

FOR CONSTRUCTION PURPOSES DO NOT SCALE FROM THIS DRAWING.
 ALL DIMENSIONS TO BE CHECKED ON SITE. ANY DISCREPANCIES MUST BE
 REPORTED TO THE ARCHITECT FOR VERIFICATION PRIOR TO
 COMMENCEMENT OF THE EFFECTED WORKS. IF IN DOUBT ASK. THIS
 DRAWING IS COPYRIGHT.

Rev No	Date	Revision note
P1	15th May '23	Preliminary Issue
P2	07th June '23	Updated as per comments

Crown roof:
 Install "Protan" SE 1.6mm dark Grey single
 ply membrane on F2b separation fleece on
 18mmply wood deck including all drips
 Skylight upstands and wall upstands
 including "Protan" metal flashing all installed
 to current "Protan" recommendations.

**New roof tiles to be:
 Redland rosemary red clay
 machine made plain tiles.
 to match existing**

Skylight at rear elevation of house
 which is over loft space, to be
 removed and replaced with simple
 insulated aluminium service hatch so
 roof can be maintained

Replace lantern skylight
 to match
 No. 10 Antrim Grove

**All flashings to be
 replaced with lead
 as per specification**

Dormer rebuilt with lead
 cheeks and roof
 to match existing

Rear dormer to No. 10
 Antrim Grove to be
 enlarged as approved

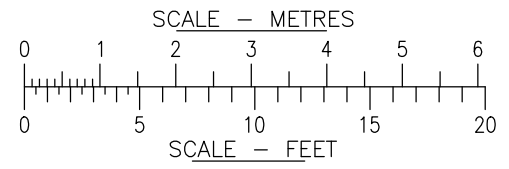
Felt dormer roofs to be
 replaced with lead to match
 dormer cheeks
 cornices to be repaired and
 reinstated
 Dormer glazing to be removed
 and reinstated
 Lead cheek of new dormer



**PROPOSED
 FRONT ELEVATION**



**PROPOSED
 REAR ELEVATION**



BROOK HOUSE
 54A COWLEY MILL ROAD
 UXBRIDGE UB8 2FX
 TEL: (01895) 272 446
 FAX: (01895) 272 483
 EMAIL: admin@jpbarchitects.co.uk

JOB TITLE		
8 Antrim Grove Belsize Park London NW3 4XR		
DRG TITLE		
Proposed Front and Rear Elevations		
SCALE	DATE	
1:100@A3	May '23	
JOB NO.	DRG NO.	REV
11261	220	P2