

NOTES:				
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	0.5m 2.5	m	5m EXISTING RETAINED WALLS	PROPOSED WALLS
Scale	Bar			

Ben Adams Architects 🛛 🗲

22-034

DRAWING NAME:

Third Floor T 020 7633 0000 99 Southwark Street benadamsarchitects.co.uk London SE1 0JF info@benadamsarchitects.co.uk

PROPOSED BASEMENT FLOOR PLAN

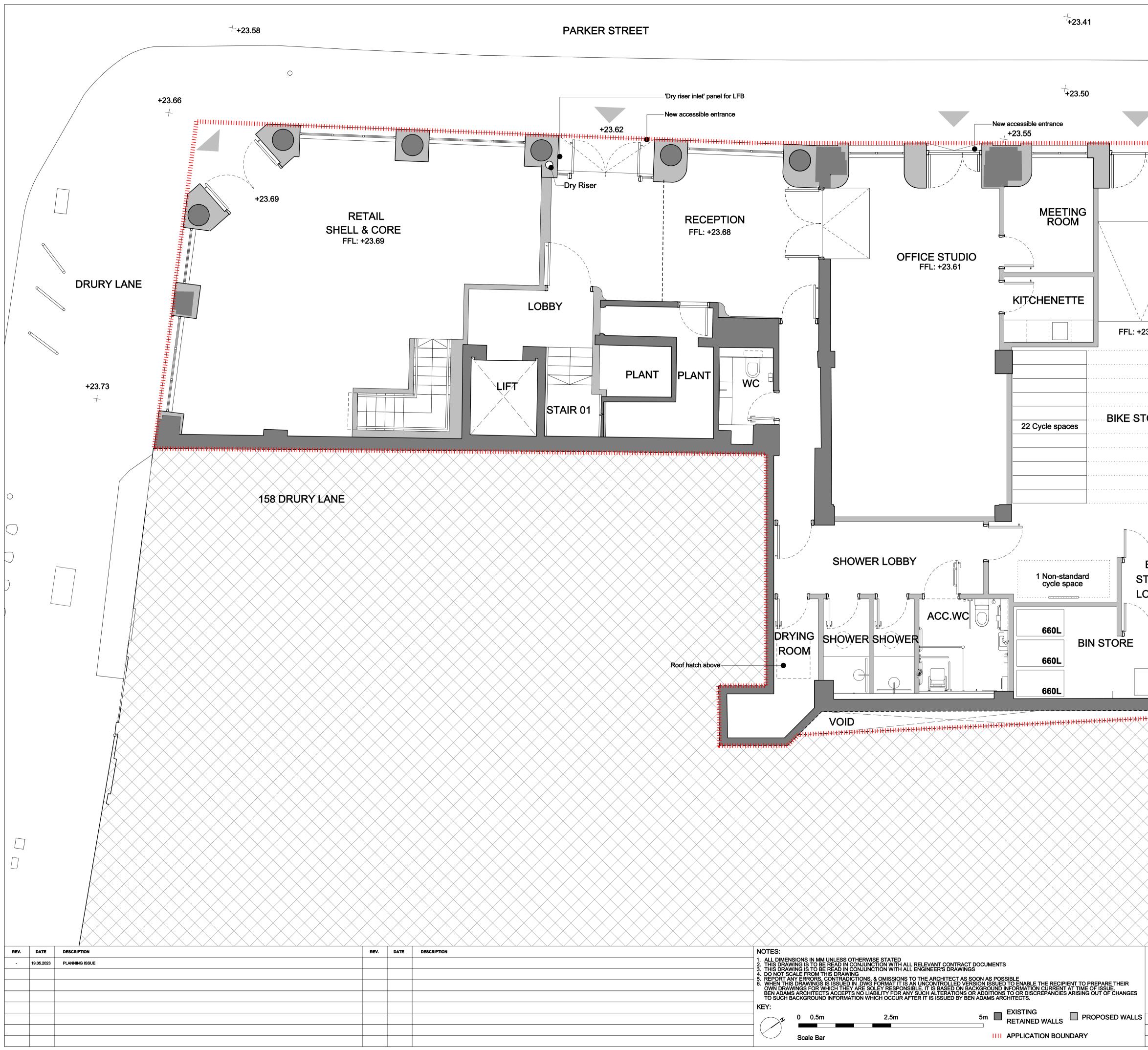
PROJECT NAME:

JOB NO: 1:100 @ A3 1:50 @ A1 SCALE: PLANNING STAGE:

DRAWING NO:

DRURY LANE - MRP

P199/-

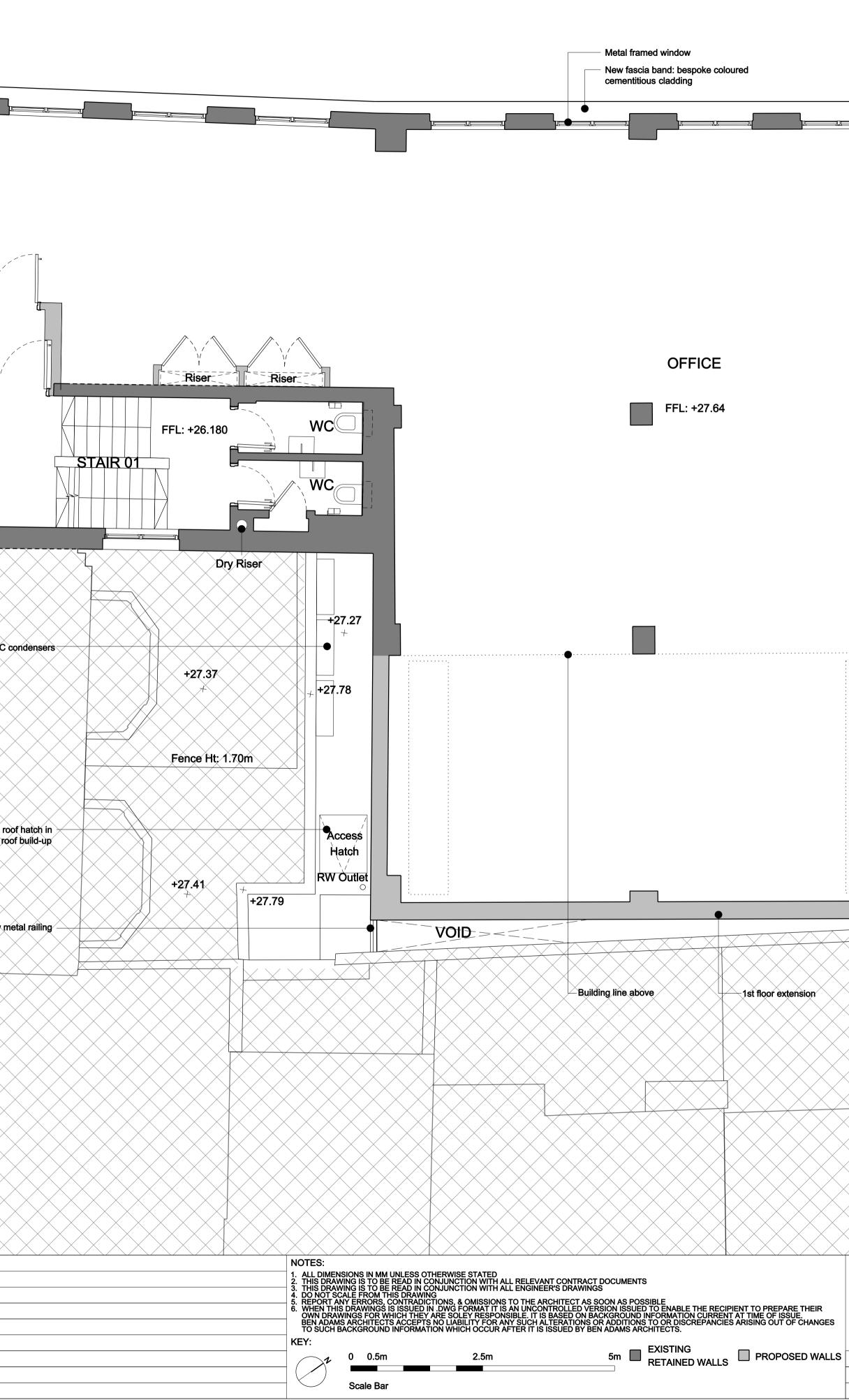




PARKER STREET		+23.41			
Dry riser inlet' panel for LFB		+23.50			
+23.62		New accessible entrance +23.55	New accessible entrance		
RECEPTION FFL: +23.68		FICE STUDIO FFL: +23.61	FFL: +23.68	8-24 PARKER STREET	
	SHOWER LOBB	Y 1 Non-standard cycle space	BIKE STORE		
Roof hatch above	DRYING ROOM • VOID				+23.60
			Replac	ement fire escape door	
	NOTES: 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE STATED 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALI 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALI 4. DO NOT SCALE FROM THIS DRAWING 5. REPORT ANY ERRORS, CONTRADICTIONS, & OMISSIONS T 6. WHEN THIS DRAWINGS IS ISSUED IN .DWG FORMAT IT IS J 0 WHEN THIS DRAWINGS FOR WHICH THEY ARE SOLEY RESPONS	- RELEVANT CONTRACT DOCUMENTS - ENGINEER'S DRAWINGS TO THE ARCHITECT AS SOON AS POSSIBLE AN UNCONTROLLED VERSION ISSUED TO ENABLE THE RECIPIENT TO PREP IBLE. IT IS BASED ON BACKGROUND INFORMATION CURRENT AT TIME OF IS Y SUCH ALTERATIONS OR ADDITIONS TO OR DISCREPANCIES ARISING OUT TER IT IS ISSUED BY BEN ADAMS ARCHITECTS.	Ben Adams Architects	DRAWING NAME: P	ROPOSED GROUND FLOOR PLAN
	KEY: Control Control	- EXISTING -	OSED WALLS JOB NO: SCALE: 1:100 @ A3 1:5	PROJECT NAME:22-0340 @ A1NNING	DRURY LANE - MRP P200/-

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						New rot existing roc New me
REV.	DATE 19.05.2023	DESCRIPTION PLANNING ISSUE		REV. DATE	DESCRIPTION	

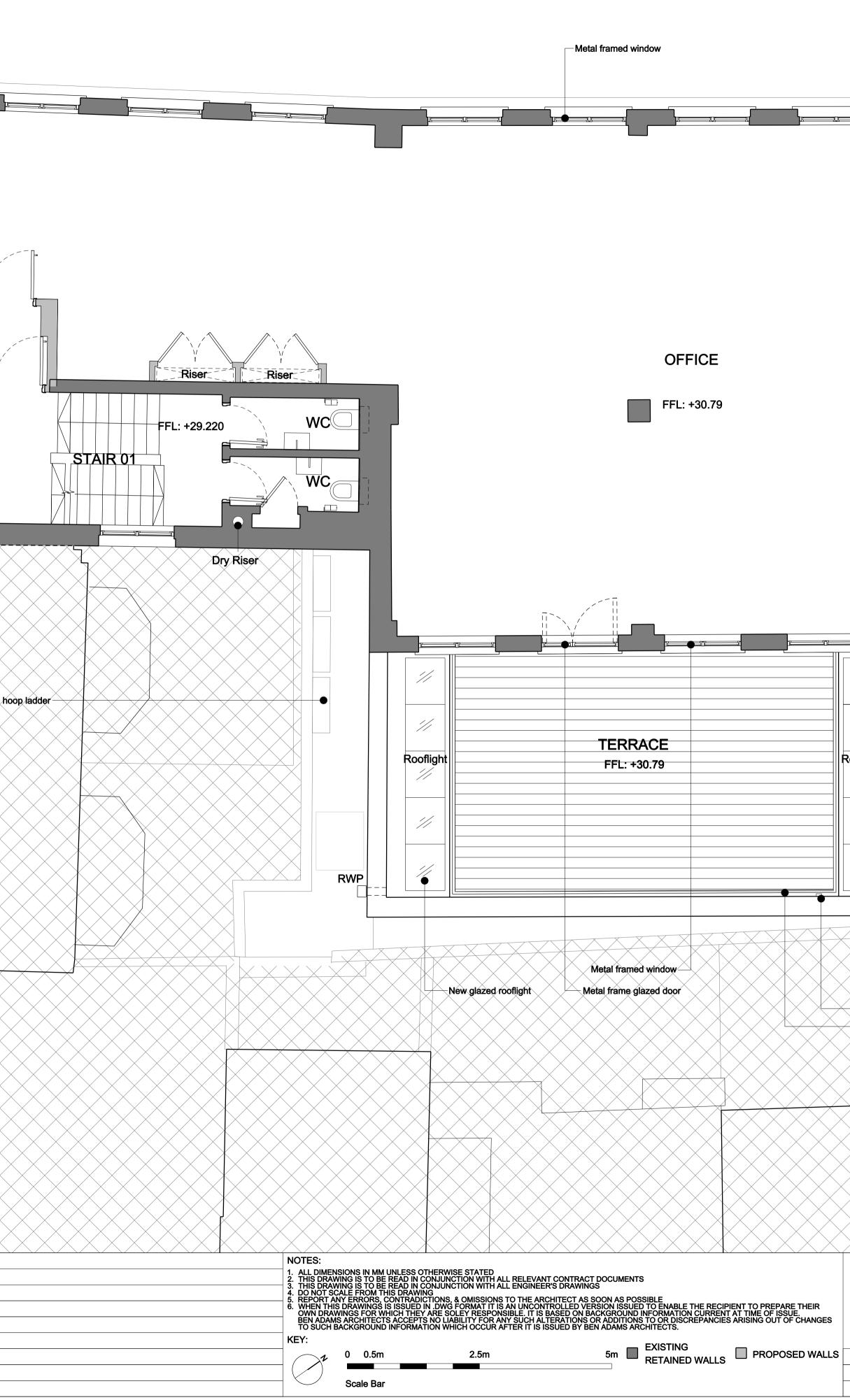
PARKER STREET



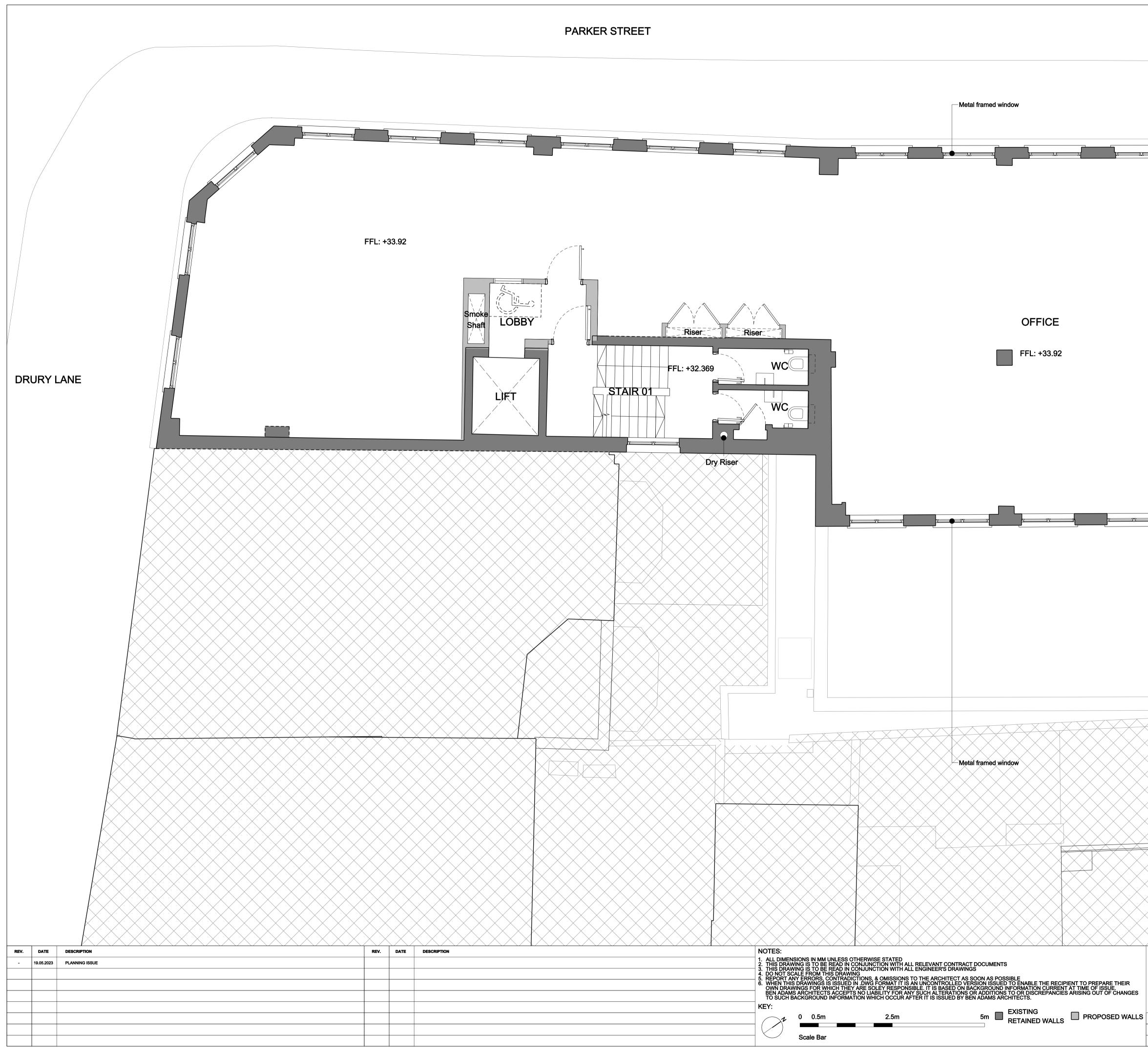
	RWP		
Ben Adam	ns Architects	DRAWING NAME:	PROPOSED FIRST FLOOR PLAN
Third Floor	T 020 7633 0000		
99 Southwark Street London SE1 0JF	benadamsarchitects.co.uk info@benadamsarchitects.co.uk	PROJECT NAME:	DRURY LANE - MRP
JOB NO:	22-034		P201/-

DRURY	LANE	
REV. DATE - 19.05.2023	DESCRIPTION	

PARKER STREET



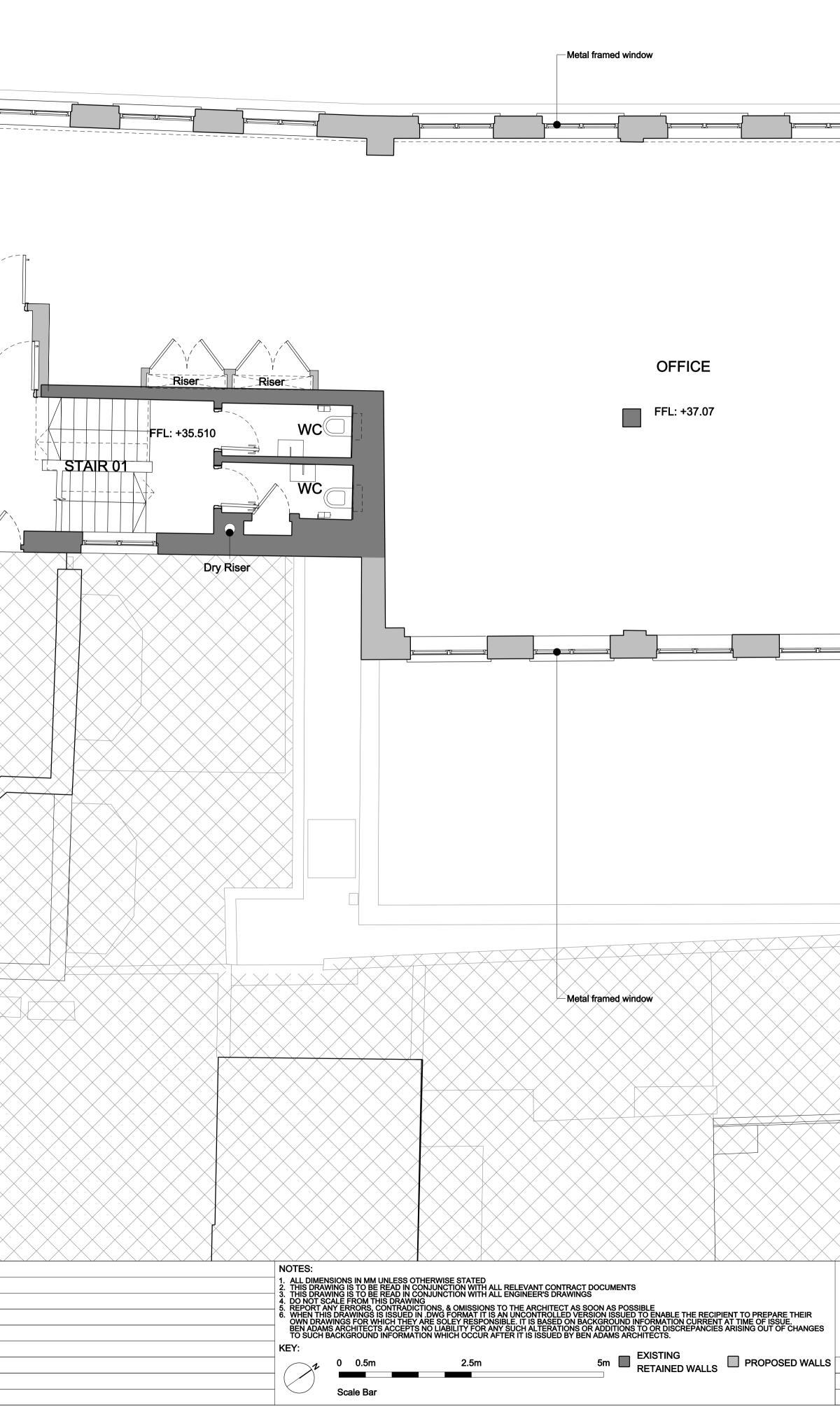
	RWP		
	RWP		
RWP			
<pre>///</pre>	RWP		
Exte	glazed rooflight ernal fire sounder metal handrail		
Ben Adam	ns Architects	DRAWING NAME:	PROPOSED SECOND FLOOR PLAN
Third Floor 99 Southwark Street London SE1 0JF	T 020 7633 0000 benadamsarchitects.co.uk info@benadamsarchitects.co.uk	PROJECT NAME:	DRURY LANE - MRP
JOB NO: SCALE: STAGE:	22-034 1:100 @ A3 1:50 @ A1 PLANNING	DRAWING NO:	P202/-



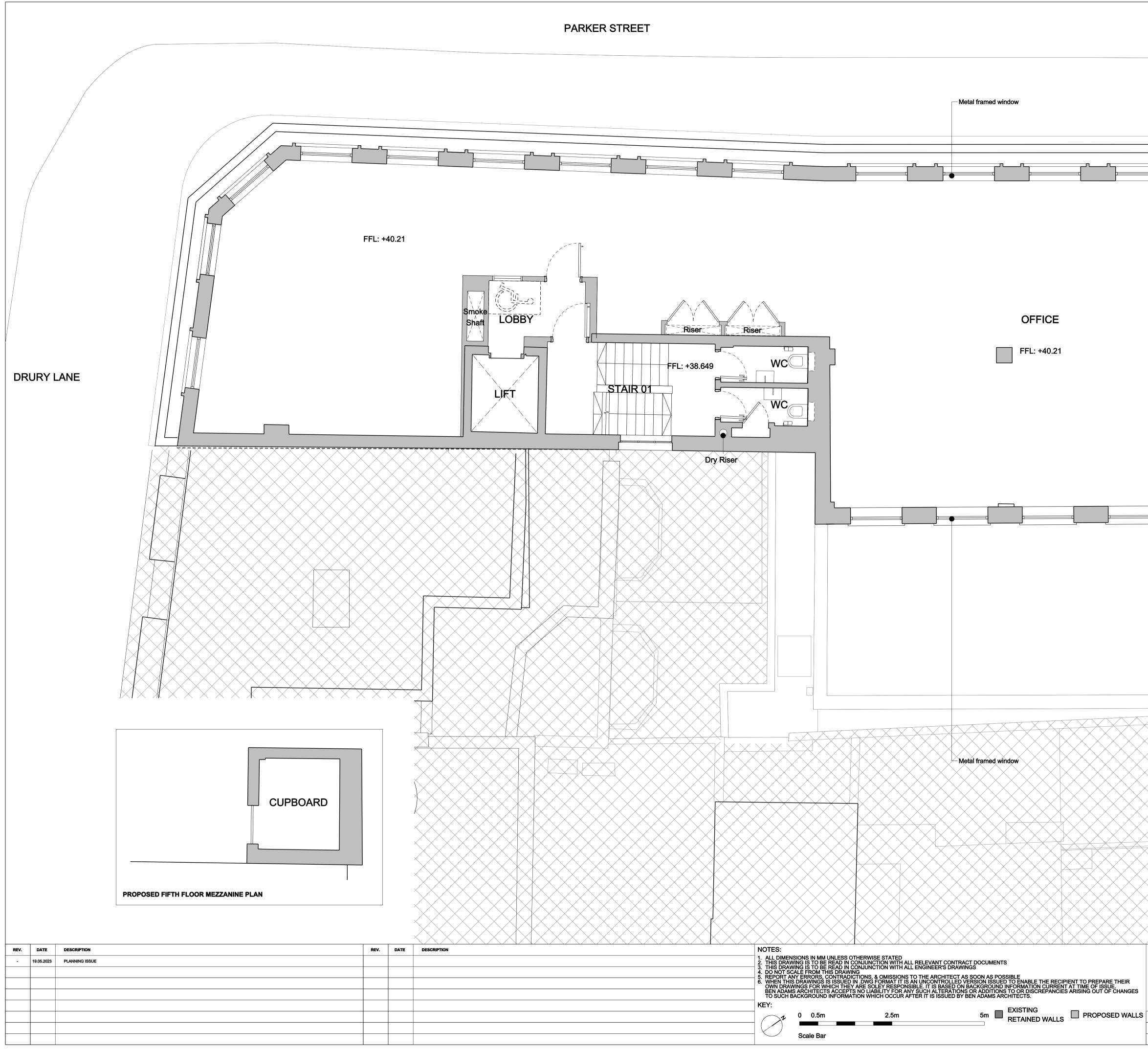
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en Adar	ms Architects	DRAWING NAME:	PROPOSED THIRD FLOOR PLAN
rd Floor Southwark Street don SE1 0JF	T 020 7633 0000 benadamsarchitects.co.uk info@benadamsarchitects.co.uk	PROJECT NAME:	DRURY LANE - MRP
OB NO: CALE:	22-034 1:100 @ A3 1:50 @ A1	DRAWING NO:	P203/-
J/ 166.	1:100 @ A3 1:50 @ A1 PLANNING		rzuj/-

DRURY LANE	FFL: +37.07	LIFT
REV. DATE DESCRIPTION - 19.05.2023 PLANNING ISSUE - 19.05.2023 PLANNING ISSUE - 19.05.2023 PLANNING ISSUE - 19.05.2023 PLANNING ISSUE		

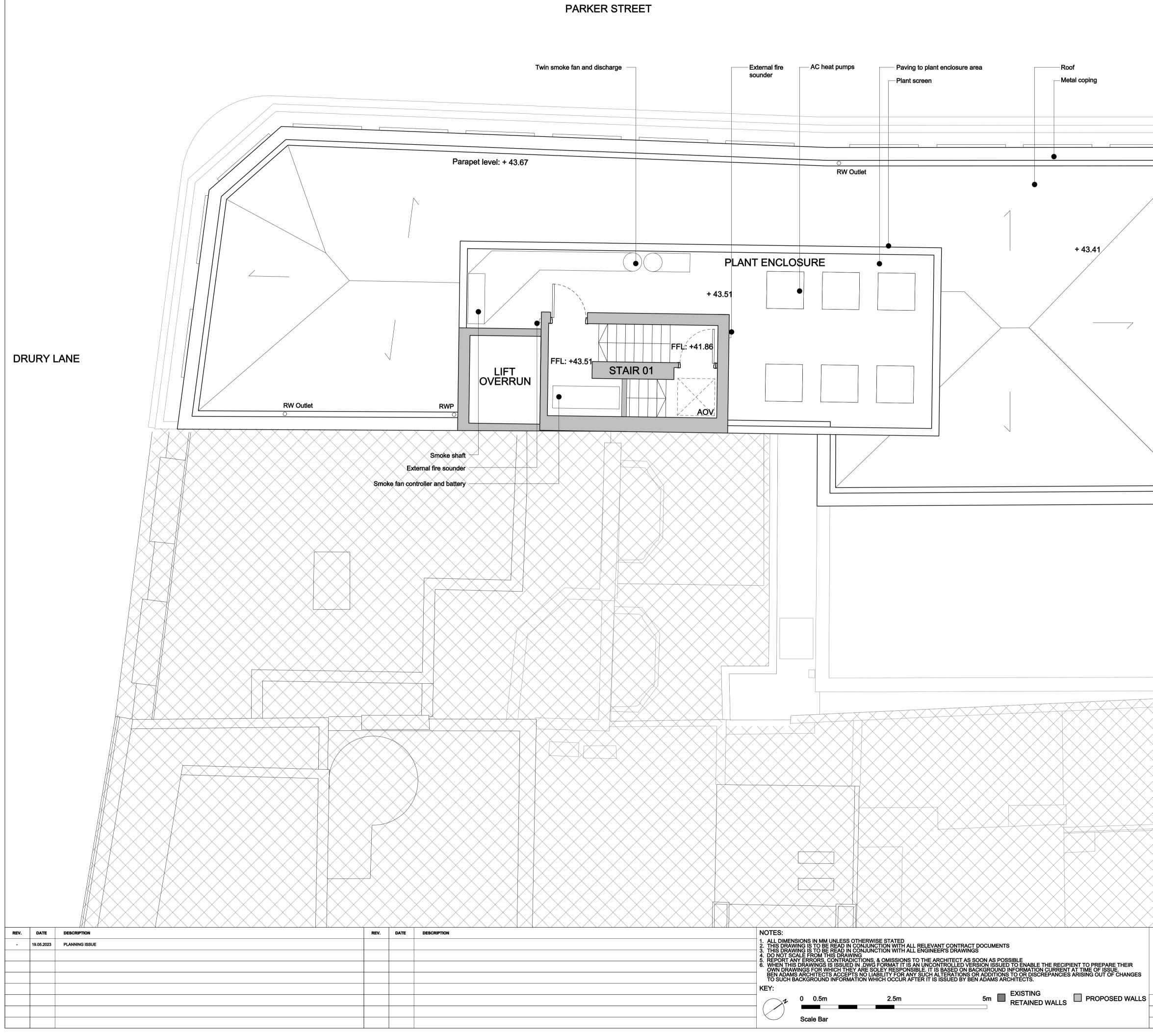
PARKER STREET



	RWP		
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	Retained party wall		
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Ben Adar	ms Architects 🛛 🚽	DRAWING NAME: PRO	DPOSED FOURTH FLOOR PLAN
Third Floor 99 Southwark Street London SE1 0JF	T 020 7633 0000 benadamsarchitects.co.uk info@benadamsarchitects.co.uk	PROJECT NAME:	DRURY LANE - MRP
JOB NO:	22-034 1:100 @ A3 1:50 @ A1	DRAWING NO:	P204/-



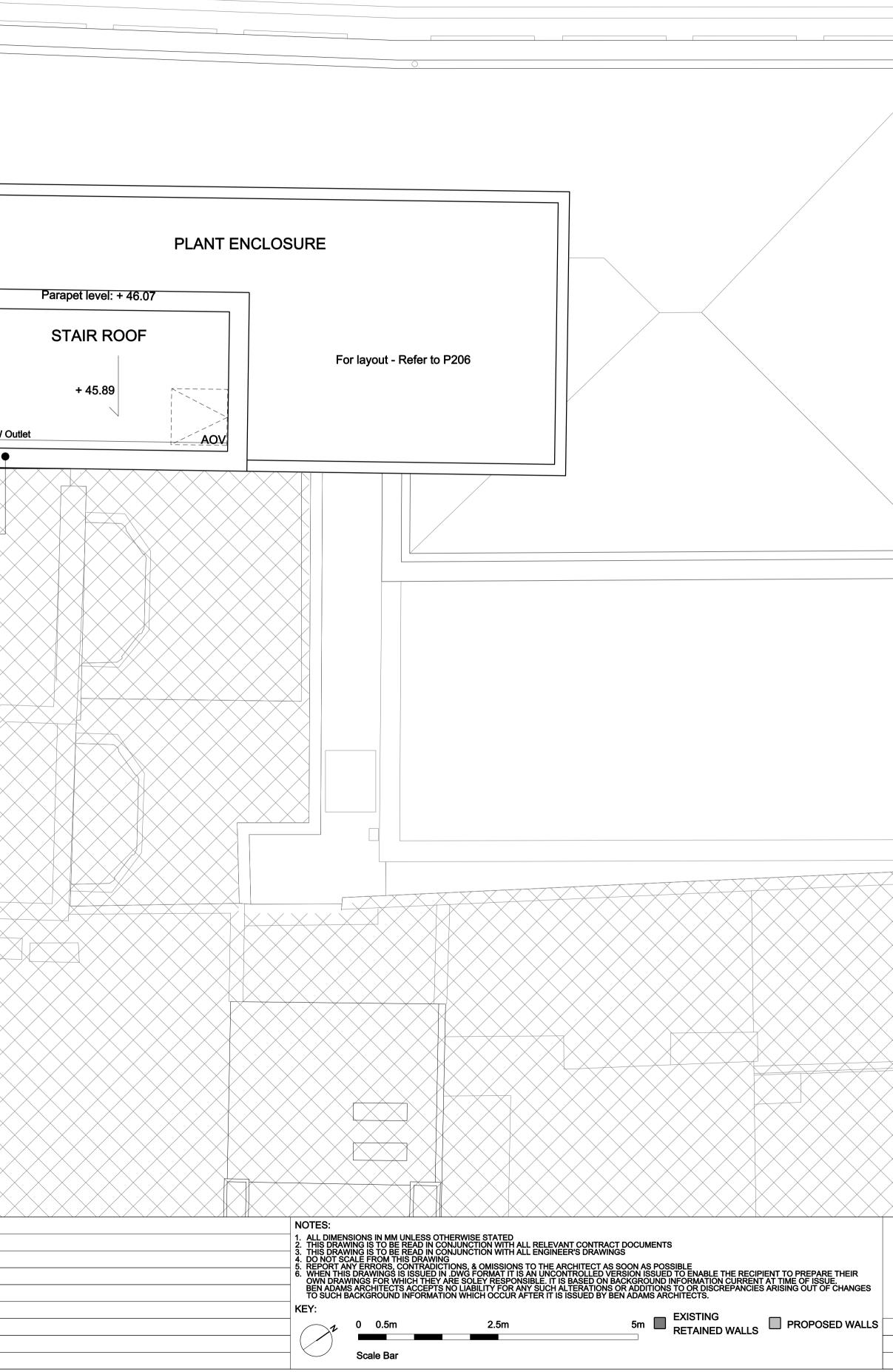
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en Adam	s Architects 🛛 🚽	DRAWING NAME:	PROPOSED FIFTH FLOOR PLAN
ird Floor Southwark Street ndon SE1 0JF	T 020 7633 0000 benadamsarchitects.co.uk info@benadamsarchitects.co.uk	PROJECT NAME:	DRURY LANE - MRP



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RW Outlet			
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		DRAWING NAME:	PROPOSED PLANT PLAN
Ben Ada	ms Architects 🛛 🚽		
Ben Ada Third Floor 99 Southwark Street London SE1 0JF	T 020 7633 0000 benadamsarchitects.co.uk info@benadamsarchitects.co.uk	PROJECT NAME:	DRURY LANE - MRP
Third Floor 99 Southwark Street	T 020 7633 0000 benadamsarchitects.co.uk	PROJECT NAME:	DRURY LANE - MRP P206/-

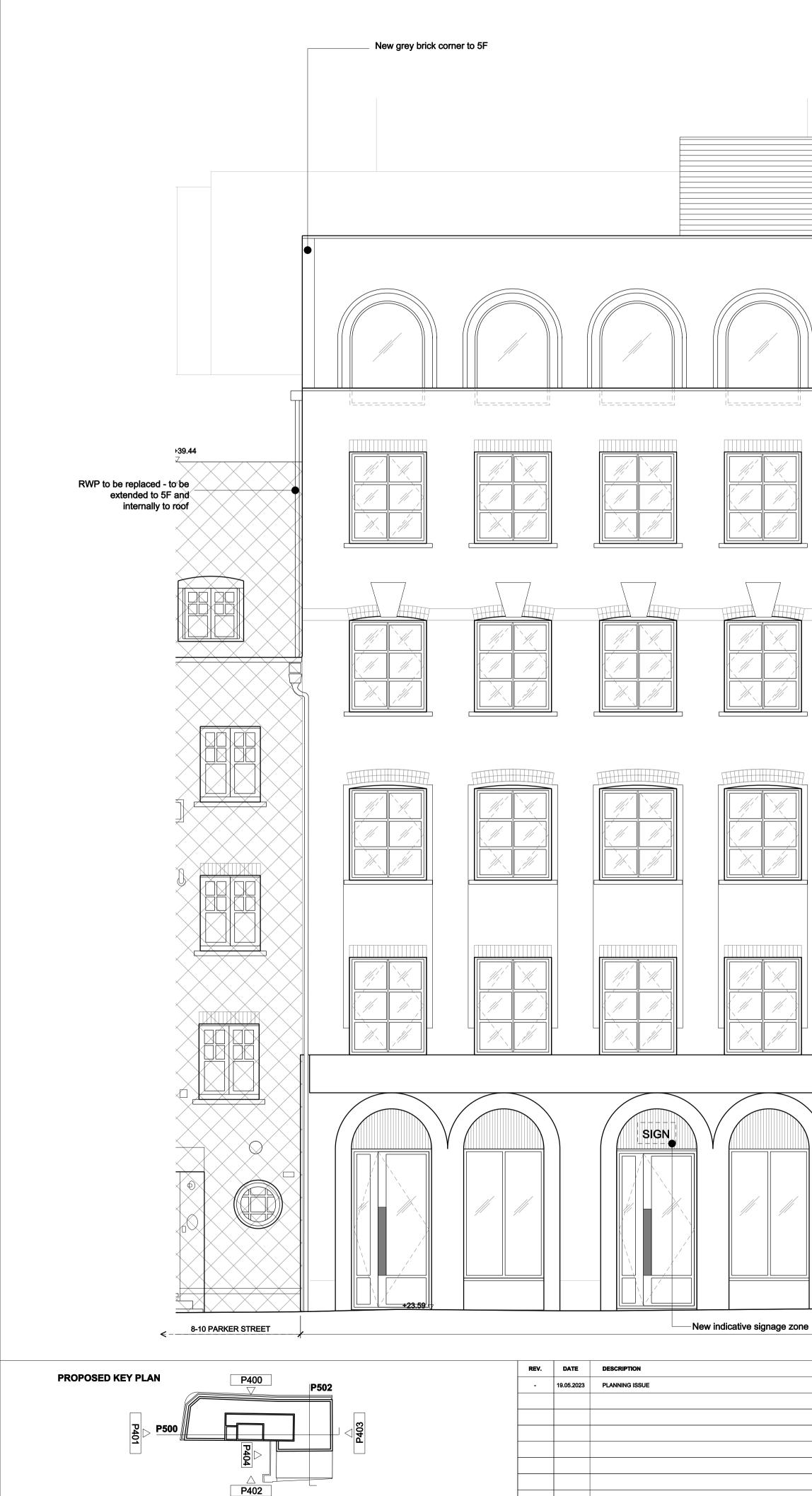
	RWP	LIFT OVERRUN RW Outlet
	Metal coping	





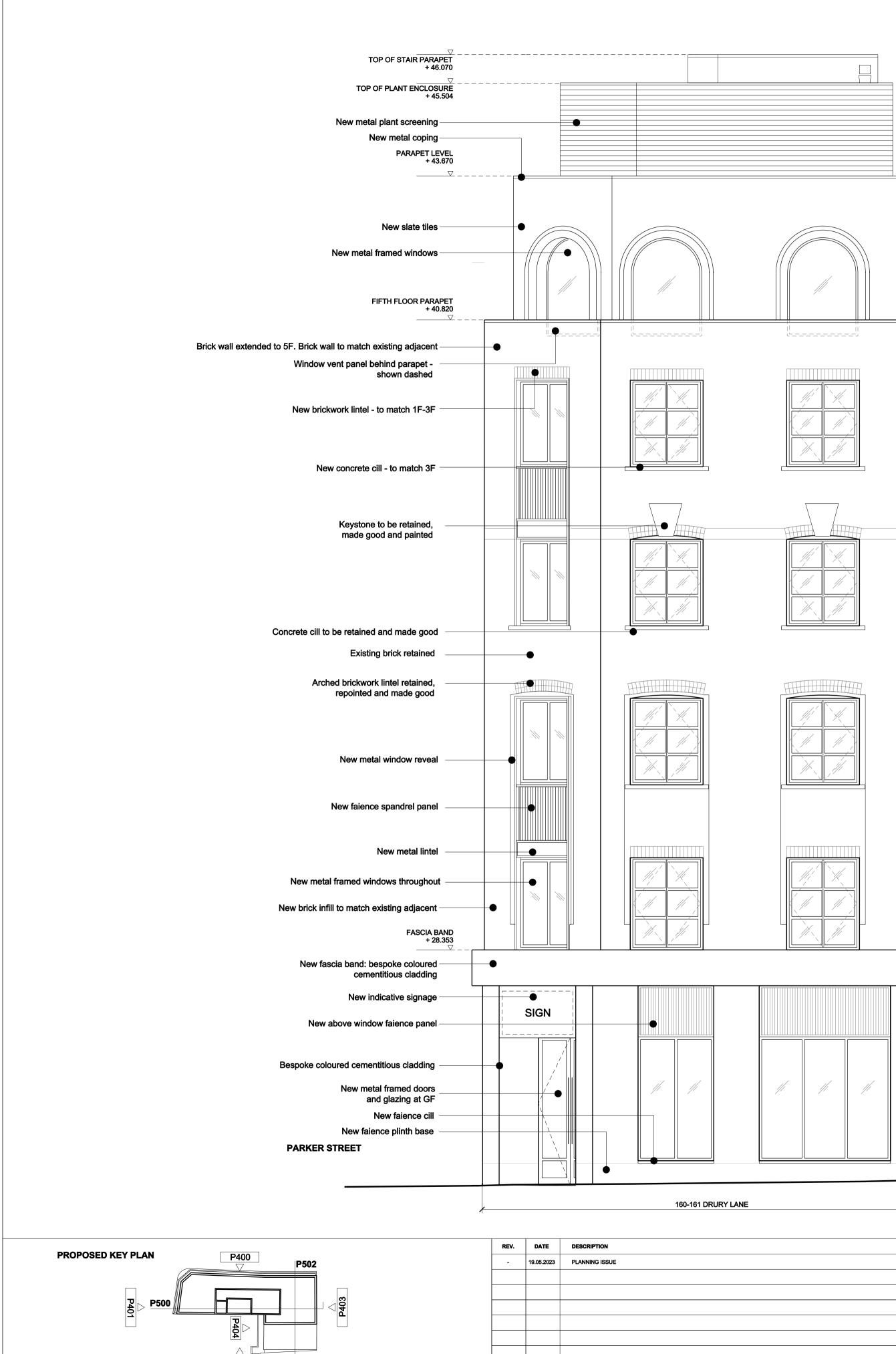
STAGE:		PLANNING		
SCALE:	1:100 @ A3	1:50 @ A1	DRAWING NO:	P207/-
JOB NO:		22-034		
Third Floor 99 Southwark Street London SE1 0JF	T 020 7633 0000 benadamsarchitect info@benadamsarci		PROJECT NAME:	DRURY LANE - MRP
Ben Adan	ns Archite	cts 🗲	DRAWING NAME:	PROPOSED ROOF PLAN

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				Metal coping London stock brick stair enclosure facade		
				New metal plant screening		
ast concrete arches						•
	0 -161 DRURY LANE NOTES: 1. ALL DIM 2. THIS DR 3. THIS DR 4. DO NOT 5. REPORT 6. WHEN T 5. Scale B	IENSIONS IN MM UNLESS OTHERW AWING IS TO BE READ IN CONJUN WING IS TO BE READ IN CONJUN SCALE FROM THIS DRAWING ANY ERRORS, CONTRADICTIONS HIS DRAWINGS IS ISSUED IN .DWG AWINGS FOR WHICH THEY ARE S AMS ARCHITECTS ACCEPTS NO LI H BACKGROUND INFORMATION W M 2.5m	dicative signage zone VISE STATED NCTION WITH ALL RELEVANT CON NCTION WITH ALL ENGINEER'S DR S, & OMISSIONS TO THE ARCHITEC G FORMAT IT IS AN UNCONTROLLE SOLEY RESPONSIBLE. IT IS BASED IABILITY FOR ANY SUCH ALTERATI (HICH OCCUR AFTER IT IS ISSUED 5m		THE RECIPIENT TO PREPARE THEI CURRENT AT TIME OF ISSUE. EPANCIES ARISING OUT OF CHAN WNERSHIP BOUNDARY	IR VGES

	 TOP OF STAIR PAR + 46.070	RAPET	
	TOP OF PLANT EN0 + 45.504	CLOSURE	
	PARAPET LEVEL + 43.670 ▽		
	Metal coping		
	Slate tiles	amed window	
		t panel behind	
	parapet - sho FIFTH FLOOR PARA	own dashed	
	+ 40.820 		
	New brickwo match 1F-3F		
		tended to 5F. Brickwork sting adjacent	
		10	
	New concret match 3F	e cili - to	
	Keystone to	be retained, made good and p	ainted
	-		
<u>L</u>	Concrete cill	to be retained and made good	
	Arched brick	work lintel retained and made	good
	Brickwork ret	tained and	
	made good	indow reveal	
	New faience	spandrel panel	
	New metal lir	ntel	
	New motel fr	amed windows throughout	
	New brick inf FASCIA BAND + 28.353	ill to match existing adjacent	
	New fascia b cementitious	and: bespoke coloured cladding	
	 ——— New above v	window faience panel	
	New indicativ	ve signage zone	
	New bespok	e coloured cementitious cladd	ng
	——New metal d	oors and glazing at GF	
	New faience New faience	cill	
	DRURY L		
	+23.68 		
	÷		
Ben Adams Arch	itects 🚽	DRAWING NAME:	PROPOSED NORTH WEST ELEVATION - PARKER STREET
Third Floor T 020 7633 0 99 Southwark Street benadamsar London SE1 0JF info@benada	1000 chitects.co.uk amsarchitects.co.uk	PROJECT NAME:	DRURY LANE - MRP
JOB NO: SCALE: 1:100 @ /		DRAWING NO:	P400/-
STAGE:	PLANNING		

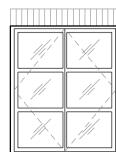


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TO SUCH BACKGROUND IN KEY:	FORMATION WHICH OCCUR AFT	ER IT IS ISSUED BY BEN	R ADDITIONS TO OR DISCREPANCIES ARISIN N ADAMS ARCHITECTS.	IG OUT OF CHANGES
0 0.5m Scale Bar	2.5m	5m 		DUNDARY

	, 159 DRURY LANE
\setminus /	

— New grey brick corner to 5F

__X_





Ben Adams Architects 🚽

DRAWING NAME:

PROPOSED SOUTH WEST ELEVATION - DRURY LANE

PROJECT NAME:

DRURY LANE - MRP

Third Floor 99 Southwark Street London SE1 0JF

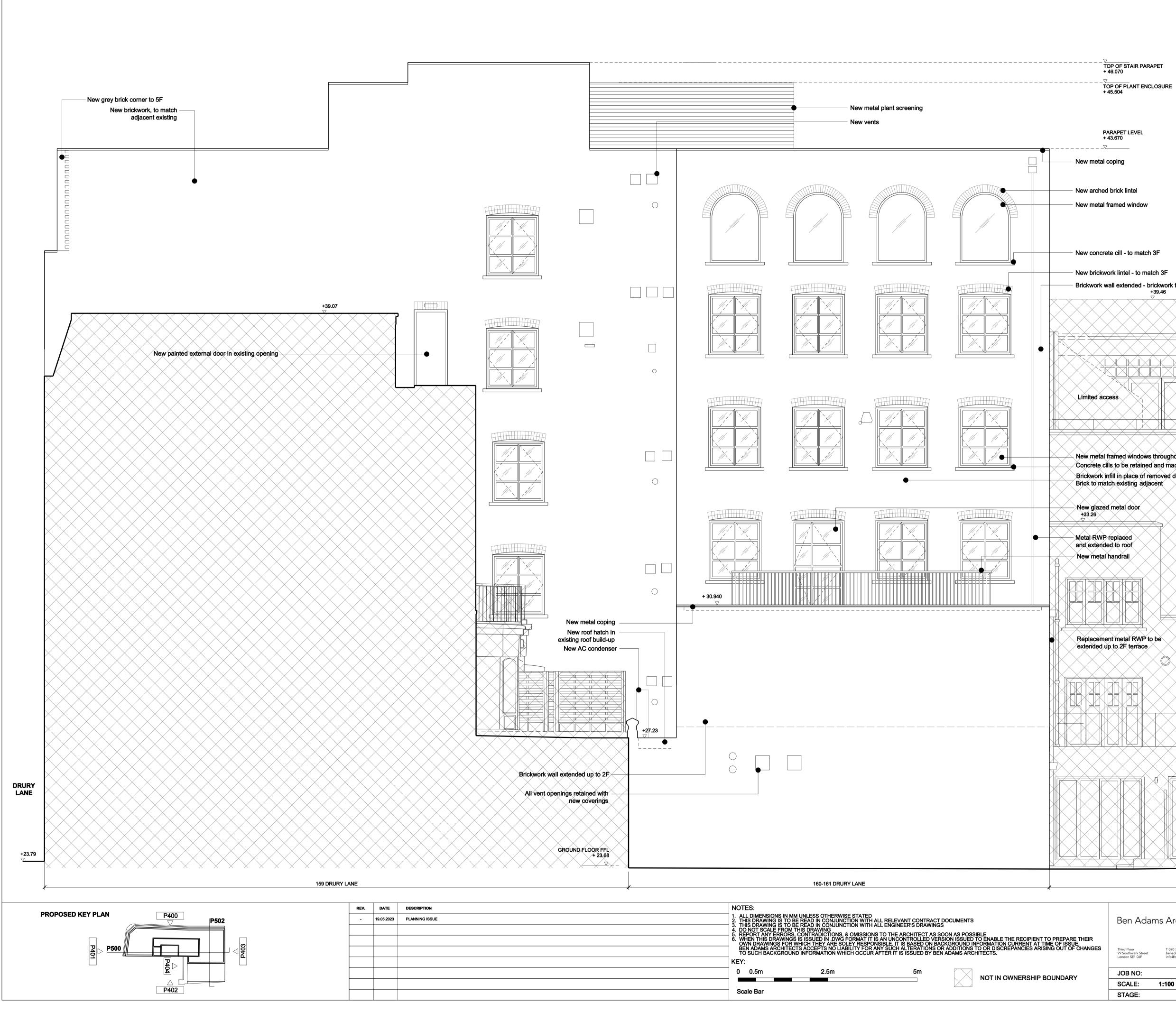
T 020 7633 0000 benadamsarchitects.co.uk info@benadamsarchitects.co.uk

JOB NO: 22-034

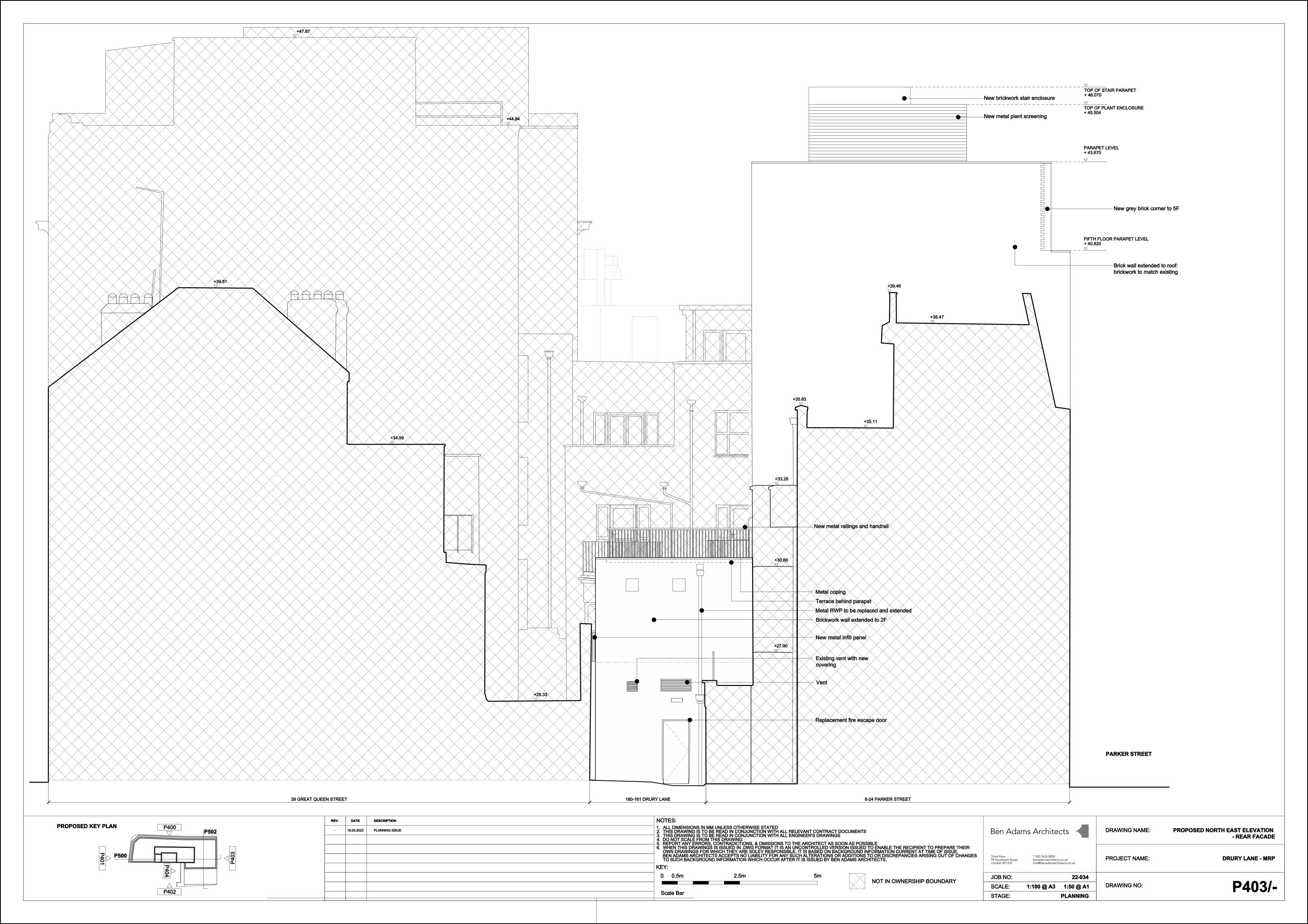
SCALE: 1:100 @ A3 1:50 @ A1 STAGE: PLANNING

DRAWING NO:

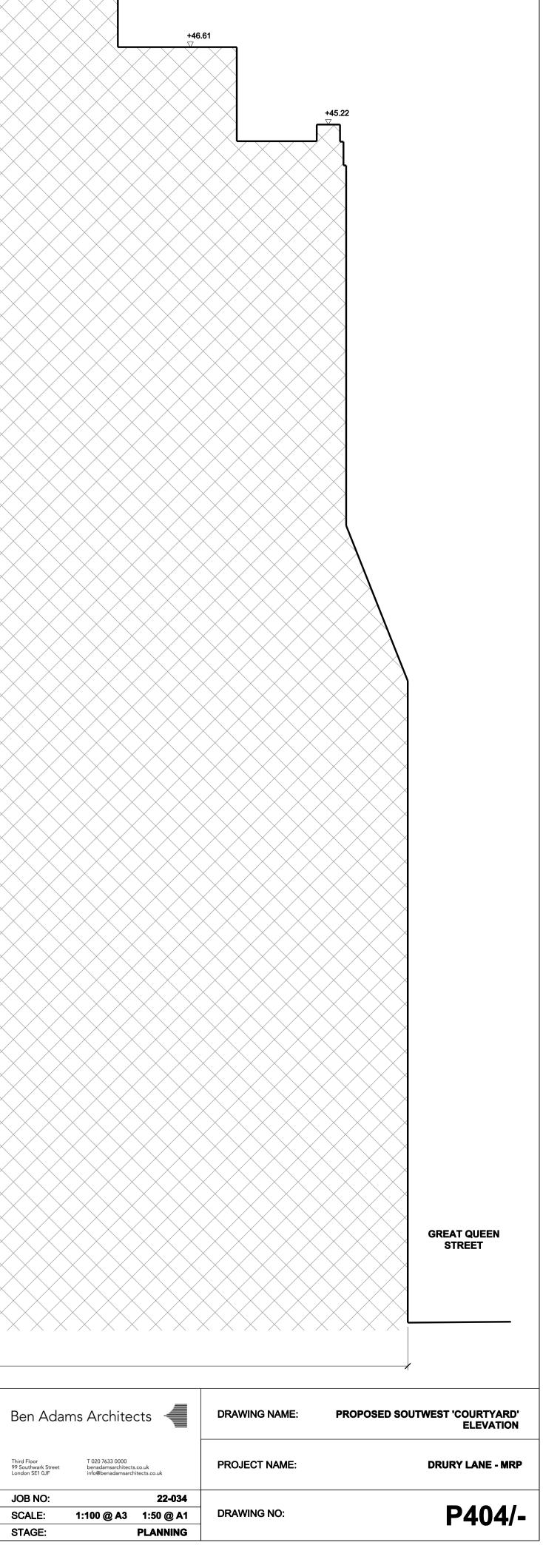




RAPET LEVEL 3.670		
pping		
orick lintel amed window	+42.00 ▽ +41.77	
e cill - to match 3F rk lintel - to match 3F		
Il extended - brickwork to match 2F - 4F +39.46		
+38.50		
+35.84		
amed windows throughout		
to be retained and made good ill in place of removed doors. h existing adjacent		
metal door		
eplaced to roof andrail		
+30.66		
t metal RWP to be to 2F terrace		
	+26.96	
+23,60		
8-24 PARKER ST	REET	
Ben Adams Architects 🚽	DRAWING NAME: PROPOSED SO	UTH EAST ELEVATION - REAR FACADE
Third Floor T 020 7633 0000 99 Southwark Street benadamsarchitects.co.uk London SEI 0JF info@benadamsarchitects.co.uk	PROJECT NAME:	DRURY LANE - MRP
JOB NO: 22-034 SCALE: 1:100 @ A3 1:50 @ A1 STAGE: PLANNING	DRAWING NO:	P402/-



FIFTH FLOOR PARAPET +40.820		ENCLOSURE	 New metal plant screening New metal coping Brick wall extended to roof 	
				New metal hoop ladder New metal hoop ladder New metal handrial New metal coping New metal RWP New metal RWP New metal RWP
PARKER STREET		160-161 DRURY LANE		Roof in ownership boundary New roof hatch in existing roof build-up
PROPOSED KEY PLAN	P400 P502 F P400 P502 F P402	REV. DATE DESCRIPTION - 19.05.2023 PLANNING ISSUE - 19.05.2023 PLANNING ISSUE - 1 - - 1 - - 1 - - 1 - - 1 - - 1 - - 1 - - 1 - - 1 - - 1 - - 1 - - 1 -		NOTES: 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE STATED 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS 4. DO NOT SCALE FROM THIS DRAWING 5. REPORT ANY ERRORS, CONTRADICTIONS, & OMISSIONS TO THE ARCHITECT AS SOON AS POSSIBLE 6. WHEN THIS DRAWINGS IS ISSUED IN .DWG FORMAT IT IS AN UNCONTROLLED VERSION ISSUED TO ENABLE THE RECIPIENT TO PREPARE THEIR OWN DRAWINGS FOR WHICH THEY ARE SOLEY RESPONSIBLE. IT IS BASED ON BACKGROUND INFORMATION CURRENT AT TIME OF ISSUE. BEN ADAMS ARCHITECTS ACCEPTS NO LIABILITY FOR ANY SUCH ALTERATIONS OR ADDITIONS TO OR DISCREPANCIES ARISING OUT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY BEN ADAMS ARCHITECTS. KEY: 0 0.5m 2.5m 5m Scale Bar





	AOV		
×	мер		 New metal plant screening Paving to plant enclosure area
		OFFICE	
	WC	OFFICE	
	WC CORRIDOR	OFFICE UNIT	BIKE STORE

BEN ADAMS ARCHITECTS ACCEP	CONJUNCTION WITH ALL RELEVANT CONJUNCTION WITH ALL ENGINEER ING ICTIONS, & OMISSIONS TO THE ARC	R'S DRAWINGS CHITECT AS SOON AS POS ROLLED VERSION ISSUED ASED ON BACKGROUND I ERATIONS OR ADDITIONS	SIBLE O TO ENABLE THE RECIPI INFORMATION CURRENT TO OR DISCREPANCIES	AT TIME OF ISSUE.
0 0.5m	2.5m	5m	EXISTING RETAINED WALLS	PROPOSED WALLS

Ben Adams Architects

4

DRAWING NAME:

DRURY LANE - MRP

PROJECT NAME:

PROPOSED SECTION AA

Third Floor 99 Southwark Street London SE1 0JF

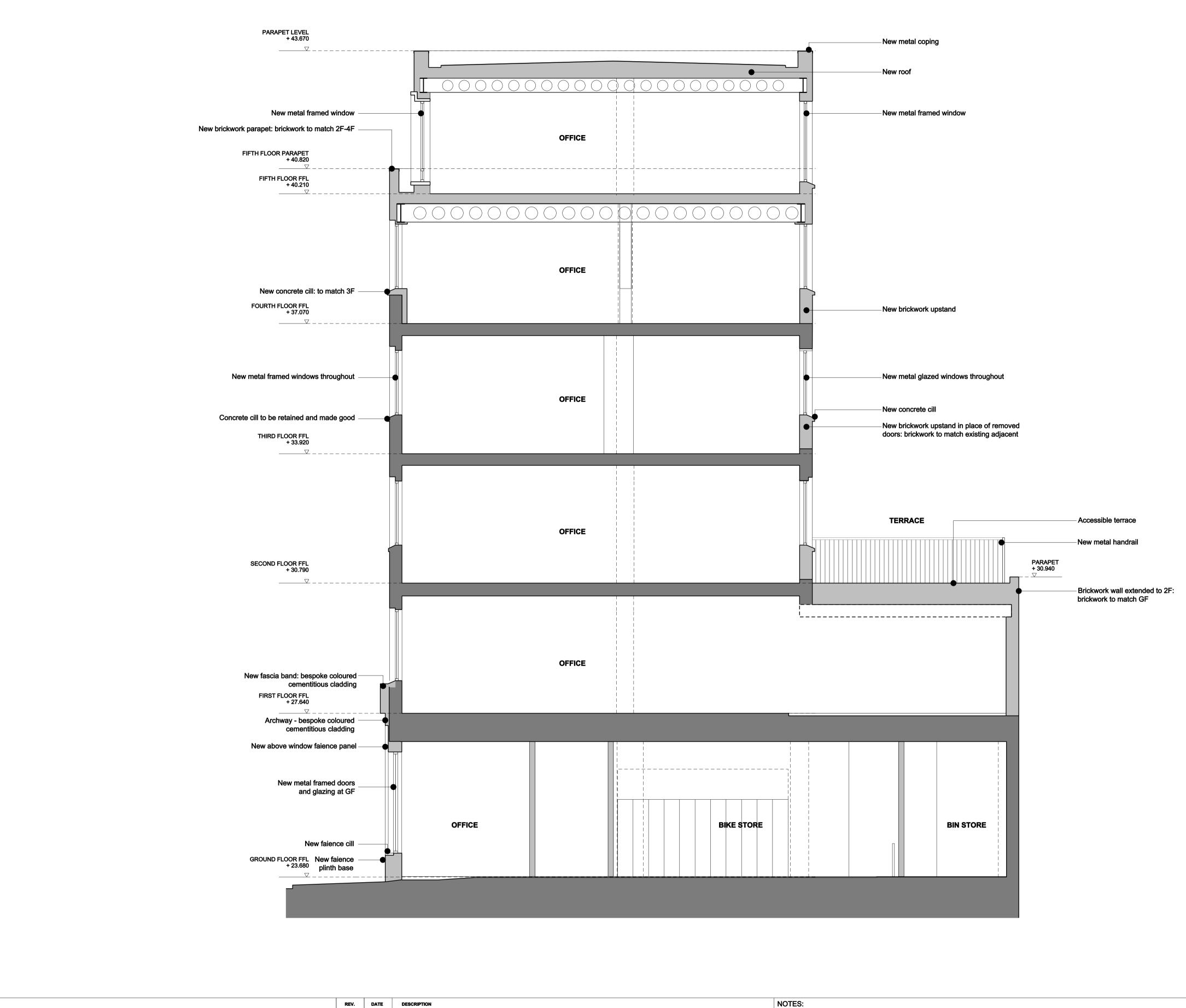
T 020 7633 0000 benadamsarchitects.co.uk info@benadamsarchitects.co.uk

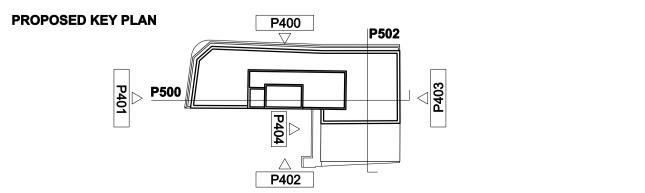
P500/-

JOB NO: SCALE: STAGE:

22-034 1:100 @ A3 1:50 @ A1 PLANNING

DRAWING NO:





19.05.2023 PLANNING ISSUE

 NOTES: 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE STATED 2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACT DOCUMENTS 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL ENGINEER'S DRAWINGS 4. DO NOT SCALE FROM THIS DRAWING 5. REPORT ANY ERRORS, CONTRADICTIONS, & OMISSIONS TO THE ARCHITECT AS SOON AS POSSIBLE 6. WHEN THIS DRAWINGS IS ISSUED IN .DWG FORMAT IT IS AN UNCONTROLLED VERSION ISSUED TO ENABLE THE RECIPIENT TO PREPARE THEIR OWN DRAWINGS FOR WHICH THEY ARE SOLEY RESPONSIBLE. IT IS BASED ON BACKGROUND INFORMATION CURRENT AT TIME OF ISSUE. BEN ADAMS ARCHITECTS ACCEPTS NO LIABILITY FOR ANY SUCH ALTERATIONS OR ADDITIONS TO OR DISCREPANCIES ARISING OUT OF CHANGES TO SUCH BACKGROUND INFORMATION WHICH OCCUR AFTER IT IS ISSUED BY BEN ADAMS ARCHITECTS. 				
0 0.5m	2.5m	5m		
Scale Bar			RETAINED WALLS	

Ben Adams Architects 🛛 🚽

DRAWING NAME:

DRURY LANE - MRP

Third Floor 99 Southwark Street London SE1 0JF

T 020 7633 0000 benadamsarchitects.co.uk info@benadamsarchitects.co.uk

PROPOSED SECTION BB

JOB NO: 22-034

SCALE: 1:100 @ A3 1:50 @ A1 STAGE: PLANNING PROJECT NAME:

DRAWING NO:

P501/-