



Listed Building Consent Schedule of Works

Prepared by DSDHA

Submitted on behalf of Lab Selkirk House Ltd

10-12 Museum Street, 35 and 37 New Oxford Street, London

May 2023

Rev	Date	Purpose	Document Ref	Comments
-	24/05/2023	Issued for Listed Building Consent	295B_WCS Listed Building Consent-Schedule Of Works	

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1.0 Schedule of Works: 10-12 Museum Street

- 1.1 Existing Condition
- 1.2 Proposed Works: Basement
- 1.3 Proposed Works: Ground Floor
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- 1.5 Proposed Works: Second Floor
- 1.6 Proposed Works: Third Floor
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2.0 Schedule of Works: 35 New Oxford Street

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4.0 Schedule of Works: External Works

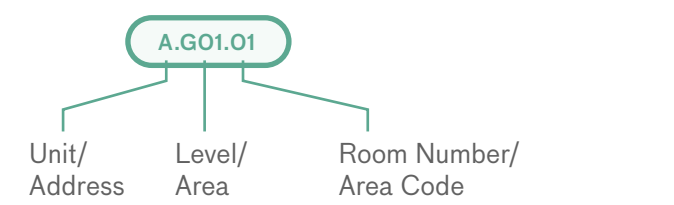
- 4.0 Existing Condition
- 4.1 Proposed Works: Museum St Elevation
- 4.2 Proposed Works: New Oxford St. Elevation
- 4.3 Proposed Works: West Central Street Elevation
- 4.4 Proposed Works: Courtyard West Elevation
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Introduction:

This report has been prepared to support the Listed Building Consent submission related to the works to below grade II listed buildings:
- 10-12 Museum Street
- 35 and 37 New Oxford Street

This document is structured to cover all the works proposed to these buildings as well as including photographs of the existing condition and relevant elements to retain.

Room Key:



Unit/Address Key:

- | | |
|---|-------------------|
| A | 10 Museum St. |
| B | 11-12 Museum St. |
| C | 35 New Oxford St. |
| D | 37 New Oxford St. |

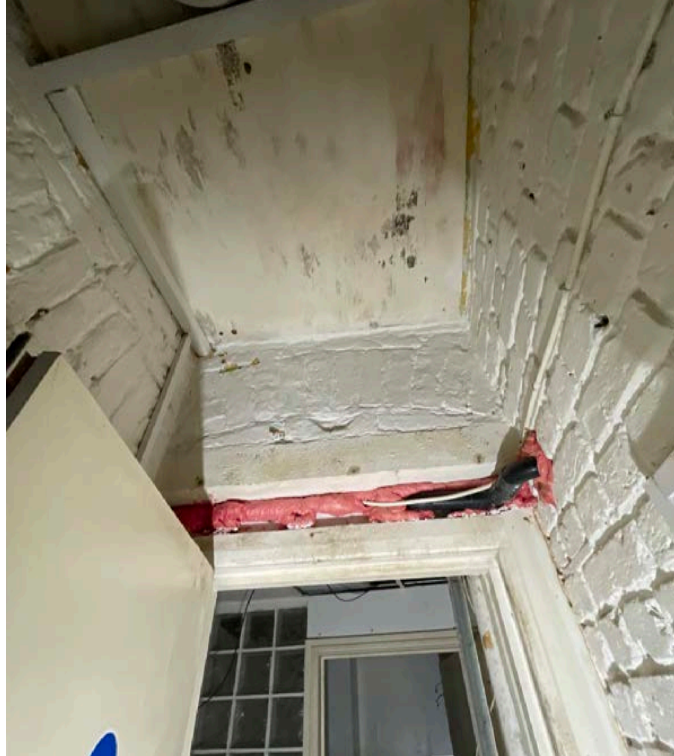
Level / Area Key:

- | | |
|-----|-----------------------------------|
| B01 | Basement |
| G00 | Ground Level |
| G01 | First Floor |
| G02 | Second Floor |
| G03 | Third Floor |
| RF | Roof |
| EX | External Works / Work to exterior |

1.0 Schedule of Works: 10 - 12 Museum Street

1.1 Existing Condition

10 Museum Street Basement:



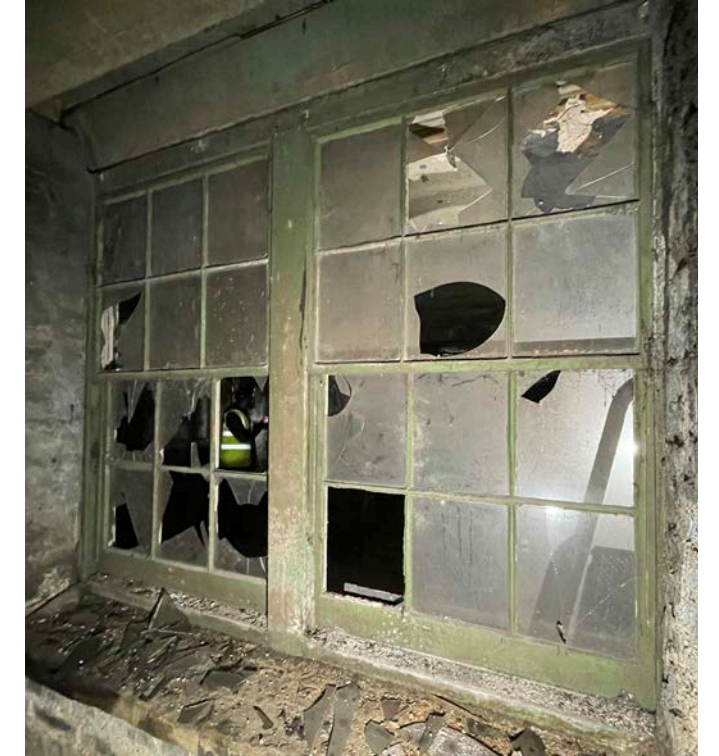
Closet wing into modern extension



Front vaults and coal hole



Modern joist supporting opening to front and back of basement. Boarded up fireplace possibly concealing range. Concrete screed.

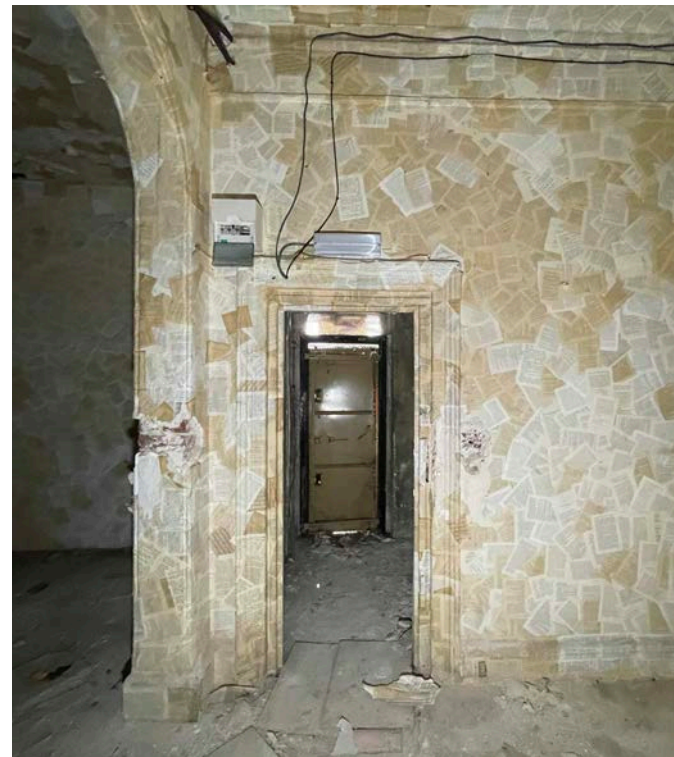


Historic sash window in need of repair

10 Museum Street Ground Floor:



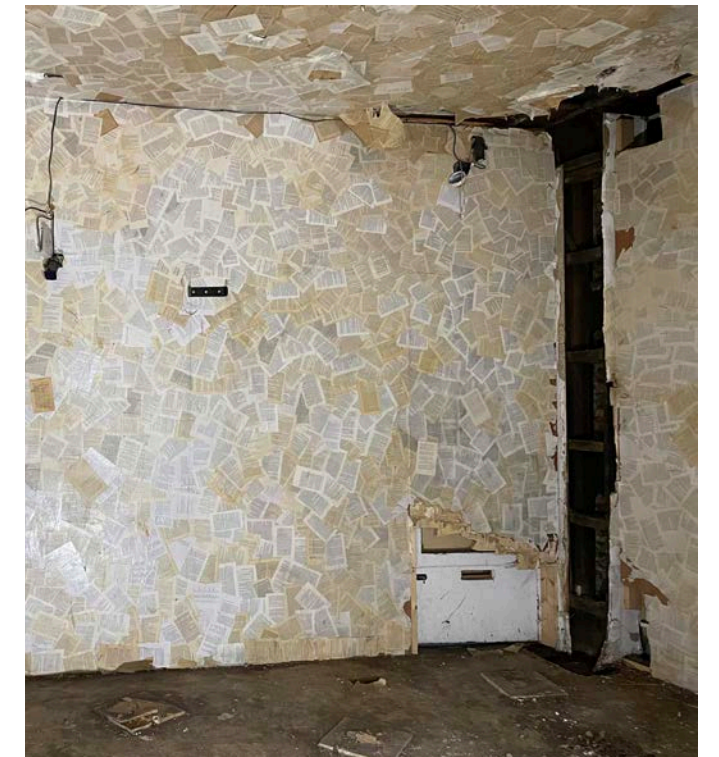
c. 1830s Staircase, Twisted mahogany handrail and stick balusters.



Cornice, Skirting & architrave all of early phases
Arch with c1860s details joining front and back rooms.



Partially infilled fireplace opening. Cornice and architraves of early phases.

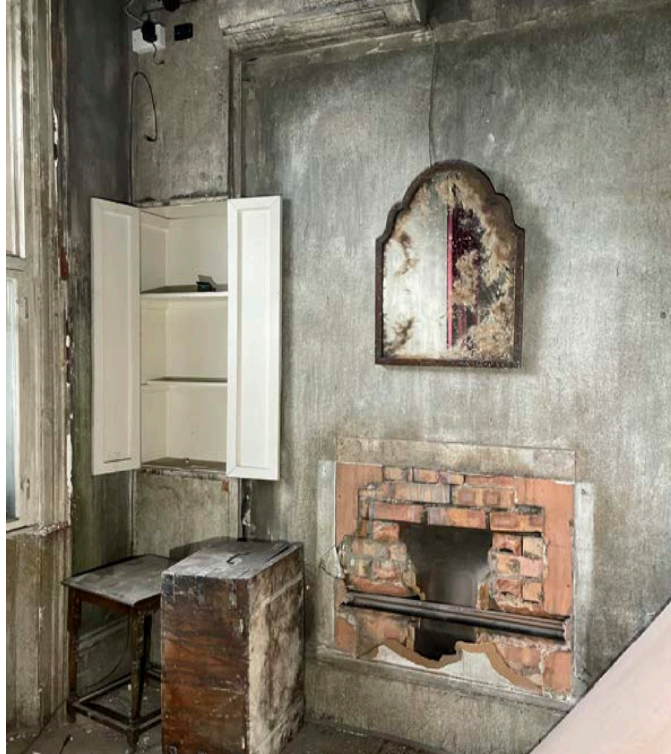


Looking towards boarded up shopfront. Iron structure supporting 1860s facades.

1.0 Schedule of Works: 10 - 12 Museum Street

1.1 Existing Condition

10 Museum Street First Floor:

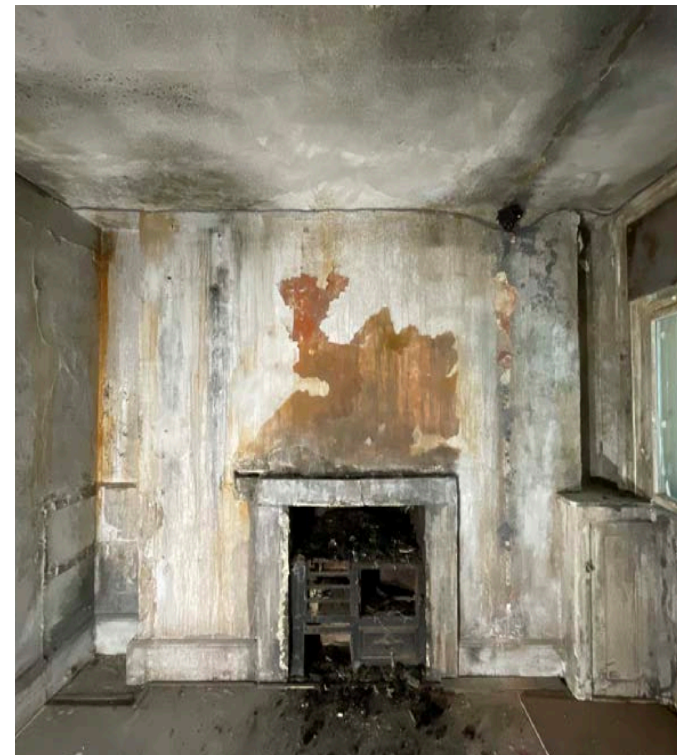


Infilled fireplace with pre-war common bricks - evidence of c1930s phase. Cupboard with modern joinery

10 Museum Street Third Floor:



Historic fireplace including decorative arched cast-iron register grate, some joinery, lath and plaster and floorboards.



Cast-iron cooking range in front room with one surviving fitted cupboard to side

10 Museum Street Second Floor:

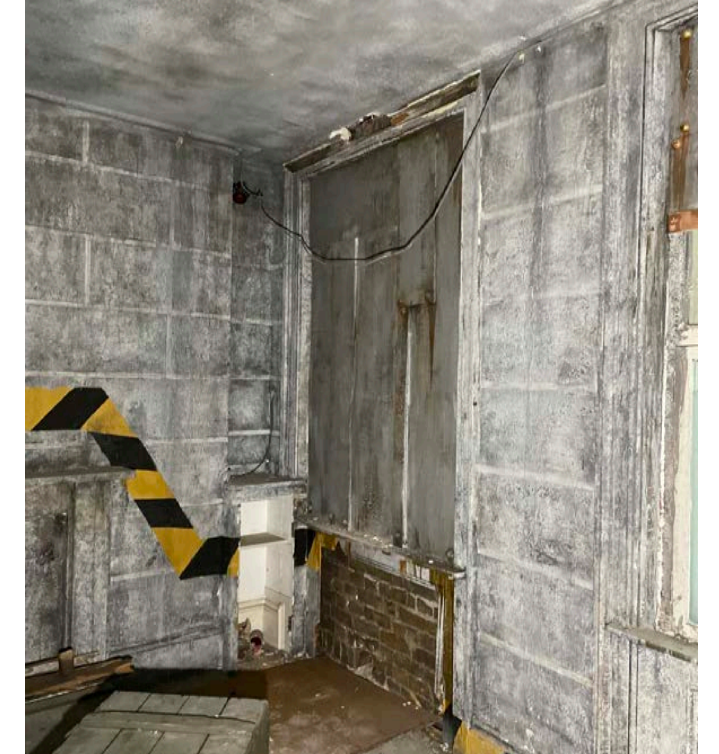


c1860 fireplace behind boarding

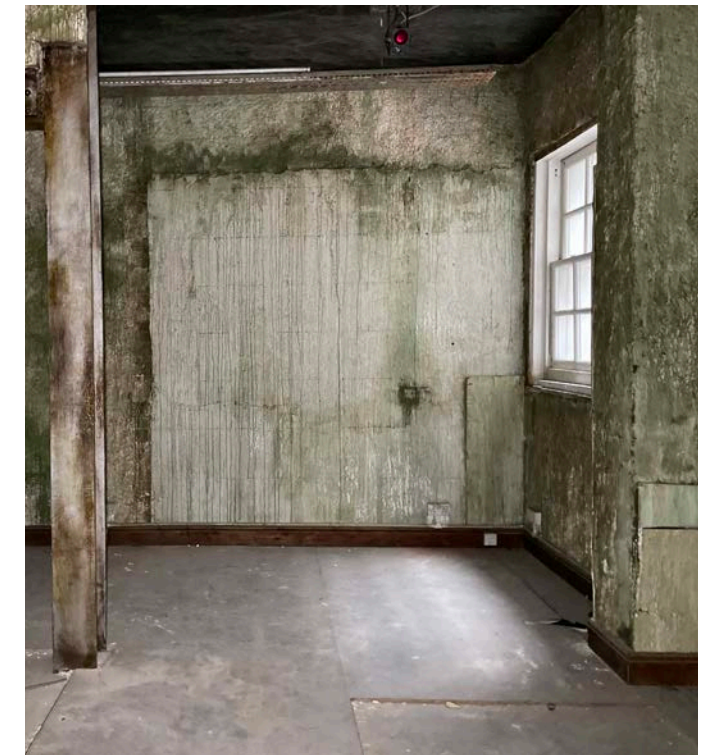
11 Museum Street Ground Floor:



Door to shopfront, some early fabric, phases of ironmongery alteration.



Historic fabric covered with damaging paintwork. Historic fire surround and side cupboards.



Area rebuilt in 1990s, new joinery.

1.0 Schedule of Works: 10 - 12 Museum Street

1.2 Proposed Works: Basement

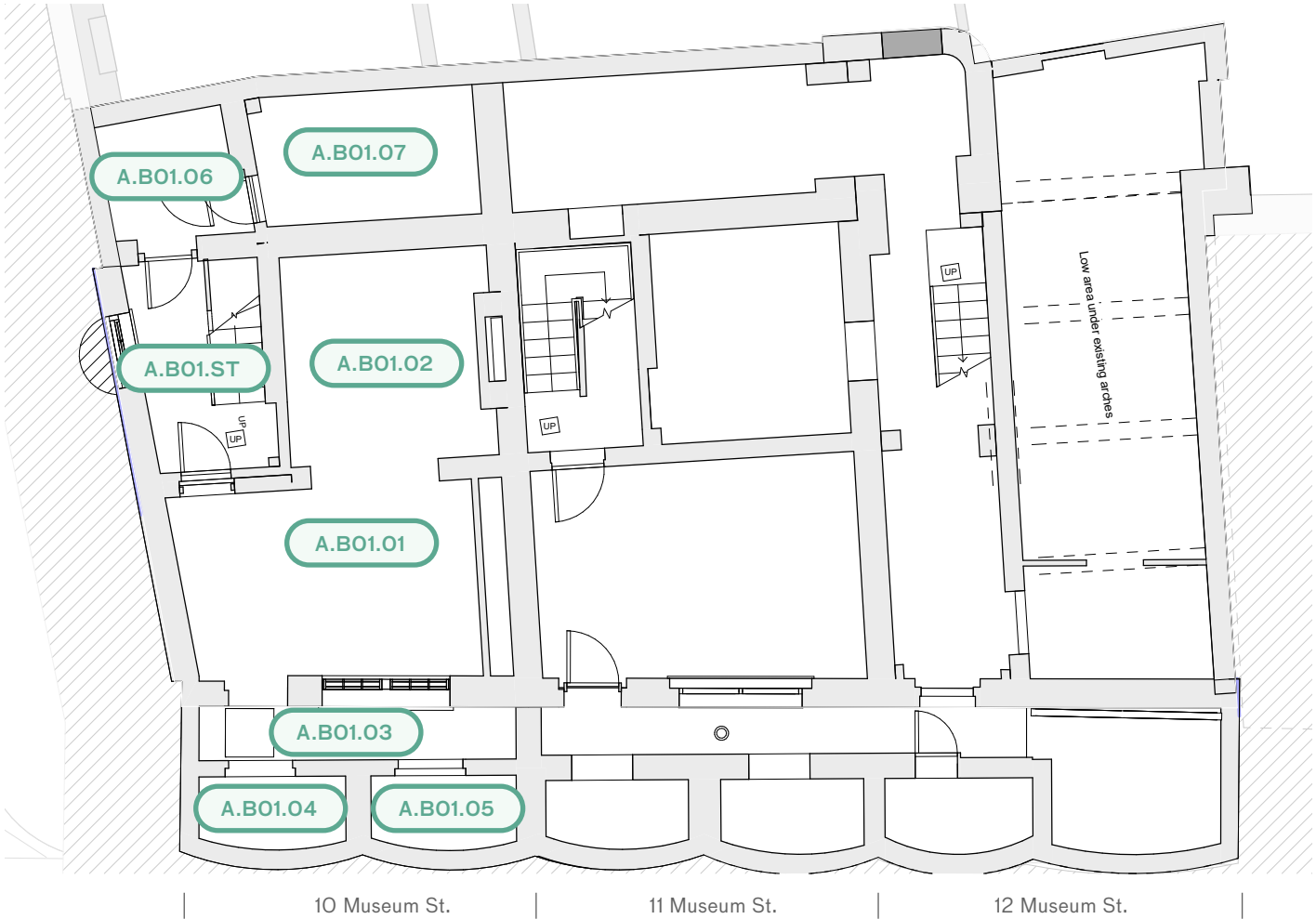
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
Townhouses should be fire separated from the retail units by 60 minutes fire resistance.
60 minute compartment floors.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



A.B01.03 Corridor

General: Existing corridor to be retained, repaired and cleaned. Pavement lights to be reinstated.

A.B01.04 A.B01.05 Coal Vaults

General: Existing brick coal vaults to be carefully cleaned and repaired.

A.B01.06 A.B01.07 Basement Rooms 3, 4

General: Existing walls made good and redecorated. Modern partition walls removed.

A.B01.01 Basement Room 1

- Walls:** Lime plaster to be repaired. Existing walls to be made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Areas of Lath & Plaster to be repaired and redecorated. Lime plaster to other areas to be repaired.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** Sash window to be repaired.
- Fittings:** New light fittings (pendant lights). New light switches and electrical outputs installed to suit new room layout.
- Misc:** Extent of boarded-up fireplace to be confirmed, review and repair where possible.

A.B01.02 Basement Room 2

- Walls:** Lime plaster to be repaired. Existing walls to be made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Areas of Lath & Plaster to be repaired and redecorated. Lime plaster to other areas to be repaired
- Doors:** N/A
- Windows:** N/A
- Fittings:** New light fittings (Pendant Lights). New light switches and electrical outputs installed to suit new room layout.
- Misc:** Fireplace opening to be closed off, and Hole in wall to 11 Museum St infilled.

A.B01.ST Stairwell

- Walls:** Historic lath and plaster, lime plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Areas of Lath & Plaster to be repaired and redecorated. Lime plaster to other areas to be repaired
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.

- Windows:** Existing window to be retained & repaired.
- Fittings:** New light fittings (Pendant lights). New light switches and electrical outputs installed to suit new room layout.
- Misc:** New pavement lights to be installed along pavement.

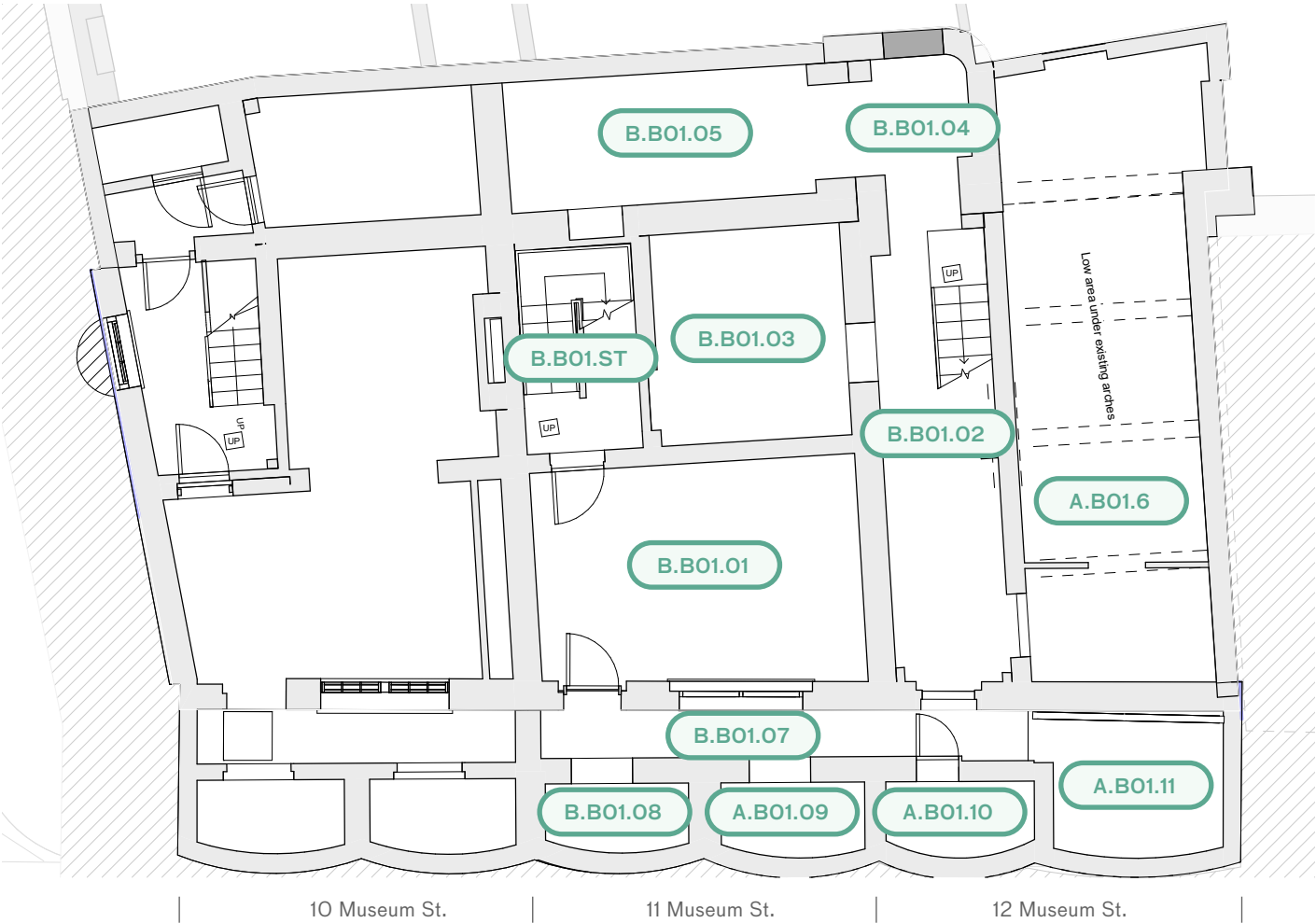
1.2 Proposed Works: Basement

General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Wall Key

- Existing Walls
- Proposed Walls



- B.B01.ST

B.B01.01

B.B01.02

B.B01.03

B.B01.04

B.B01.05

B.B01.06
- Basement Rooms

- B.B01.07
- Corridor
- General:** Existing corridor to be retained, repaired and cleaned. Pavement lights to be reinstated.

- B.B01.08

B.B01.09

B.B01.10

B.B01.11
- Coal Vaults
- General:** Existing brick coal vaults to be carefully cleaned and retained. Modern fixtures and fittings within coal vaults (eg tanks, sanitary ware) to be removed

General: Any Historic lath and plaster, lime plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls, floors and ceilings made good and redecorated.
New timber stairs to be installed to connect to ground level

1.0 Schedule of Works: 10 - 12 Museum Street

1.3 Proposed Works: Ground Floor

General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Demolition of 1) the closet wing, 2) the currently inaccessible room to 10 Museum St, 3) the room to the north west at 11 Museum St, as well as 4) the outrigger to 12 Museum St.

Fire strategy notes:
Townhouses should be fire separated from the retail units by 60 minutes fire resistance.
60 minute compartment floors.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



A.G00.ST	Stairwell / Entrance	A.G00.01	Retail Space	B.G00.01	Retail Space	B.G00.02	Side room
Walls:	Historic lath and plaster, lime plaster, panelling, skirting and cornicing to be repaired and redecorated where extant.	Walls:	Layers of modern linings to be carefully removed and existing lime plaster/lath & plaster to be repaired and redecorated. Moulded door surrounds, skirting & architraves to be retained, repaired and redecorated.	Walls:	Existing walls made good and redecorated.	Walls:	Existing walls made good and redecorated.
Floors:	Existing floor retained and repaired where suitable, otherwise replaced like for like.	Floors:	Existing floor retained and repaired where suitable, otherwise replaced like for like.	Floors:	Existing floor retained & repaired where suitable, or otherwise replaced like for like.	Floors:	Existing floor retained & repaired where suitable, or otherwise replaced like for like.
Ceiling:	Areas of Lath & Plaster to be repaired and redecorated. Lime plaster to other areas to be repaired.	Ceiling:	Historic Lath & Plaster to be repaired & redecorated. Moulded cornice (full to N, E, W) to be repaired and redecorated, with like for like reinstatement where the cornice is missing.	Ceiling:	Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.	Ceiling:	Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
Doors:	Door between stair & retail to be removed; Architrave to be retained & repaired; New lightweight partition to block existing opening connecting to A.G00.01 New external timber door with overlight, with new ironmongery.	Doors:	Existing shopfront to be removed and replaced in an appropriate style.	Doors:	Existing shopfront to be removed and replaced in an appropriate style.	Doors:	Existing shopfront to be removed and replaced in an appropriate style.
Fittings:	Existing stair & balustrades to be repaired; Stair underside lath & plaster to be repaired.	Windows:	Existing shopfront to be removed and replaced in an appropriate style.	Windows:	Existing shopfront to be removed and replaced in an appropriate style.	Windows:	N/A
Windows:	N/A	Fittings:	New light fittings (pendant lights) New light switches.	Fittings:	New light fittings (pendant lights) New light switches.	Fittings:	New light fittings (pendant lights) New light switches.
Misc:	N/A	Misc:	Fireplace to be reinstated in line with the character of the fireplace in the third floor rear room.	Misc:	Make good and redecorate any demolition work to existing building fabric. Historic joinery/details retained where extant.	Misc:	Make good and redecorate any demolition work to existing building fabric. Historic joinery/details retained where extant. Staircase to upper floors to be removed, walls to be made good. New timber stair to be installed between ground and basement levels.

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1.0 Schedule of Works: 10 - 12 Museum Street

1.4 Proposed Works: First Floor

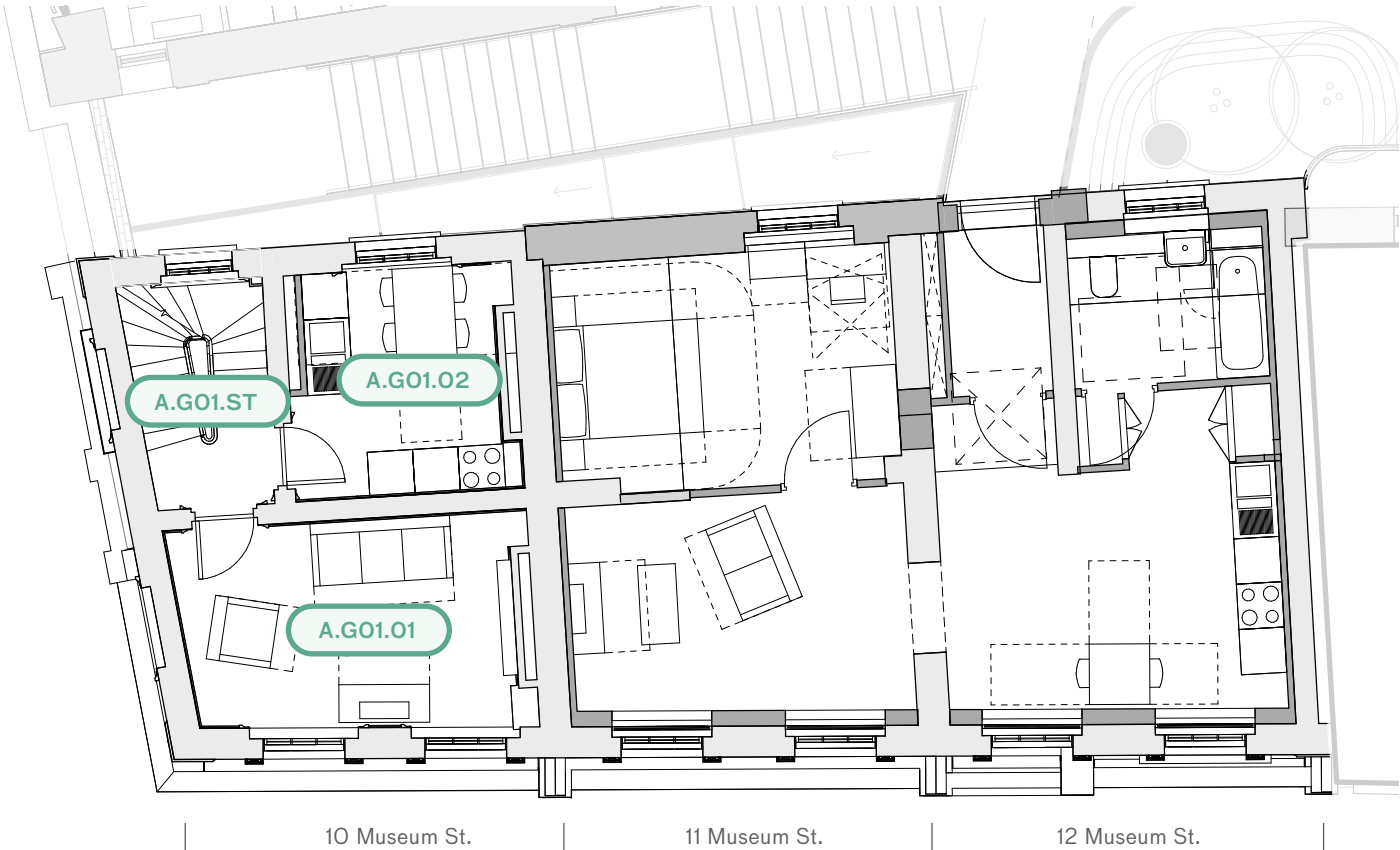
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
30 minute protected stair enclosure required.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



A.G01.ST Stairwell

- Walls:** Historic lath and plaster, lime plaster, panelling, skirting and cornicing to be repaired and redecorated where extant.
- Floors:** Historic timber stair steps to be repaired & redecorated.
Existing floor of landings retained and repaired where suitable, otherwise replaced like for like.
- Ceiling:** Lath & Plaster to be repaired & redecorated.
- Doors:** N/A
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
- Fittings:** Existing stair & balustrades to be repaired; New light fittings (pendant lights)
New light switches.
- Misc:** Small riser zone on corner of stair to be retained & services upgraded.

A.G01.01 Living Room

- Walls:** Historic Lath & Plaster/lime plaster, wall panelling, skirting and cornicing to be retained, repaired and redecorated.
Historic cornicing/skirting to be reinstated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated. Mouldings repaired and redecorated where extant.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building. Historic door architraves to be repaired & redecorated.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
Internal moulded window surrounds to be repaired & redecorated.

- Fittings:** New light fittings (pendant lights)
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition works to existing building fabric.
Fitted cupboard adjacent to fireplace to be repaired and redecorated.
Fireplace to be reinstated in line with the character of the fireplace in the third floor rear room.
Modern kitchen unit to be removed.

A.G01.02 Kitchen

- Walls:** Historic Lath & Plaster/lime plaster, wall panelling, skirting and cornicing to be retained, repaired and redecorated.
Historic cornicing/skirting to be reinstated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated. Mouldings repaired and redecorated where extant.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building. Historic door architraves to be repaired & redecorated.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
Internal moulded window surrounds and lower panel to be repaired & redecorated.
- Fittings:** New light fittings (pendant lights)
New light switches and electrical outputs installed to suit new room layout.
New kitchen cupboards.
- Misc:** Existing fireplace to be repaired.
New services riser

1.0 Schedule of Works: 10 - 12 Museum Street

1.4 Proposed Works: First Floor

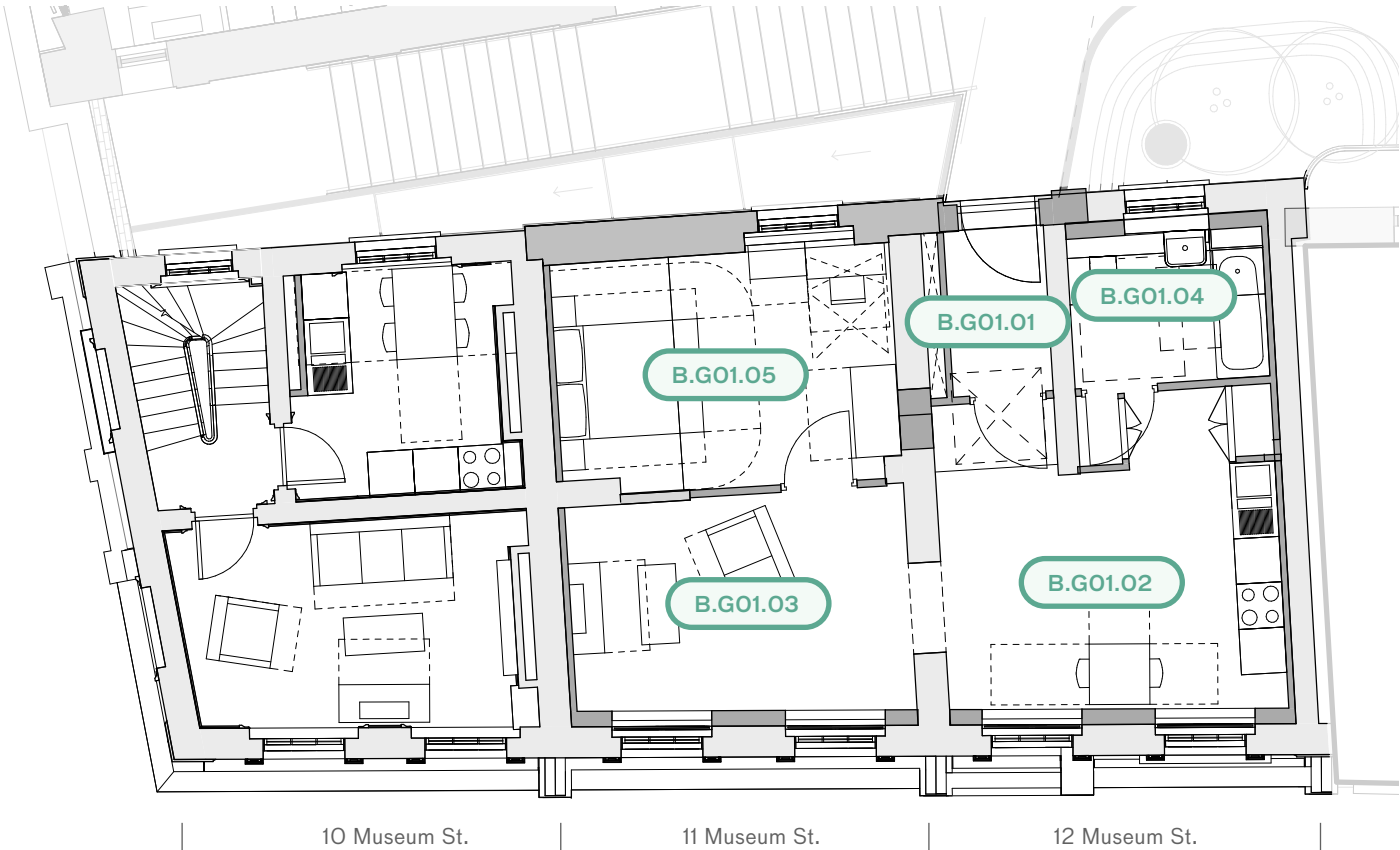
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
60 minute fire resisting party walls.
Each flat should form a separate 60 minute fire resisting compartment.

Wall Key

- Existing Walls
- Proposed Walls



Misc:

New sanitaryware installed
New electric air extractor to be installed and routed within new riser
New wall linings to form riser.
Make good and redecorate any demolition work to existing building fabric.

<div>B.G01.01</div> Entrance Lobby	<div>B.G01.02</div>	<div>B.G01.03</div> Kitchen / Living Room	<div>B.G01.04</div> Bathroom	<div>B.G01.05</div> Bedroom
<p>Walls: New external wall – loadbearing brickwork with insulated plasterboard internally. Existing walls redecorated New lightweight plasterboard internal walls</p> <p>Floors: New timber floor.</p> <p>Ceiling: New decorated plasterboard ceiling.</p> <p>Doors: New timber doors in appropriate style</p> <p>Windows: See demolition drawings.</p> <p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p> <p>Misc: Make good and redecorate any demolition work to existing building fabric.</p>	<p>Walls: External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm). Party wall to be thermally upgraded with 85mm internal wall build-up made of: Insulation layer (rigid insulation 60 mm) with VCL, Gypsum plasterboard (25 mm). Existing walls redecorated</p> <p>Floors: New timber floor.</p> <p>Ceiling: New decorated plasterboard ceiling.</p> <p>Doors: New timber doors in appropriate style to suit date of building.</p> <p>Windows: Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.</p> <p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p> <p>Misc: Make good and redecorate any demolition work to existing building fabric.</p>	<p>Walls: External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm). Party wall to be thermally upgraded with 85mm internal wall build-up made of: Insulation layer (rigid insulation 60 mm) with VCL, Gypsum plasterboard (25 mm). Existing walls redecorated</p> <p>Floors: New floor tiles to be installed onto new tile substrate</p> <p>Ceiling: New decorated plasterboard ceiling.</p> <p>Doors: New timber doors in appropriate style</p> <p>Windows: Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.</p> <p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p>	<p>Walls: External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm). Party wall to be thermally upgraded with 85mm internal wall build-up made of: Insulation layer (rigid insulation 60 mm) with VCL, Gypsum plasterboard (25 mm). Existing walls redecorated</p> <p>Floors: New timber floor.</p> <p>Ceiling: New decorated plasterboard ceiling.</p> <p>Doors: New timber doors in appropriate style</p> <p>Windows: Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.</p> <p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p> <p>Misc: Make good and redecorate any demolition work to existing building fabric.</p>	<p>Walls: New external wall – loadbearing brickwork with insulated plasterboard internally. Party wall to be thermally upgraded with 85mm internal wall build-up made of: Insulation layer (rigid insulation 60 mm) with VCL, Gypsum plasterboard (25 mm). New plasterboard internal walls Existing walls redecorated New lightweight plasterboard internal walls</p> <p>Floors: New timber floor.</p> <p>Ceiling: New decorated plasterboard ceiling.</p> <p>Doors: New timber doors in appropriate style</p> <p>Windows: Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.</p> <p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p> <p>Misc: Make good and redecorate any demolition work to existing building fabric.</p>

1.0 Schedule of Works: 10 - 12 Museum Street

1.5 Proposed Works: Second Floor

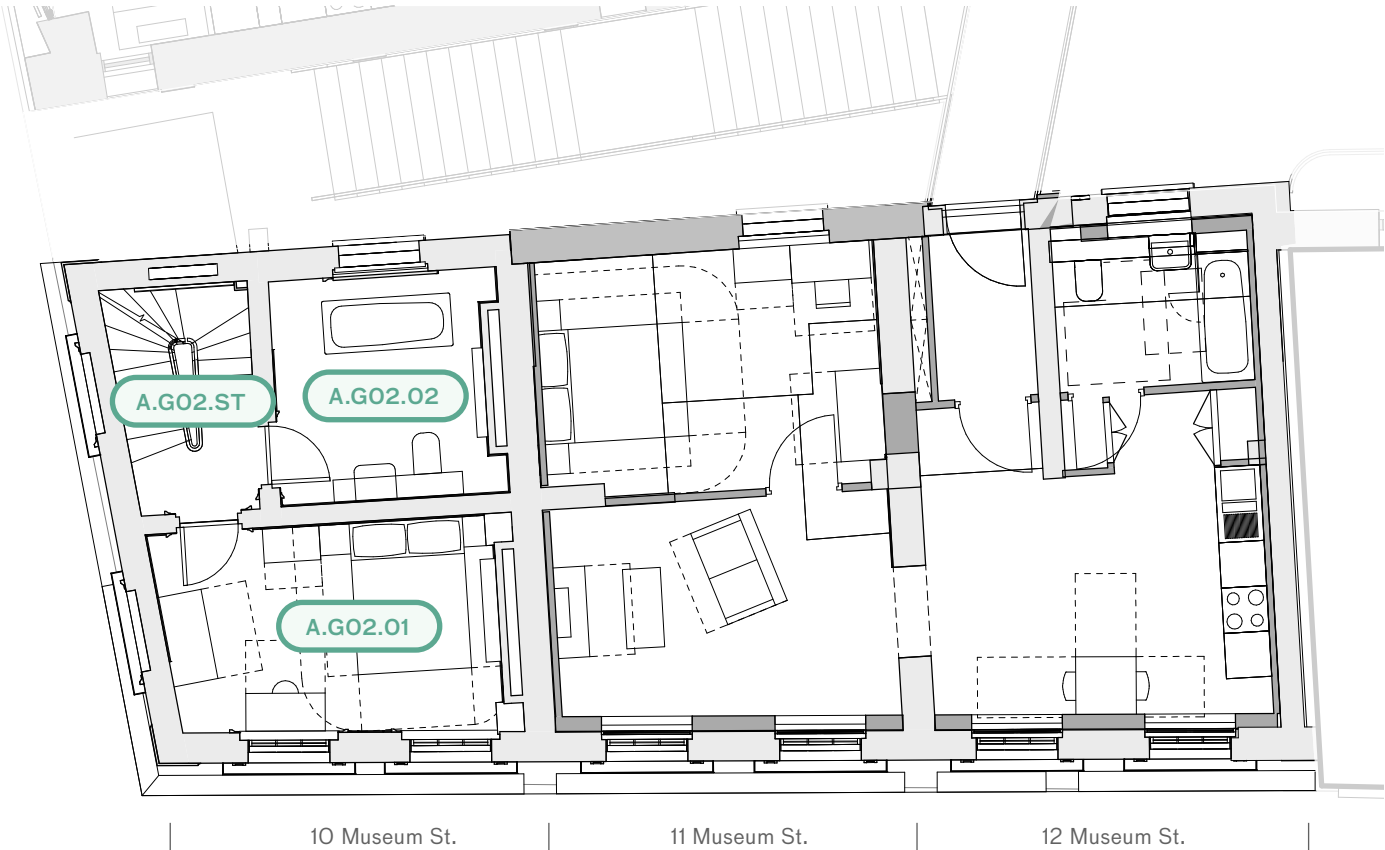
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
30 minute protected stair enclosure required.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



A.G02.ST Stairwell

- Walls:** Historic lath and plaster, lime plaster, panelling, skirting and cornicing to be repaired and redecorated where extant.
- Floors:** Historic timber stair steps to be repaired & redecorated.
Existing floor of landings retained and repaired where suitable, otherwise replaced like for like.
- Ceiling:** Lath & Plaster to be repaired & redecorated.
- Doors:** N/A
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
- Fittings:** Existing stair & balustrades to be repaired; New light fittings (pendant lights)
New light switches.
- Misc:** Small riser zone on corner of stair to be retained & services upgraded.

A.G02.01 Bedroom

- Walls:** Historic Lath & Plaster, wall panelling, skirting and cornicing to be retained, repaired and redecorated.
Historic cornicing, skirting to be reinstated to match existing.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated. Mouldings repaired and redecorated where extant.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building. Historic door architraves to be repaired & redecorated.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
- Fittings:** Internal moulded window surrounds to be repaired & redecorated.
New light fittings (pendant lights)
New light switches and electrical outputs installed to suit new room layout.
Fitted cupboards flanking existing fireplace with timber surrounds and mantle shelf to be repaired and redecorated.
- Misc:** Existing fireplace to be repaired.

A.G02.02 Bathroom

- Walls:** Historic Lath & Plaster, wall panelling, skirting and cornicing to be retained, repaired and redecorated.
Skirting & partial panelling under window to be repaired & redecorated.
Historic cornicing/skirting to be reinstated.
- Floors:** New tiled floor with marine ply substrate.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated. Mouldings repaired and redecorated where extant.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building. Historic door architraves to be repaired & redecorated.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
Internal moulded window surrounds to be repaired & redecorated.
- Fittings:** New sanitaryware.
New Light fittings & light switches.
New electric air extractors.
- Misc:** Existing fireplace to be repaired.

1.0 Schedule of Works: 10 - 12 Museum Street

1.5 Proposed Works: Second Floor

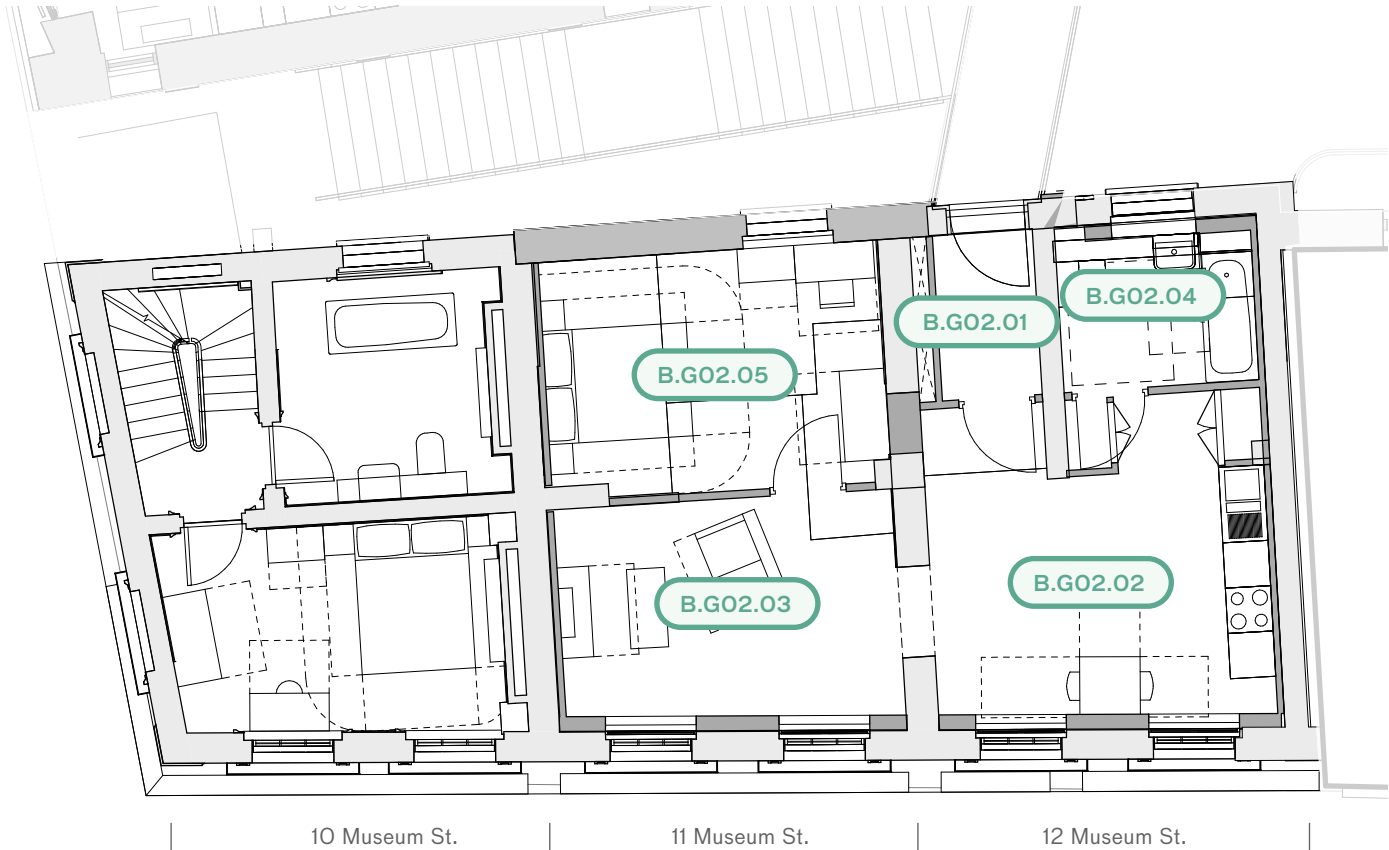
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
60 minute fire resisting party walls.
Each flat should form a separate 60 minute fire resisting compartment.

Wall Key

- Existing Walls
- Proposed Walls



Misc:

New sanitaryware installed
New electric air extractor to be installed and routed within new riser
New wall linings to form riser.
Make good and redecorate any demolition work to existing building fabric.

<div>B.G02.01</div> <div>Entrance Lobby</div> <div><p>Walls: New external wall – loadbearing brickwork with insulated plasterboard internally. Existing walls redecorated New lightweight plasterboard internal walls</p><p>Floors: New timber floor.</p><p>Ceiling: New decorated plasterboard ceiling.</p><p>Doors: New timber doors in appropriate style</p><p>Windows: Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.</p><p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p><p>Misc: Make good and redecorate any demolition work to existing building fabric.</p></div>	<div>B.G02.02</div> <div>B.G02.03</div> <div>Kitchen / Living Room</div> <div><p>Walls: External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm). Party wall to be thermally upgraded with 85mm internal wall build-up made of: Insulation layer (rigid insulation 60 mm) with VCL, Gypsum plasterboard (25 mm). Existing walls redecorated</p><p>Floors: New timber floor.</p><p>Ceiling: New decorated plasterboard ceiling.</p><p>Doors: New timber doors in appropriate style to suit date of building.</p><p>Windows: Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.</p><p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p><p>Misc: Make good and redecorate any demolition work to existing building fabric.</p></div>	<div>B.G02.04</div> <div>Bathroom</div> <div><p>Walls: External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm). Party wall to be thermally upgraded with 85mm internal wall build-up made of: Insulation layer (rigid insulation 60 mm) with VCL, Gypsum plasterboard (25 mm). New lightweight plasterboard internal walls</p><p>Floors: New floor tiles to be installed onto new tile substrate</p><p>Ceiling: New decorated plasterboard ceiling.</p><p>Doors: New timber doors in appropriate style</p><p>Windows: Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.</p><p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p></div>	<div>B.G02.05</div> <div>Bedroom</div> <div><p>Walls: New external wall – loadbearing brickwork with insulated plasterboard internally. Party wall to be thermally upgraded with 85mm internal wall build-up made of: Insulation layer (rigid insulation 60 mm) with VCL, Gypsum plasterboard (25 mm). New plasterboard internal walls Existing walls redecorated New lightweight plasterboard internal walls</p><p>Floors: New timber floor.</p><p>Ceiling: New decorated plasterboard ceiling.</p><p>Doors: New timber doors in appropriate style</p><p>Windows: Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.</p><p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p><p>Misc: Make good and redecorate any demolition work to existing building fabric.</p></div>
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1.0 Schedule of Works: 10 - 12 Museum Street

1.6 Proposed Works: Third Floor

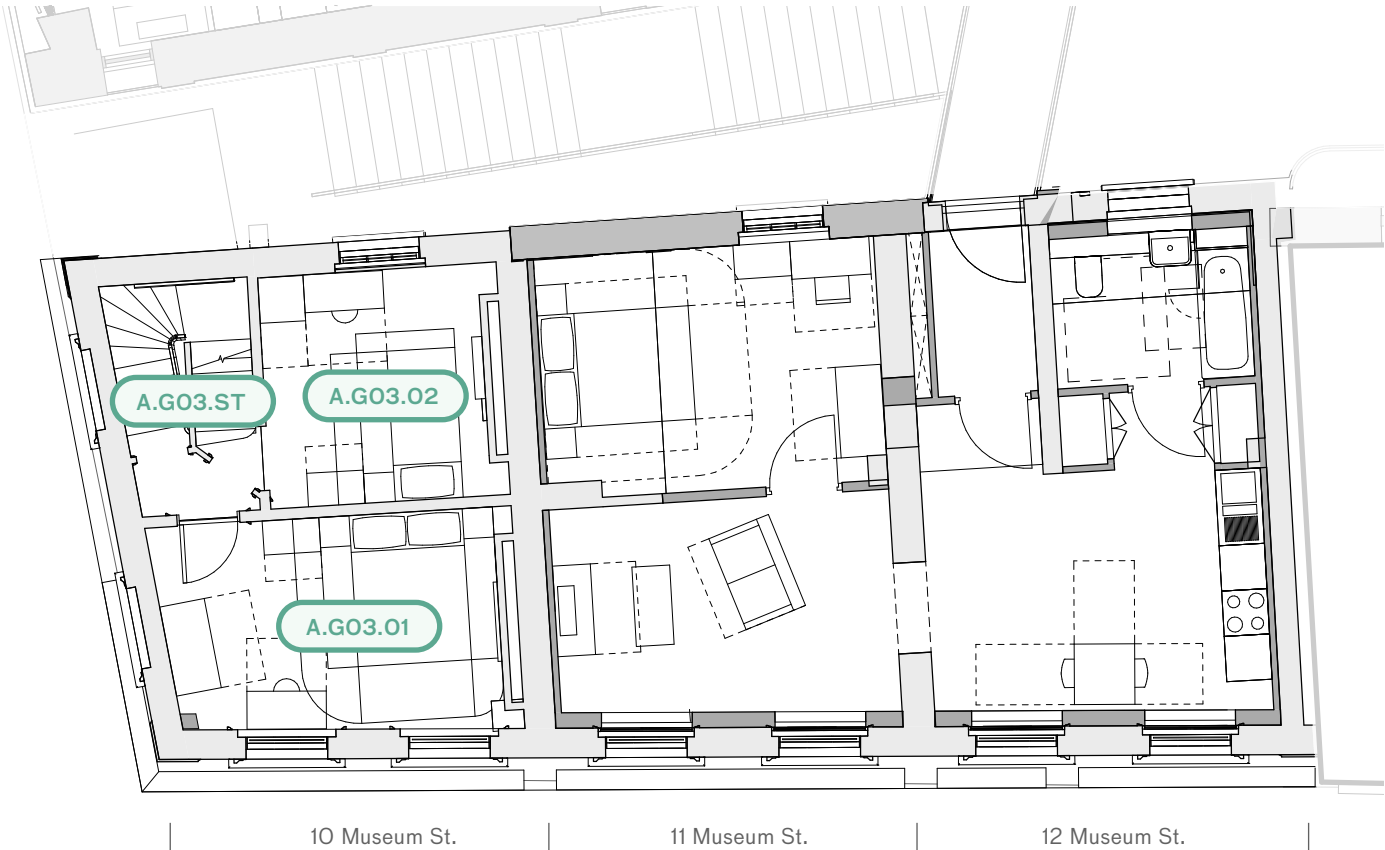
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
30 minute protected stair enclosure required.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



A.G03.ST Stairwell

- Walls:** Historic lath and plaster, lime plaster, panelling, skirting and cornicing to be repaired and redecorated where extant.
- Floors:** Historic timber stair steps to be repaired & redecorated.
Existing floor of landings retained and repaired where suitable, otherwise replaced like for like.
- Ceiling:** Lath & Plaster to be repaired & redecorated.
- Doors:** N/A
- Windows:** See demolition drawings.
- Fittings:** Existing stair & balustrades to be repaired;
New light fittings (pendant lights)
New light switches.
- Misc:** Small riser zone on corner of stair to be retained & services upgraded.

A.G03.01 Bedroom

- Walls:** Historic Lath & Plaster, wall panelling, skirting and cornicing to be retained, repaired and redecorated.
- Floors:** Historic cornicing, skirting to be reinstated.
Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated. Mouldings repaired and redecorated where extant.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
Historic door architraves to be repaired & redecorated.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
Internal moulded window surrounds to be repaired & redecorated.

- Fittings:** New light fittings (pendant lights)
New light switches and electrical outputs installed to suit new room layout.
Cupboard next to cooking range to be repaired & redecorated.
- Misc:** Cast-iron cooking range to be repaired.

A.G03.02 Bedroom

- Walls:** Historic Lath & Plaster, wall panelling, skirting and cornicing to be retained, repaired and redecorated.
Historic skirtings and window surrounds to be repaired & used throughout.
Historic cornicing, skirting to be reinstated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.

- Ceiling:** Historic Lath & Plaster to be repaired and redecorated. Mouldings repaired and redecorated where extant.
Riveted iron girders with brick vaulting to be retained, lath and plaster ceiling to be re-instated.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
Historic door architraves to be repaired & redecorated.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
Internal moulded window surrounds to be repaired & redecorated.
- Fittings:** New light fittings (pendant lights)
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Existing fireplace to be repaired.

1.0 Schedule of Works: 10 - 12 Museum Street

1.6 Proposed Works: Third Floor

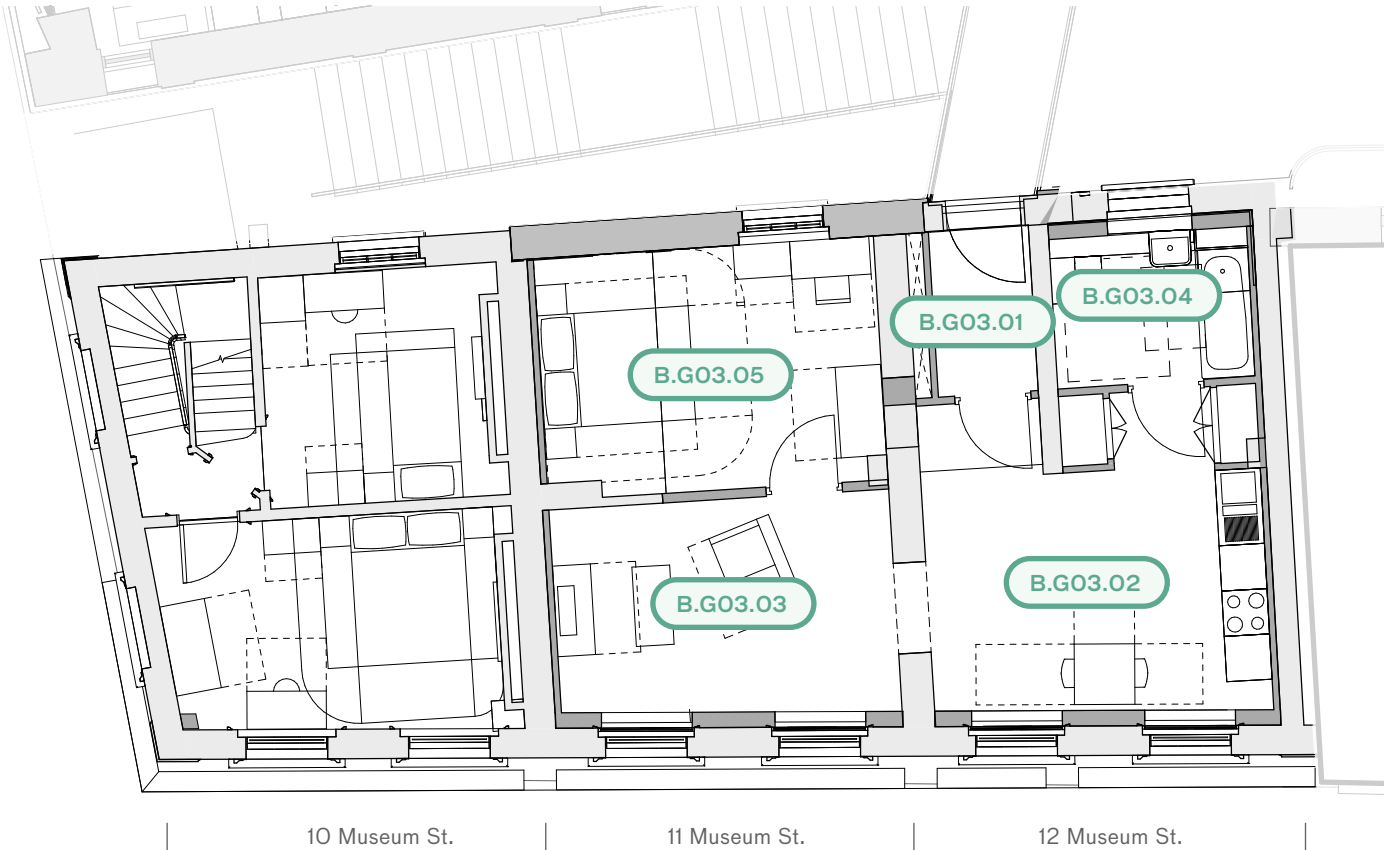
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
60 minute fire resisting party walls.
Each flat should form a separate 60 minute fire resisting compartment.

Wall Key

- Existing Walls
- Proposed Walls



Misc:
New sanitaryware installed
New electric air extractor to be installed and routed within new riser
New wall linings to form riser.
Make good and redecorate any demolition work to existing building fabric.

<div>B.G03.01</div> Entrance Lobby	<div>B.G03.02</div> <div>B.G03.03</div> Kitchen / Living Room	<div>B.G03.04</div> Bathroom	<div>B.G03.05</div> Bedroom
<p>Walls: New external wall – loadbearing brickwork with insulated plasterboard internally. Existing walls redecorated New lightweight plasterboard internal walls</p> <p>Floors: New timber floor.</p> <p>Ceiling: New decorated plasterboard ceiling.</p> <p>Doors: New timber doors in appropriate style</p> <p>Windows: See demolition drawings.</p> <p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p> <p>Misc: Make good and redecorate any demolition work to existing building fabric.</p>	<p>Walls: External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm). Party wall to be thermally upgraded with 85mm internal wall build-up made of: Insulation layer (rigid insulation 60 mm) with VCL, Gypsum plasterboard (25 mm). Existing walls redecorated</p> <p>Floors: New timber floor.</p> <p>Ceiling: New decorated plasterboard ceiling.</p> <p>Doors: New timber doors in appropriate style to suit date of building.</p> <p>Windows: Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.</p> <p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p> <p>Misc: Make good and redecorate any demolition work to existing building fabric.</p>	<p>Walls: External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm). Party wall to be thermally upgraded with 85mm internal wall build-up made of: Insulation layer (rigid insulation 60 mm) with VCL, Gypsum plasterboard (25 mm). New lightweight plasterboard internal walls</p> <p>Floors: New floor tiles to be installed onto new tile substrate</p> <p>Ceiling: New decorated plasterboard ceiling.</p> <p>Doors: New timber doors in appropriate style</p> <p>Windows: Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.</p> <p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p> <p>Misc: Make good and redecorate any demolition work to existing building fabric.</p>	<p>Walls: New external wall – loadbearing brickwork with insulated plasterboard internally. Party wall to be thermally upgraded with 85mm internal wall build-up made of: Insulation layer (rigid insulation 60 mm) with VCL, Gypsum plasterboard (25 mm). New plasterboard internal walls Existing walls redecorated New lightweight plasterboard internal walls</p> <p>Floors: New timber floor.</p> <p>Ceiling: New decorated plasterboard ceiling.</p> <p>Doors: New timber doors in appropriate style</p> <p>Windows: Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.</p> <p>Fittings: New light fittings. New light switches and electrical outputs installed to suit new room layout.</p> <p>Misc: Make good and redecorate any demolition work to existing building fabric.</p>

1.7 Proposed Works: Roof

General Notes

No Notes.

Wall Key

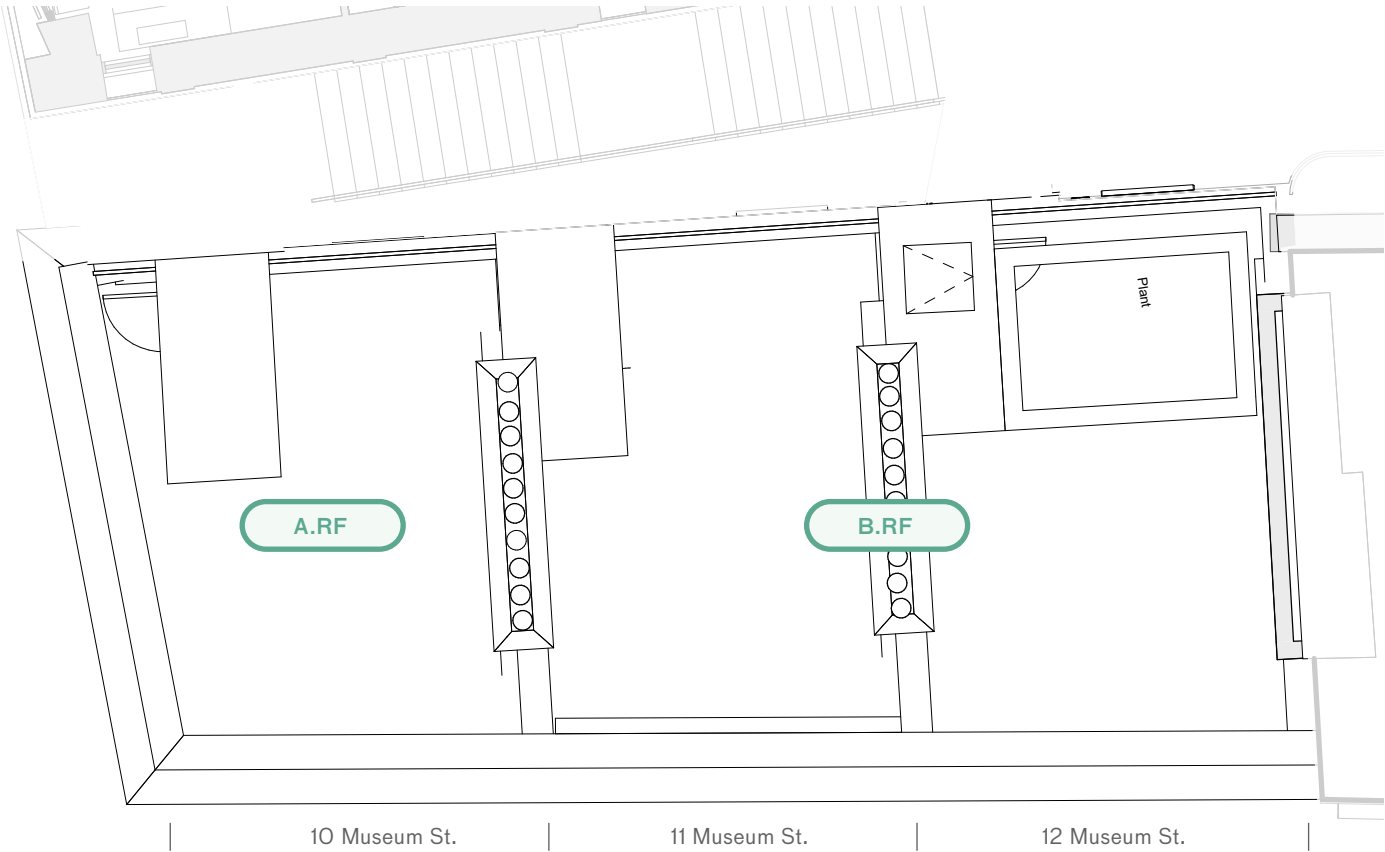
- Existing Walls
- Proposed Walls

A.RF

B.RF

Roof

- General:** New flat roof waterproofing layer to be installed.
- Stairs from third floor to roof to be retained & repaired, existing external door to be repaired & redecorated.
- Existing roof balustrades to be assessed in terms of health and safety, to propose replacements to match existing if found unsuitable. Additional balustrades also to be installed to provide secure roof access.
- New plant area installed at northwest corner with acoustic screen.
- New roof hatch from 11-12 Museum Street.
- Existing chimneys and flues to be repaired & redecorated as required.



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2.0 Schedule of Works: 35 New Oxford Street

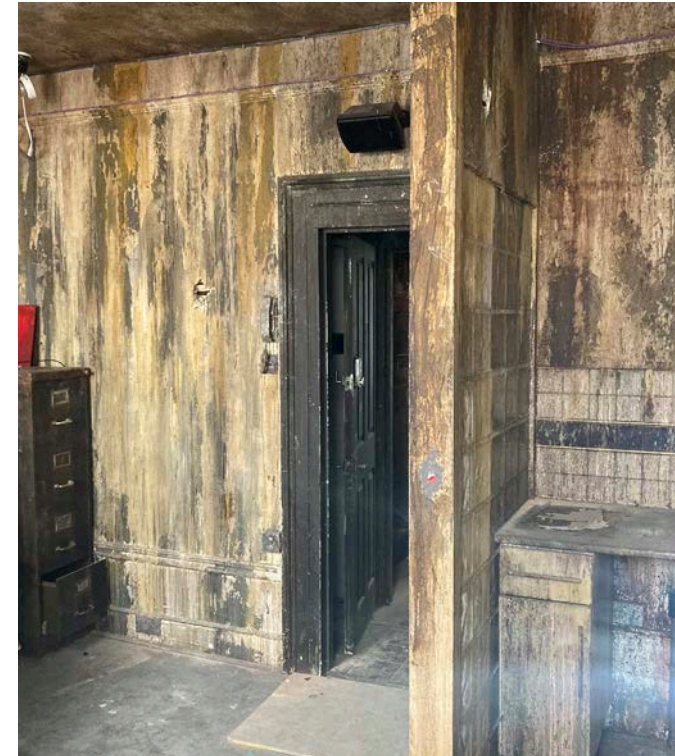
2.1 Existing Condition

35 New Oxford Street Ground Floor:

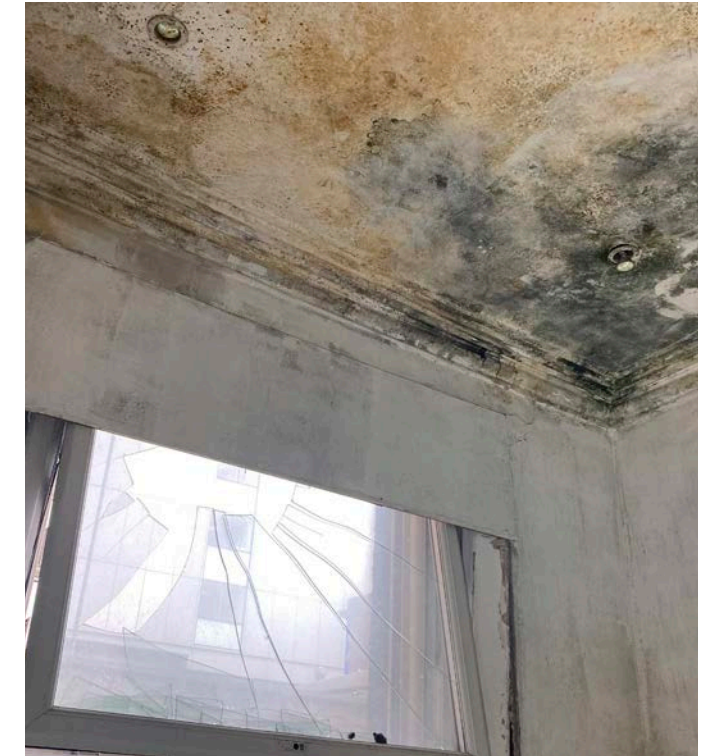


Mix of modern and historic joinery. Walls painted to appear abandoned.

35 New Oxford Street First Floor:



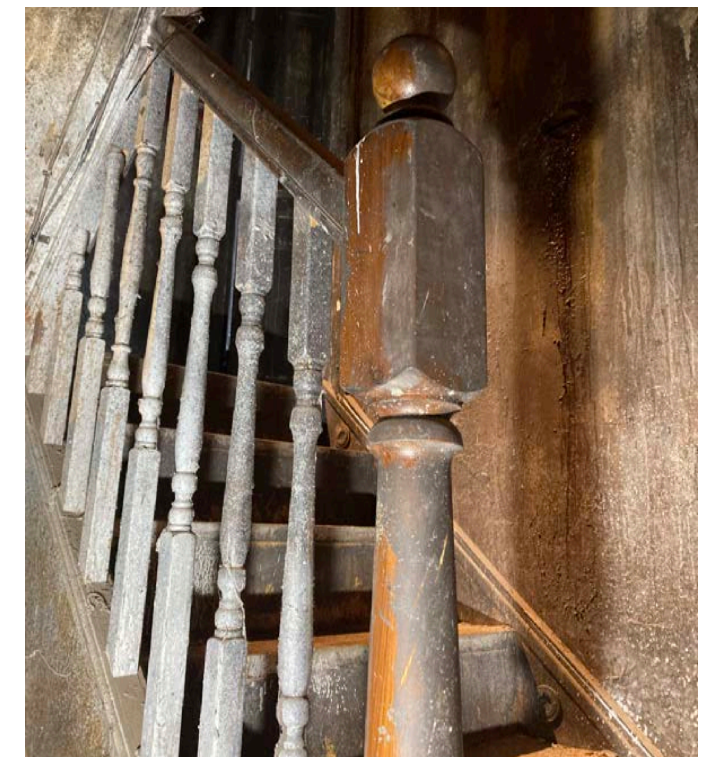
Historic skirting and picture rail. Doorcase with later modifications. Modern kitchenette.



One of the few rooms with cornice across 35 and 37 New Oxford Street.



Modernised and substantively rebuilt staircase.



Modern balustrading, treads, risers and stringers cladding.

2.0 Schedule of Works: 35 New Oxford Street

2.1 Existing Condition

35 New Oxford Street Second Floor:



En-suite enclosure, changing historic plan.

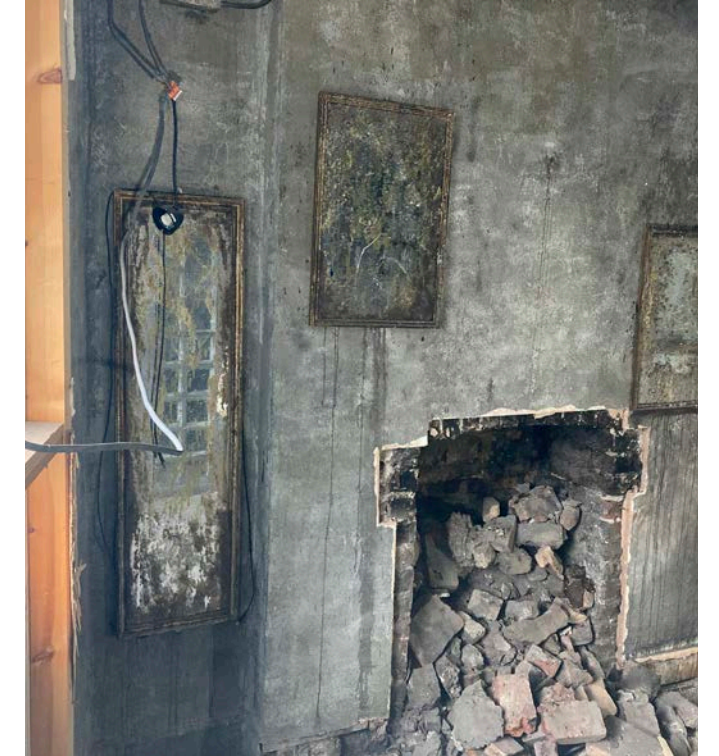


Fireplace to front room: one of the few remaining historic features within 35 and 37 New Oxford Street

35 New Oxford Street Third Floor:



Mix of modern and historic joinery.



Modern joinery and lost fireplace.

2.2 Proposed Works: Basement

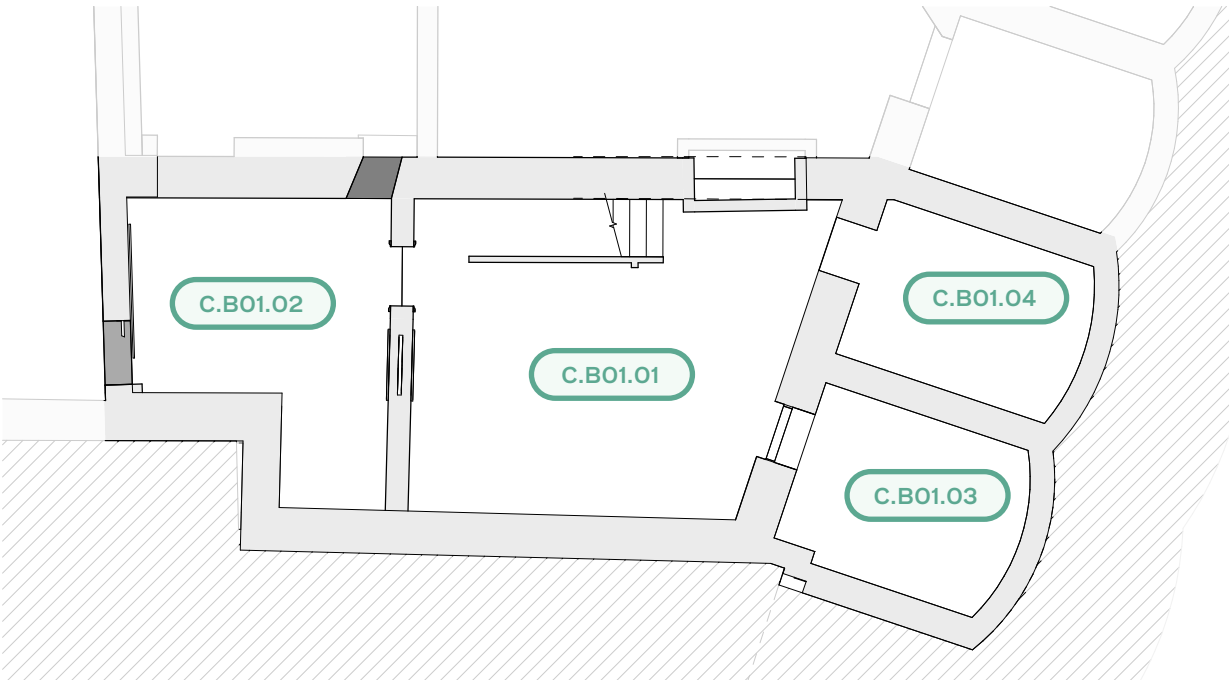
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
Townhouses should be fire separated from the retail units by 60 minutes fire resistance.
60 minute compartment floors.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



C.B01.01	Basement Front Room
Walls:	Existing walls to be made good and redecorated.
Floors:	Existing floor retained & repaired where suitable, or otherwise replaced like for like.
Ceiling:	Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
Doors:	N/A
Windows:	N/A
Fittings:	Existing stair & balustrades to be repaired & redecorated. Historic joinery to be retained and repaired where extant. New light fittings. New light switches and electrical outputs installed to suit new room layout.
Misc:	N/A

C.B01.02	Basement Rear Room
Walls:	Existing walls to be made good and redecorated. New lightweight partition to block existing opening connecting to Light-well
Floors:	Existing floor retained & repaired where suitable, or otherwise replaced like for like.
Ceiling:	Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
Doors:	N/A
Windows:	N/A
Fittings:	New light fittings. New light switches and electrical outputs installed to suit new room layout.
Misc:	N/A

C.B01.03	East Brick Vault
Walls:	Retained and repaired.
Floors:	Retained and repaired.
Ceiling:	Retained and repaired.
Doors:	N/A
Windows:	N/A
Fittings:	N/A
Misc:	N/A

C.B01.04	West Brick Vault
Walls:	Retained and repaired.
Floors:	Retained and repaired.
Ceiling:	Retained and repaired.
Doors:	N/A
Windows:	N/A
Fittings:	N/A
Misc:	N/A

2.3 Proposed Works: Ground Floor

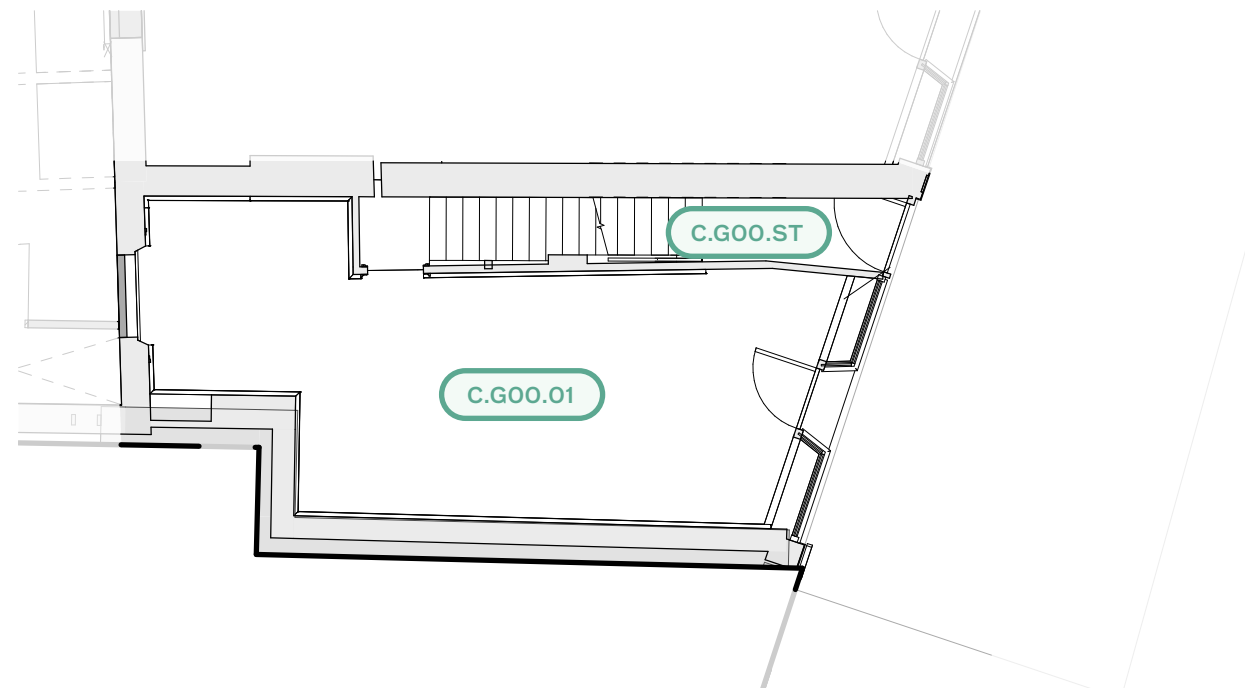
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
Townhouses should be fire separated from the retail units by 60 minutes fire resistance.
60 minute compartment floors.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



C.G00.ST Stairwell

- Walls:

Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:

Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:

Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where necessary.
- Doors:

New external timber door with overlight, with new ironmongery in appropriate style to suit date of building.
- Windows:

N/A
- Fittings:

Existing stair & balustrades to be repaired & redecorated. Historic joinery to be retained and repaired where extant.
New light fittings (pendant lights)
New light switches.
- Misc:

Make good and redecorate any demolition work to existing building fabric.

C.G00.01 Retail Space

- Walls:

Existing shopfront replaced and upgraded. Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:

Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:

Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where necessary.
- Doors:

Existing shopfront to be removed and replaced/upgraded.
Modern internal doors to be removed and replaced in appropriate style to suit date of building.
- Windows:

Existing shopfront to be removed and replaced.
Retain existing rear window and block opening from outside with new lightweight partition
- Fittings:

New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:

Make good and redecorate any demolition work to existing building fabric.

2.0 Schedule of Works: 35 New Oxford Street

2.4 Proposed Works: First Floor

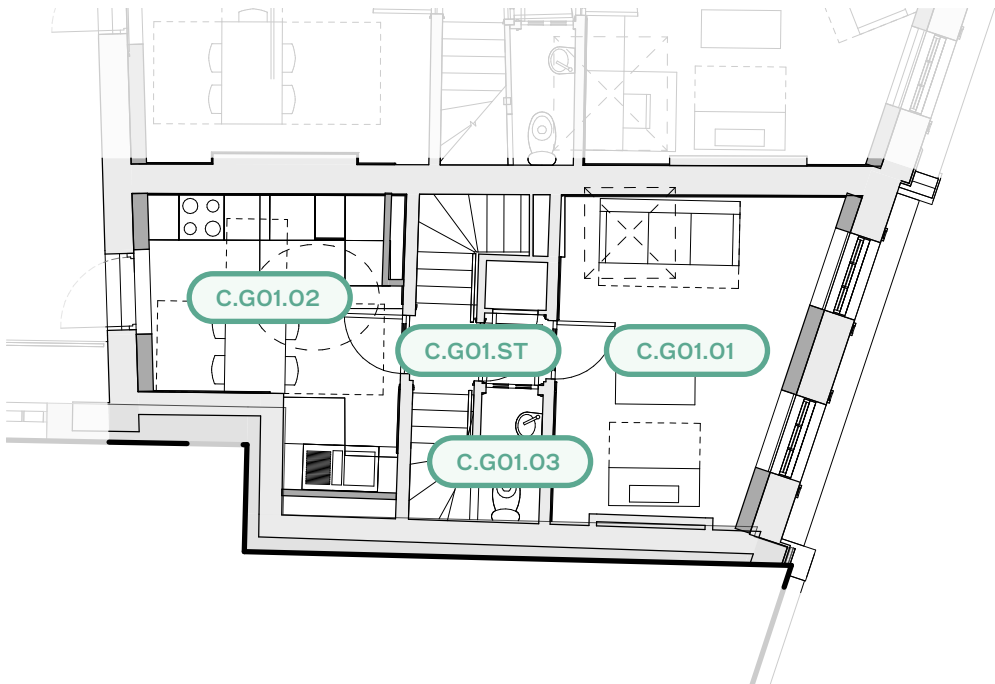
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
Townhouses should be fire separated from the retail units by 60 minutes fire resistance.
30 minute protected stair enclosure required.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



- Ceiling:

Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
Cornicing to be replaced to match original profiles where nessecary.
- Doors:

Modern doors to be removed and replaced in appropriate style to suit date of building.
New external timber door.
- Windows:

N/A
- Fittings:

New light fittings.
New light switches and electrical outputs installed to suit new room layout.
New Kitchen cupboards, New vertical services cupboard.
- Misc:

Make good and redecorate any demolition work to existing building fabric.

C.G01.ST

 Stairwell

- Walls:

Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:

Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:

Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
Cornicing to be replaced to match original profiles where necessary.
- Doors:

N/A
- Windows:

N/A
- Fittings:

Existing stair & balustrades to be repaired & redecorated. Historic joinery to be retained and repaired where extant.
New light fittings (pendant lights)
New light switches.
- Misc:

Make good and redecorate any demolition work to existing building fabric.

C.G01.01

 Living Room (Front)

- Walls:

External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm).
Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:

Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:

Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
Cornicing to be replaced to match original profiles where necessary.
- Doors:

Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:

Existing windows to be deglazed, repaired and fitted with vacuum glazing; glazing bars to be added to match 33 New Oxford Street
- Fittings:

New light fittings.
New light switches and electrical outputs installed to suit new room layout.

- Misc:

Make good and redecorate any demolition work to existing building fabric.
Existing fireplace opening to be blocked off.

C.G01.02

 Kitchen (Rear)

- Walls:

External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm)
Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
Timber moulding to be reinstated under windows
Historical cornicing to be reinstated following thermal upgrade of external wall
- Floors:

Existing floor retained & repaired where suitable, or otherwise replaced like for like.

C.G01.03

 Toilet

- Walls:

Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:

Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:

Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
- Doors:

Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:

N/A
- Fittings:

New sanitaryware.
New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:

Make good and redecorate any demolition work to existing building fabric.

2.0 Schedule of Works: 35 New Oxford Street

2.5 Proposed Works: Second Floor

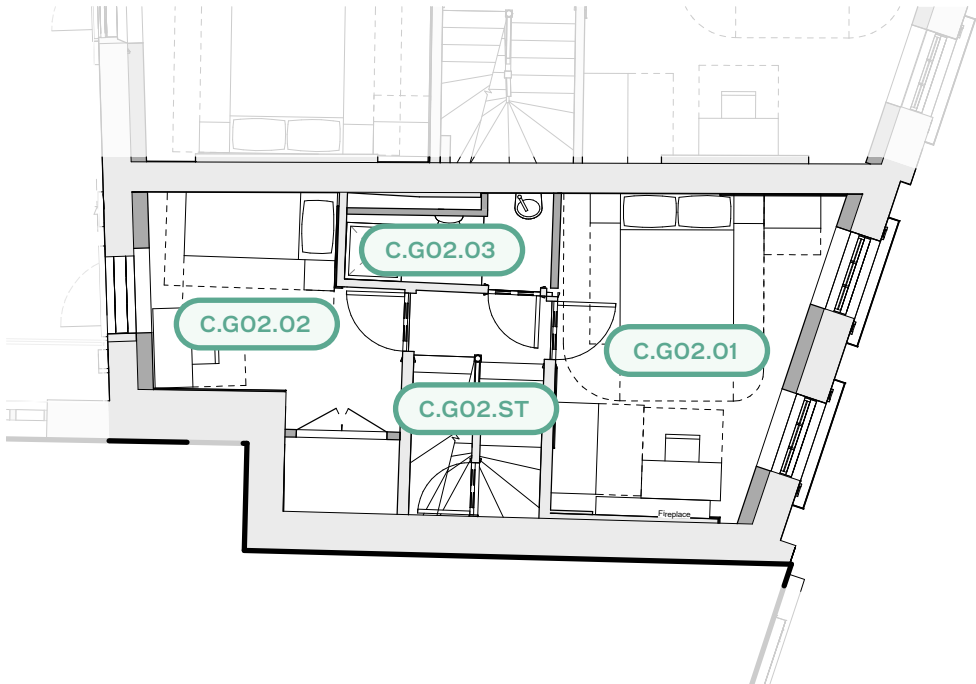
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
30 minute protected stair enclosure required.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where nessecary.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
- Fittings:** New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.

C.G02.ST

 Stairwell

- Walls:** Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where necessary.
- Doors:** N/A
- Windows:** N/A
- Fittings:** Existing stair & balustrades to be repaired & redecorated. Historic joinery to be retained and repaired where extant.
New light fittings (pendant lights)
New light switches.
- Misc:** Make good and redecorate any demolition work to existing building fabric.

C.G02.01

 Front Bedroom

- Walls:** External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm)
Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where necessary.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; glazing bars to be added to match 33 New Oxford Street

- Fittings:** New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.
Existing Fireplace to be repaired.

C.G02.02

 Rear Bedroom

- Walls:** External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm)
Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.

C.G02.03

 Toilet

- Walls:** Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** N/A
- Fittings:** New sanitaryware
New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.
New riser

2.0 Schedule of Works: 35 New Oxford Street

2.6 Proposed Works: Third Floor

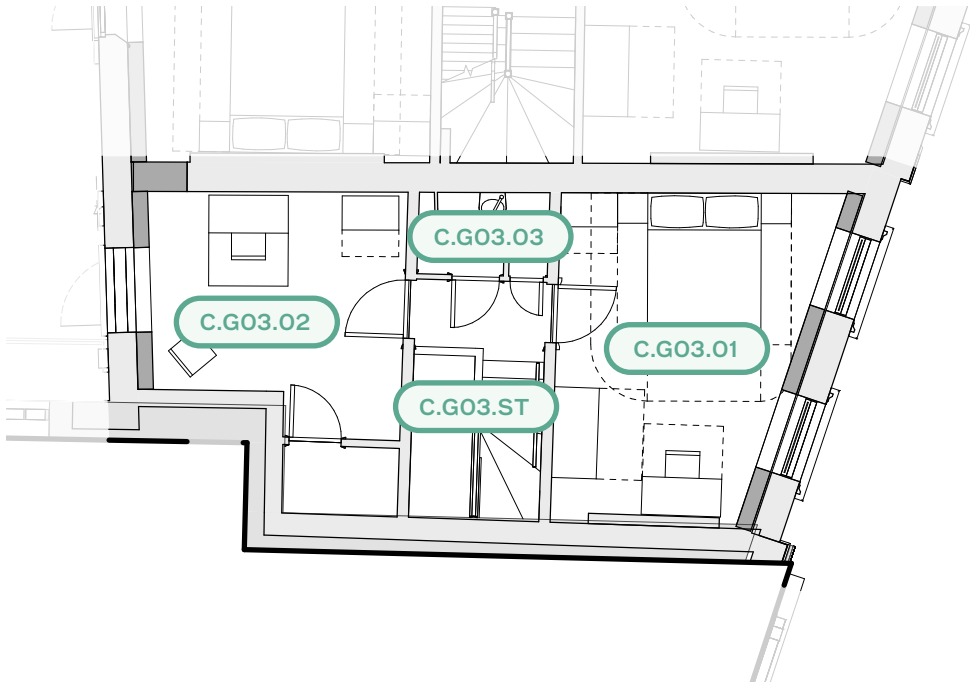
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
30 minute protected stair enclosure required.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



- Doors:**

 Modern doors to be removed and replaced in appropriate style to suit date of building. Historic door surrounds to be repaired and reinstated where extant.
- Windows:**

 Existing windows to be deglazed, repaired and fitted with vacuum glazing; glazing bars to be added to match 33 New Oxford Street
- Fittings:**

 New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:**

 Make good and redecorate any demolition work to existing building fabric.

C.G03.ST

 Stairwell

- Walls:**

 Historic lath and plaster, wall panelling and corning to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:**

 Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:**

 Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where necessary.
- Doors:**

 N/A
- Windows:**

 N/A
- Fittings:**

 Existing stair & balustrades to be repaired & redecorated. Historic joinery to be retained and repaired where extant.
New light fittings (pendant lights)
New light switches.
- Misc:**

 Make good and redecorate any demolition work to existing building fabric.

C.G03.01

 Front Bedroom

- Walls:**

 External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm)
Historic lath and plaster, panelling, skirting and corning to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:**

 Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:**

 Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where necessary.
- Doors:**

 Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:**

 Existing windows to be deglazed, repaired and fitted with vacuum glazing; glazing bars to be added to match 33 New Oxford Street
- Fittings:**

 New light fittings.

Misc:

New light switches and electrical outputs installed to suit new room layout.
Make good and redecorate any demolition work to existing building fabric.
Existing fireplace to be enclosed/blocked off.

C.G03.02

 Study

- Walls:**

 External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm)
Historic lath and plaster, panelling, skirting and corning to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:**

 Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:**

 Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where nessecary.

C.G03.03

 Toilet

- Walls:**

 Historic lath and plaster, wall panelling and corning to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:**

 Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:**

 Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
- Doors:**

 Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:**

 N/A
- Fittings:**

 New sanitaryware.
New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:**

 Make good and redecorate any demolition work to existing building fabric.
New riser.

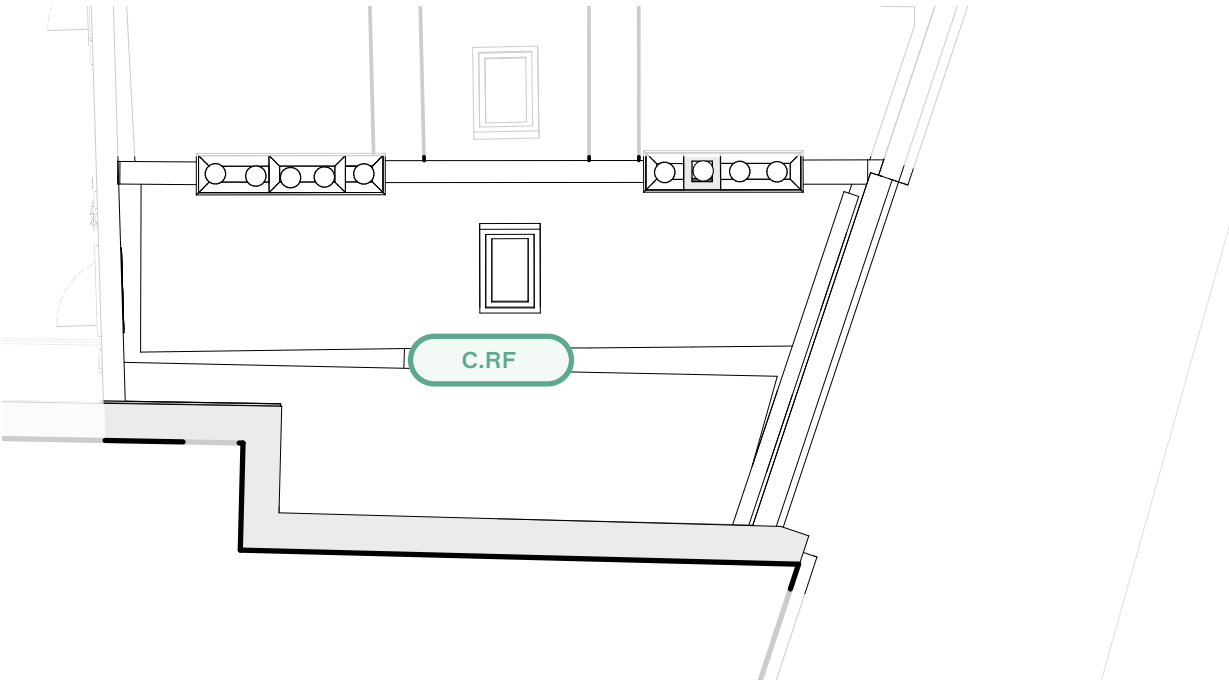
2.7 Proposed Works: Roof

General Notes

No Notes.

Wall Key

- Existing Walls
- Proposed Walls



C.RF

Roof

General: Existing chimneys and flues to be repaired & redecorated as required.
Existing butterfly roof to be repaired as required.

3.0 Schedule of Works: 37 New Oxford Street

3.1 Proposed Works: Basement

General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
Townhouses should be fire separated from the retail units by 60 minutes fire resistance.
60 minute compartment floors.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



D.B01.01	Basement Front Room
Walls:	Existing walls to be made good and redecorated.
Floors:	Existing floor retained & repaired where suitable, or otherwise replaced like for like.
Ceiling:	Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
Doors:	See demolition drawings.
Windows:	N/A
Fittings:	Existing stair & balustrades to be repaired & redecorated. Historic joinery to be retained and repaired where extant. New light fittings. New light switches and electrical outputs installed to suit new room layout.
Misc:	N/A

D.B01.02	Basement Rear Room
Walls:	Existing walls to be made good and redecorated. New lightweight partition to block existing opening connecting to Light-well
Floors:	Existing floor build-up retained & floorboards repaired, or replaced in appropriate style to suit restoration.
Ceiling:	Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
Doors:	See demolition drawings.
Windows:	N/A
Fittings:	New light fittings. New light switches and electrical outputs installed to suit new room layout.
Misc:	N/A

D.B01.03	East Brick Vault
Walls:	Retained and repaired.
Floors:	Retained and repaired.
Ceiling:	Retained and repaired.
Doors:	N/A
Windows:	N/A
Fittings:	N/A
Misc:	N/A

D.B01.04	West Brick Vault
Walls:	Retained and repaired.
Floors:	Retained and repaired.
Ceiling:	Retained and repaired.
Doors:	N/A
Windows:	N/A
Fittings:	N/A
Misc:	N/A

3.0 Schedule of Works: 37 New Oxford Street



3.2 Proposed Works: Ground Floor

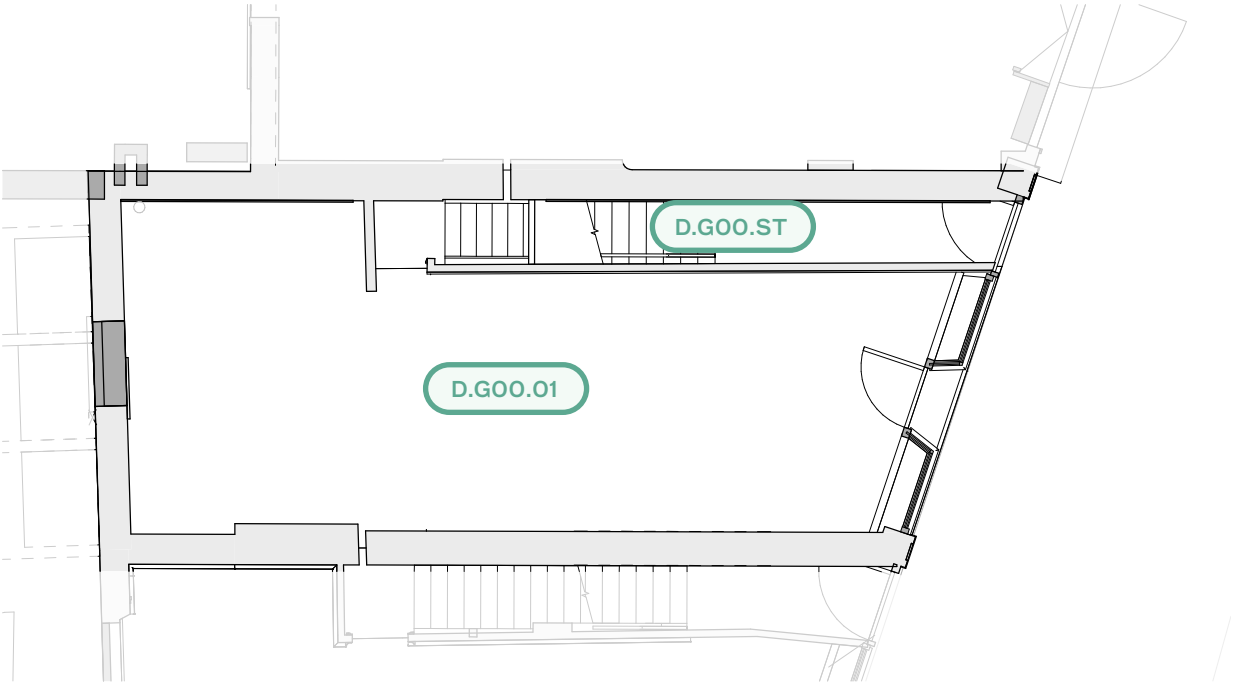
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
Townhouses should be fire separated from the retail units by 60 minutes fire resistance.
60 minute compartment floors.
60 minute fire resisting party walls.

Wall Key

-  Existing Walls
-  Proposed Walls



D.G00.ST Stairwell

- Walls:** Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where nessecary.
- Doors:** New external timber door with overlight, with new ironmongery in appropriate style to suit date of building.
- Windows:** N/A
- Fittings:** Existing stair & balustrades to be repaired & redecorated.
New light fittings (pendant lights)
New light switches.
- Misc:** Make good and redecorate any demolition work to existing building fabric.

D.G00.01 Retail Space

- Walls:** Existing shopfront replaced, upgraded and rebuilt.
Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
New lightweight partition to block existing opening
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where nessecary.
- Doors:** Existing shopfront to be removed and replaced.
Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** Existing shopfront to be removed and replaced.
Retain existing rear window and block opening from outside
- Fittings:** New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.

3.0 Schedule of Works: 37 New Oxford Street

3.3 Proposed Works: First Floor

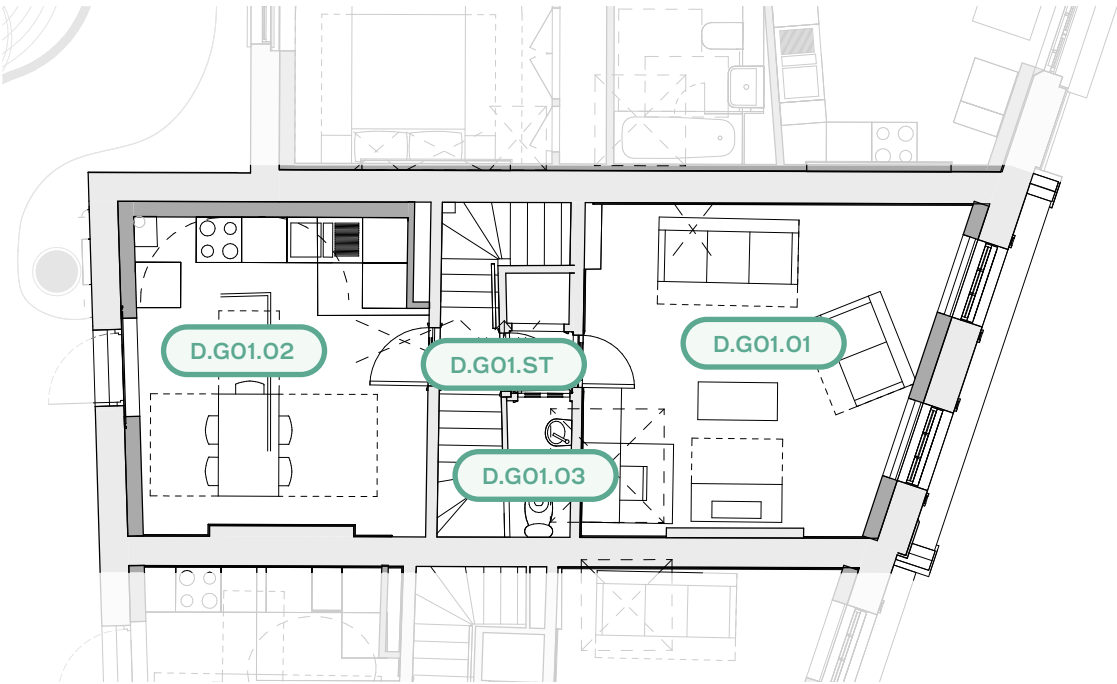
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
Townhouses should be fire separated from the retail units by 60 minutes fire resistance.
30 minute protected stair enclosure required.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
New external timber door.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
- Fittings:** New light fittings.
New light switches and electrical outputs installed to suit new room layout.
New Kitchen cupboards, New vertical services cupboard.
- Misc:** Make good and redecorate any demolition work to existing building fabric.

D.G01.ST

 Stairwell

- Walls:** Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
Cornicing to be replaced to match original profiles where necessary.
- Doors:** N/A
- Windows:** N/A
- Fittings:** Existing stair & balustrades to be repaired & redecorated. Historic joinery to be retained and repaired where extant.
New light fittings (pendant lights)
New light switches.
- Misc:** Make good and redecorate any demolition work to existing building fabric.

D.G01.01

 Living Room (Front)

- Walls:** External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm).
Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
Cornicing to be replaced to match original profiles where necessary.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.

- Fittings:** New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.
Existing fireplace to be enclosed/blocked off.

D.G01.02

 Kitchen (Rear)

- Walls:** External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm)
Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
Cornicing to be replaced to match original profiles where nessecary.

D.G01.03

 Toilet

- Walls:** Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** N/A
- Fittings:** New sanitaryware
New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.

30 Schedule of Works: 37 New Oxford Street

3.4 Proposed Works: Second Floor

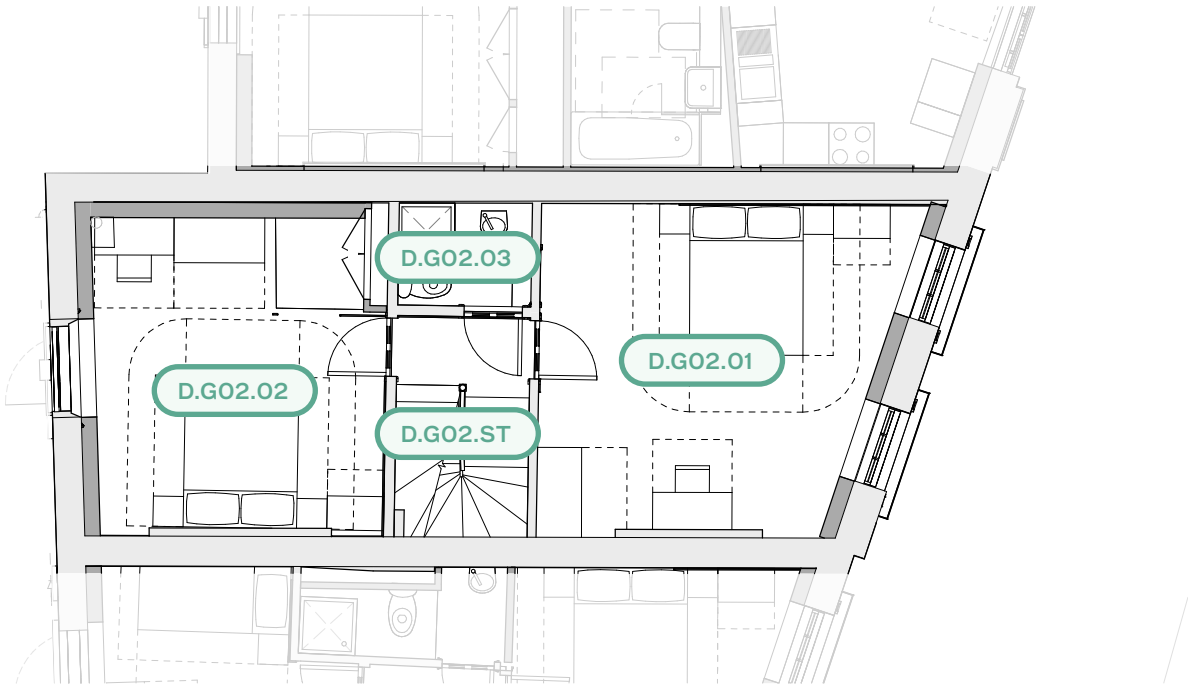
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
30 minute protected stair enclosure required.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where nessecary.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
- Fittings:** New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.

D.G02.ST

 Stairwell

- Walls:** Historic lath and plaster, wall panelling and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where necessary.
- Doors:** N/A
- Windows:** N/A
- Fittings:** Existing stair & balustrades to be repaired & redecorated. Historic joinery to be retained and repaired where extant.
New light fittings (pendant lights)
New light switches.
- Misc:** Make good and redecorate any demolition work to existing building fabric.

D.G02.01

 Front Bedroom

- Walls:** External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm)
Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where necessary.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.

- Fittings:** New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.
Existing fireplace to be enclosed/blocked off.

D.G02.02

 Rear Bedroom

- Walls:** External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm)
Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.

D.G02.03

 Toilet

- Walls:** Historic lath and plaster, panelling, skirting and cornicing to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** N/A
- Fittings:** New sanitaryware
New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.
New riser

3.0 Schedule of Works: 37 New Oxford Street

3.5 Proposed Works: Third Floor

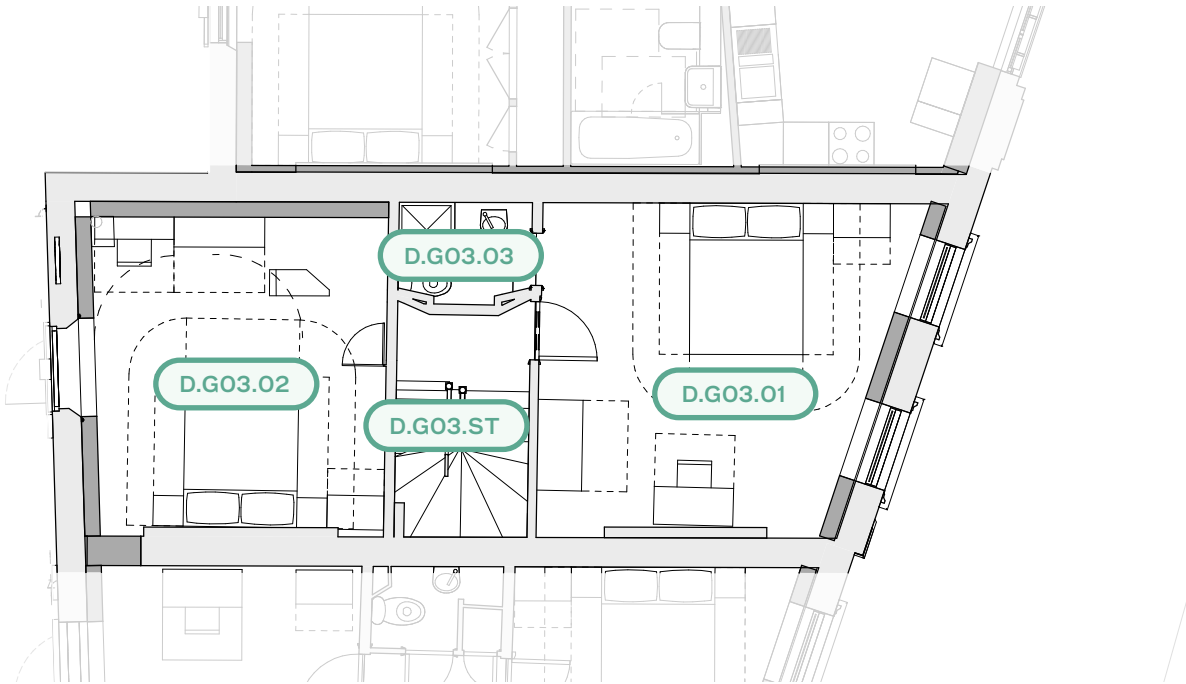
General Notes

Sprinkler system to be installed via underfloor, sprinkler head locations to be determined and approved by building control.

Fire strategy notes:
30 minute protected stair enclosure required.
60 minute fire resisting party walls.

Wall Key

- Existing Walls
- Proposed Walls



- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.
- Fittings:** New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.

D.G03.ST

 Stairwell

- Walls:** Historic lath and plaster, wall panelling and corning to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where necessary.
- Doors:** N/A
- Windows:** N/A
- Fittings:** Existing stair & balustrades to be repaired & redecorated. Historic joinery to be retained and repaired where extant.
New light fittings (pendant lights)
New light switches.
- Misc:** Make good and redecorate any demolition work to existing building fabric.

D.G03.01

 Front Bedroom

- Walls:** External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm)
Historic lath and plaster, panelling, skirting and corning to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where necessary.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** Existing windows to be deglazed, repaired and fitted with vacuum glazing; Existing secondary glazing to the removed and replaced/upgraded.

- Fittings:** New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.
Existing fireplace to be enclosed/blocked off.

D.G03.02

 Study

- Walls:** External walls to be thermally upgraded with 160mm internal wall build-up made of: Insulation layer (flexible Mineral Wool Insulation 60 mm) with VCL, Stud framing (50 mm), Air cavity for services (25mm), Gypsum plasterboard (25 mm)
Historic lath and plaster, panelling, skirting and corning to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration. Cornicing to be replaced to match original profiles where nessecary.

D.G03.03

 Toilet

- Walls:** Historic lath and plaster, wall panelling and corning to be repaired and redecorated where extant, otherwise existing walls made good and redecorated.
- Floors:** Existing floor retained & repaired where suitable, or otherwise replaced like for like.
- Ceiling:** Historic Lath & Plaster to be repaired and redecorated where extant, otherwise new plasterboard ceiling to suit restoration.
- Doors:** Modern doors to be removed and replaced in appropriate style to suit date of building.
- Windows:** N/A
- Fittings:** New sanitaryware.
New light fittings.
New light switches and electrical outputs installed to suit new room layout.
- Misc:** Make good and redecorate any demolition work to existing building fabric.
New riser.

3.6 Proposed Works: Roof

General Notes

No Notes.

Wall Key

- Existing Walls
- Proposed Walls



D.RF

Roof

General: Existing chimneys and flues to be repaired & redecorated as required.
Existing roofing to be repaired as required.

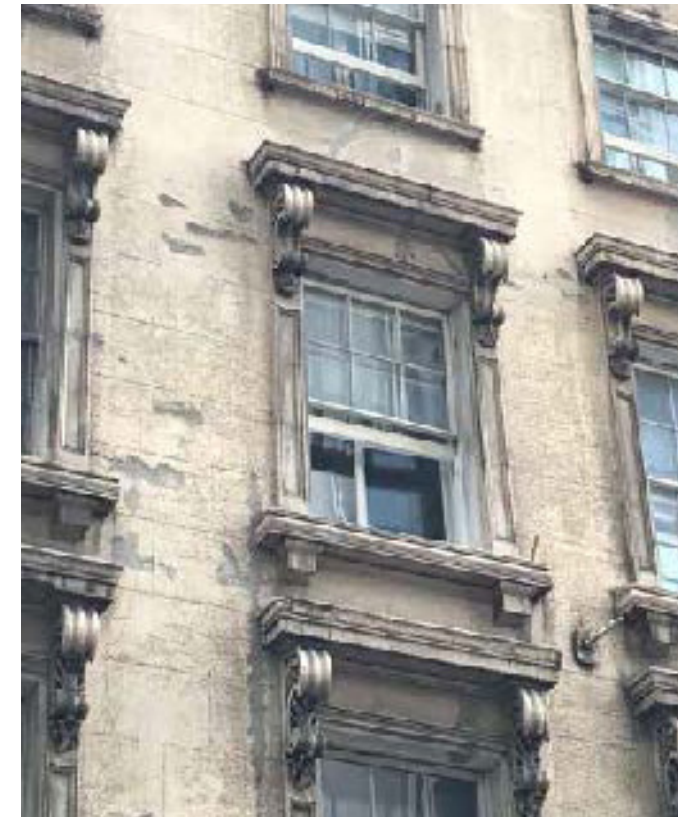
4.0 Schedule of Works: External Works

4.1 Existing Condition

10-12 Museum Street



West Central Street and Museum Street Elevations



Museum St Elevation Detail



Courtyard Elevation



Museum St Elevation



West Central Street and Courtyard Elevations

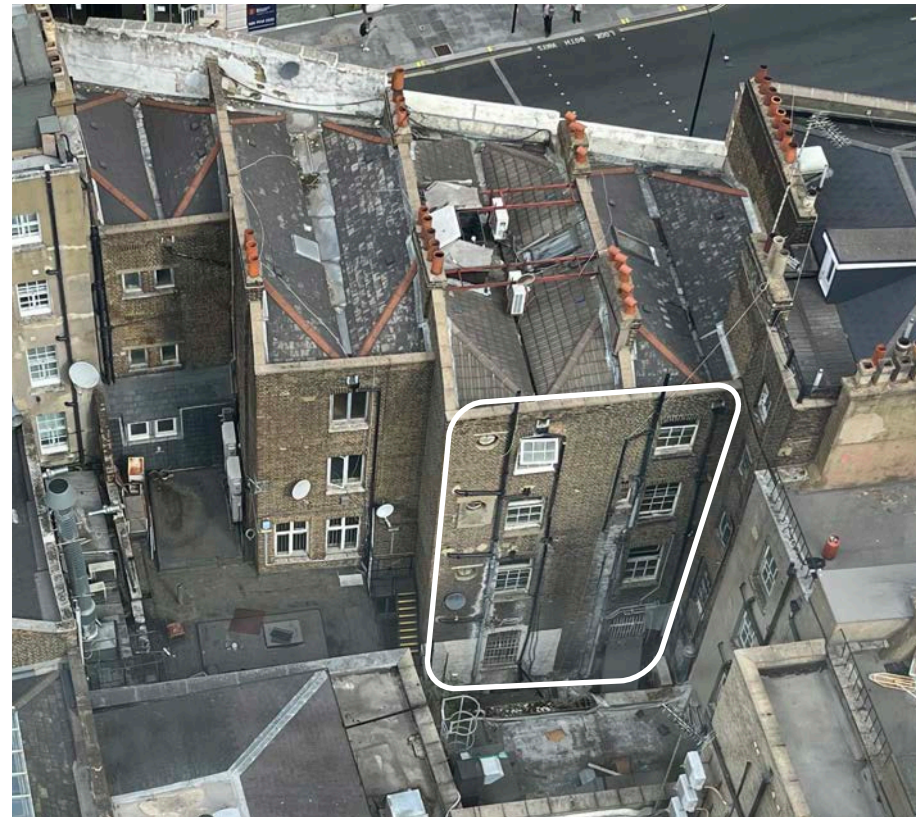
4.0 Schedule of Works: External Works

4.1 Existing Condition

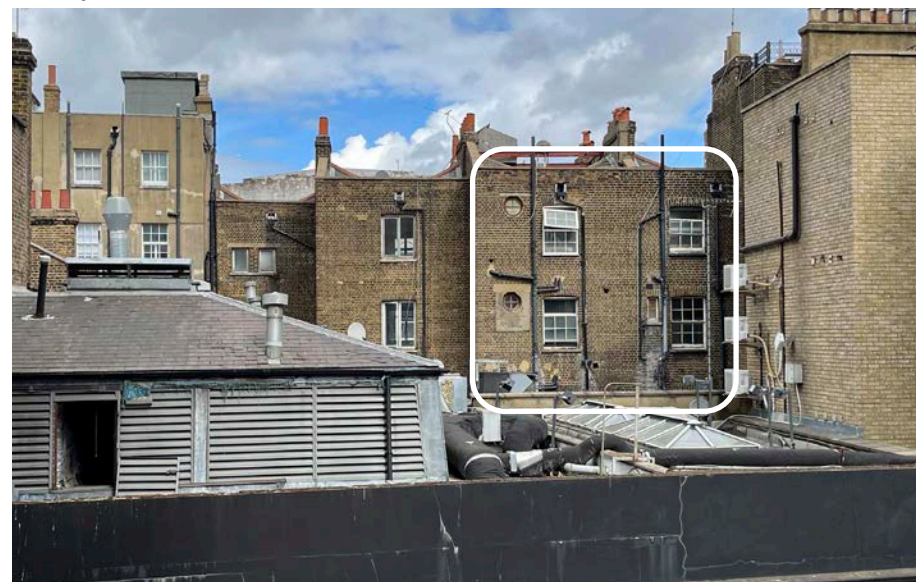
35-37 New Oxford Street



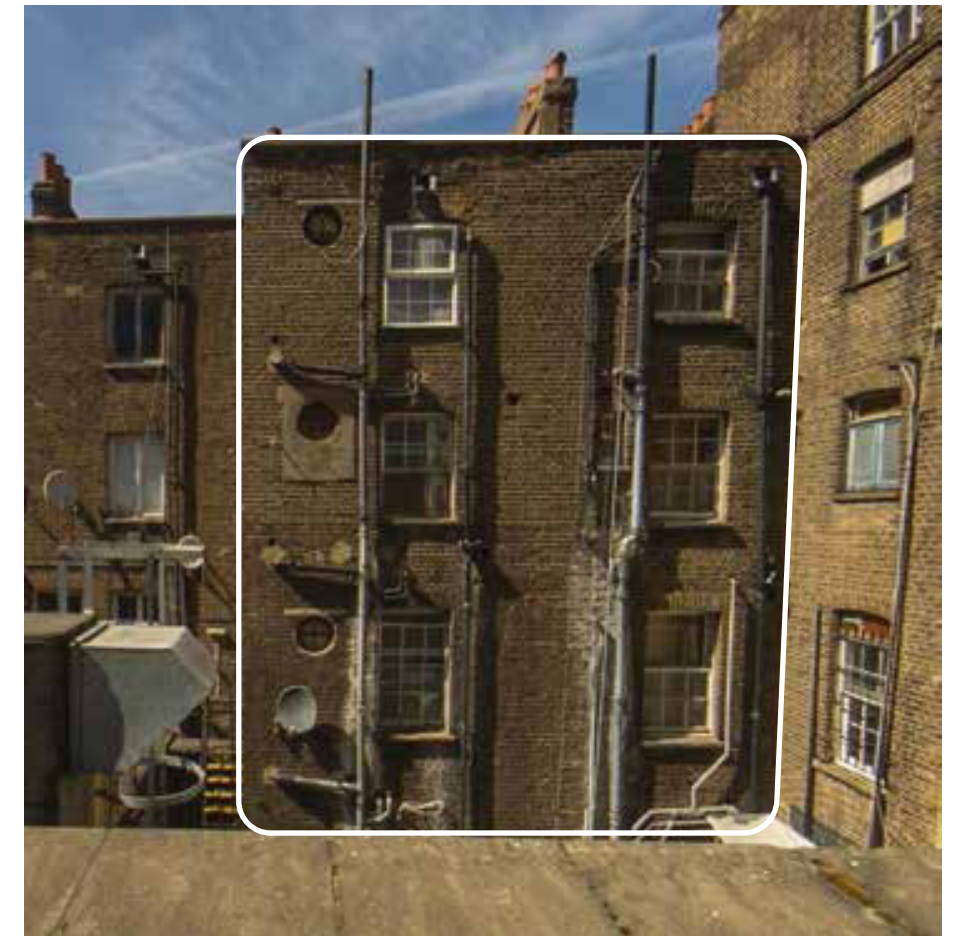
New Oxford Street Elevation



Courtyard Elevation



Courtyard Elevation



Courtyard Elevation

4.0 Schedule of Works: External Works

4.2 Proposed Works: Museum St Elevation

General Notes

Existing facade to be sensitively cleaned and repaired
- conservation specialist survey of the listed façades required at the next stage to confirm condition, suitable repair methods and extent of repairs to inform the scope of works required.

Any existing architectural ornament to be repaired and redecorated.

Any scaffolding and fixings to be carefully installed and dismantled to avoid damage to the existing listed fabric; make good and redecoration might be required.

Any demolition work made good and redecorated as suitable.

A.EX.MS	10 Museum St	B.EX.MS	11-12 Museum St
Walls:	(17) Existing façade repaired, repainted and tooled to imitate Ashlar masonry.	Walls:	(17) Existing façade repaired, repainted and tooled to imitate Ashlar masonry.
Doors:	(2) Replacement Retail Entrance	Doors:	(2) Replacement Retail Entrance
Windows:	(1) Replacement Timber shopfronts (3) Replacement timber signage zone (6) Existing windows to be deglazed, repaired and fitted with vacuum glazing, with existing secondary glazing to be removed and replaced/upgraded.	Windows:	(1) Replacement Timber shopfronts (3) Replacement timber signage zone (6) Existing windows to be deglazed, repaired and fitted with vacuum glazing, with existing secondary glazing to be removed and replaced/upgraded.
Misc:	Make good and redecorate any demolition work to existing building fabric.	Misc:	Make good and redecorate any demolition work to existing building fabric.



4.0 Schedule of Works: External Works

4.3 Proposed Works: New Oxford St. Elevation

General Notes

Existing facade to be sensitively cleaned and repaired
- conservation specialist survey of the listed façades required at the next stage to confirm condition, suitable repair methods and extent of repairs to inform the scope of works required.

Any existing architectural ornament to be repaired and redecorated.

Any scaffolding and fixings to be carefully installed and dismantled to avoid damage to the existing listed fabric; make good and redecoration might be required.

Any demolition work made good and redecorated as suitable.

C.EX.NOS 35 New Oxford St.

- Walls:** (5) Existing façade repaired and repainted
Doors: (2) Replacement Retail Entrance
Windows: (1) Replacement Timber shopfronts,
(3) including timber signage zone.
(4) Existing windows to be deglazed, repaired and fitted with vacuum glazing; glazing bars to be added to match 33 New Oxford Street
Misc: Make good and redecorate any demolition work to existing building fabric.

D.EX.NOS 37 New Oxford St.

- Walls:** (5) Existing façade repaired and repainted
Doors: (2) Replacement Retail Entrance
Windows: (1) Replacement Timber shopfronts,
(3) including timber signage zone.
(6) Existing windows to be deglazed, repaired and fitted with vacuum glazing, with existing secondary glazing to be removed and replaced/upgraded.
Misc: Make good and redecorate any demolition work to existing building fabric.



4.0 Schedule of Works: External Works

4.4 Proposed Works: West Central Street Elevation

General Notes

Existing facade to be sensitively cleaned and repaired
- conservation specialist survey of the listed façades required at the next stage to confirm condition, suitable repair methods and extent of repairs to inform the scope of works required.

Any existing architectural ornament to be repaired and redecorated.

Any scaffolding and fixings to be carefully installed and dismantled to avoid damage to the existing listed fabric; make good and redecoration might be required.

Any demolition work made good and redecorated as suitable.

A.EX.WCS 10-12 Museum St

- Walls:** (17) Existing façade repaired, repainted and tooled to imitate Ashlar masonry.
(18) Brickwork to match adjacent proposed brickwork at 16a-18 West Central Street.
(19) Precast Brick Cornice to match adjacent proposed at 16a-18 West Central Street.
- Doors:** (7) New timber door for residential entrance.
- Windows:** (1) Replacement Timber shopfronts
(3) Replacement timber signage zone
- Misc:** Make good and redecorate any demolition work to existing building fabric.



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4.0 Schedule of Works: External Works

4.5 Proposed Works: Courtyard West Elevation (Back of 10-12 Museum St.)

General Notes

Existing facade to be sensitively cleaned and repaired - conservation specialist survey of the listed façades required at the next stage to confirm condition, suitable repair methods and extent of repairs to inform the scope of works required.

Any existing architectural ornament to be repaired and redecorated.

Any scaffolding and fixings to be carefully installed and dismantled to avoid damage to the existing listed fabric; make good and redecoration might be required.

Any demolition work made good and redecorated as suitable.

A.EX.CT

10 Museum St

Walls: (17) Existing façade repaired, repainted and tooled to imitate Ashlar masonry. Existing wall to be repaired and prepared to be exposed externally, repainted and tooled to imitate Ashlar masonry. (See proposed drawings and structural drawings for details.) (20) Existing opening infilled with brick (to closet wing demolition), walls made good with render finish to match existing and tooled to imitate Ashlar masonry.

Doors: N/A

Windows: (6) Existing windows to be deglazed, repaired and fitted with vacuum glazing; existing secondary glazing to the removed and replaced/upgraded

Misc: (8) Bespoke PPC guardrail Make good and redecorate any demolition work to existing building fabric.

B.EX.CT

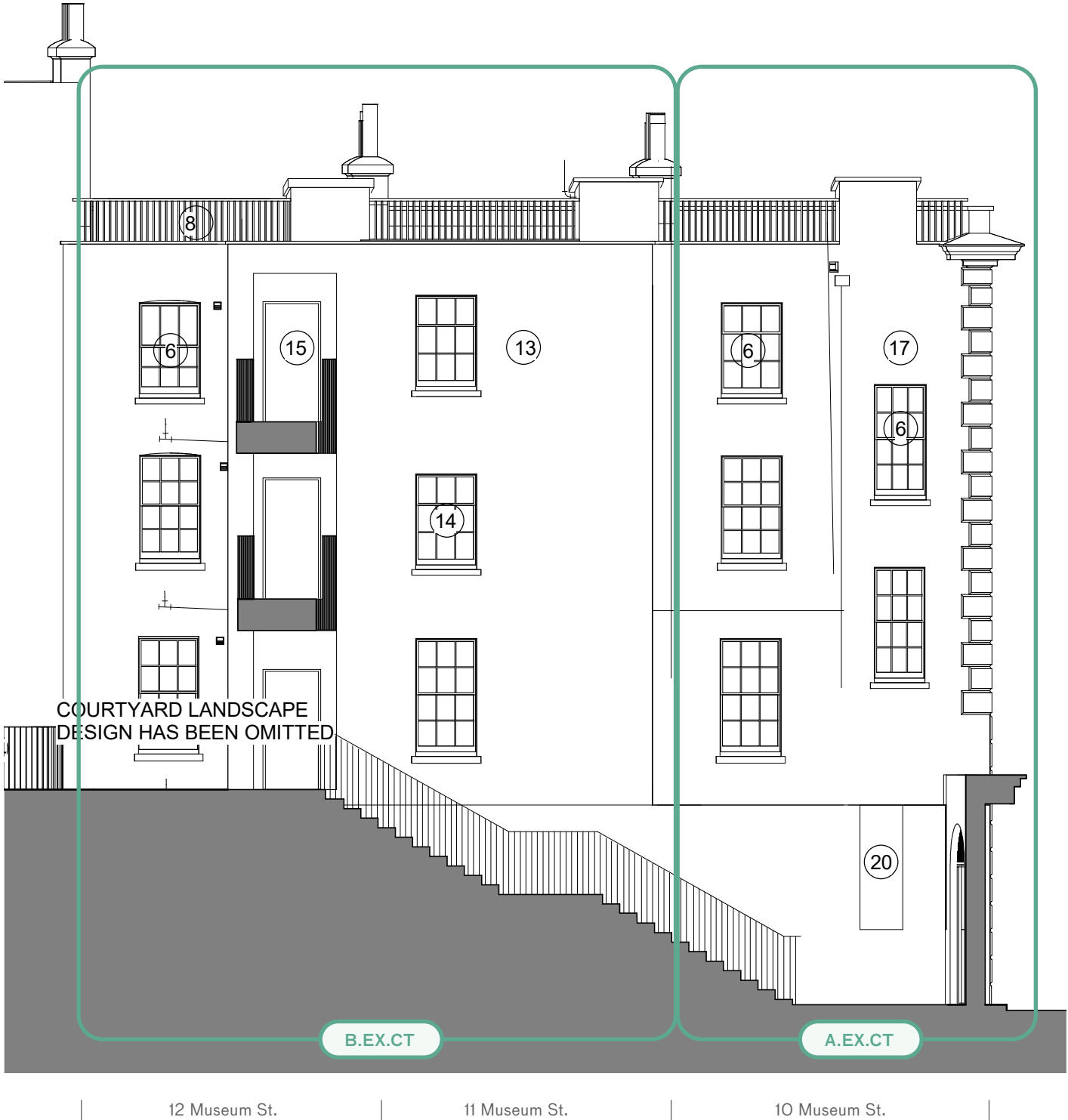
11-12 Museum St

Walls: (13) New external wall infill (to 1990's extension demolition) as loadbearing brick wall with render finish to match existing and tooled to imitate Ashlar masonry.

Doors: (15) New Timber Door to Residential Entrance

Windows: (6) Existing windows to be deglazed, repaired and fitted with vacuum glazing; existing secondary glazing to the removed and replaced/upgraded (14) New timber sash window to match existing.

Misc: (8) Bespoke PPC guardrail Make good and redecorate any demolition work to existing building fabric.



4.0 Schedule of Works: External Works

4.6 Proposed Works: Courtyard North Elevation (Back of 35-37 New Oxford St.)

General Notes

Existing facade to be sensitively cleaned and repaired - conservation specialist survey of the listed façades required at the next stage to confirm condition, suitable repair methods and extent of repairs to inform the scope of works required.

Any existing architectural ornament to be repaired and redecorated.

Any scaffolding and fixings to be carefully installed and dismantled to avoid damage to the existing listed fabric; make good and redecoration might be required.

Any demolition work made good and redecorated as suitable.

C.EX.CT

35 New Oxford Street

Walls: (10) Existing Brickwork: repaired and repointed.

Doors: (15) New Timber Door

Windows: (4) Existing windows to be deglazed, repaired and fitted with vacuum glazing; glazing bars to be added to match 33 New Oxford Street

Misc: Make good and redecorate any demolition work to existing building fabric.

D.EX.CT

37 New Oxford Street

Walls: (10) Existing Brickwork: repaired and repointed.

Doors: (15) New Timber Door

Windows: (6) Existing windows to be deglazed, repaired and fitted with vacuum glazing; existing secondary glazing to be removed and replaced/upgraded

Misc: Make good and redecorate any demolition work to existing building fabric.



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