New stair to serve commercial basement space
  - New opening within the existing wall, arched to match the existing character
  - Existing opening to be infilled with lightweight construction
- 10 Museum Street**
- Existing stair & balusters retained & repaired
  - Existing architraves to be retained & repaired. Structural opening to be filled in to create fire separation between townhouse and retail unit (F1030min)
  - Existing floor build-up retained & floorboards repaired
  - Historic coving, cornices and skirtings to be retained where extant
  - Existing door to be removed and replaced in a traditional style
  - Shopfronts to be demolished and rebuilt in a traditional style
  - Modern linings to be carefully removed and lime plaster to be repaired and redecorated
  - Following demolition of closet wing, opening to be infilled in brick, walls made good. New walls rendered to match rest of facade.

- 24.05.23 IM Issued for Listed Building Consent

PLANNING

rev	date	author / check	comments
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project			
<b>Museum Street and West Central Street</b>			
London, WC1A 1JR			
drawing title			
WCS - Proposed Ground Floor Plan			
drawn	size	date	scale
JM	A1	24/05/23	1 : 100
drawing number	revision		
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