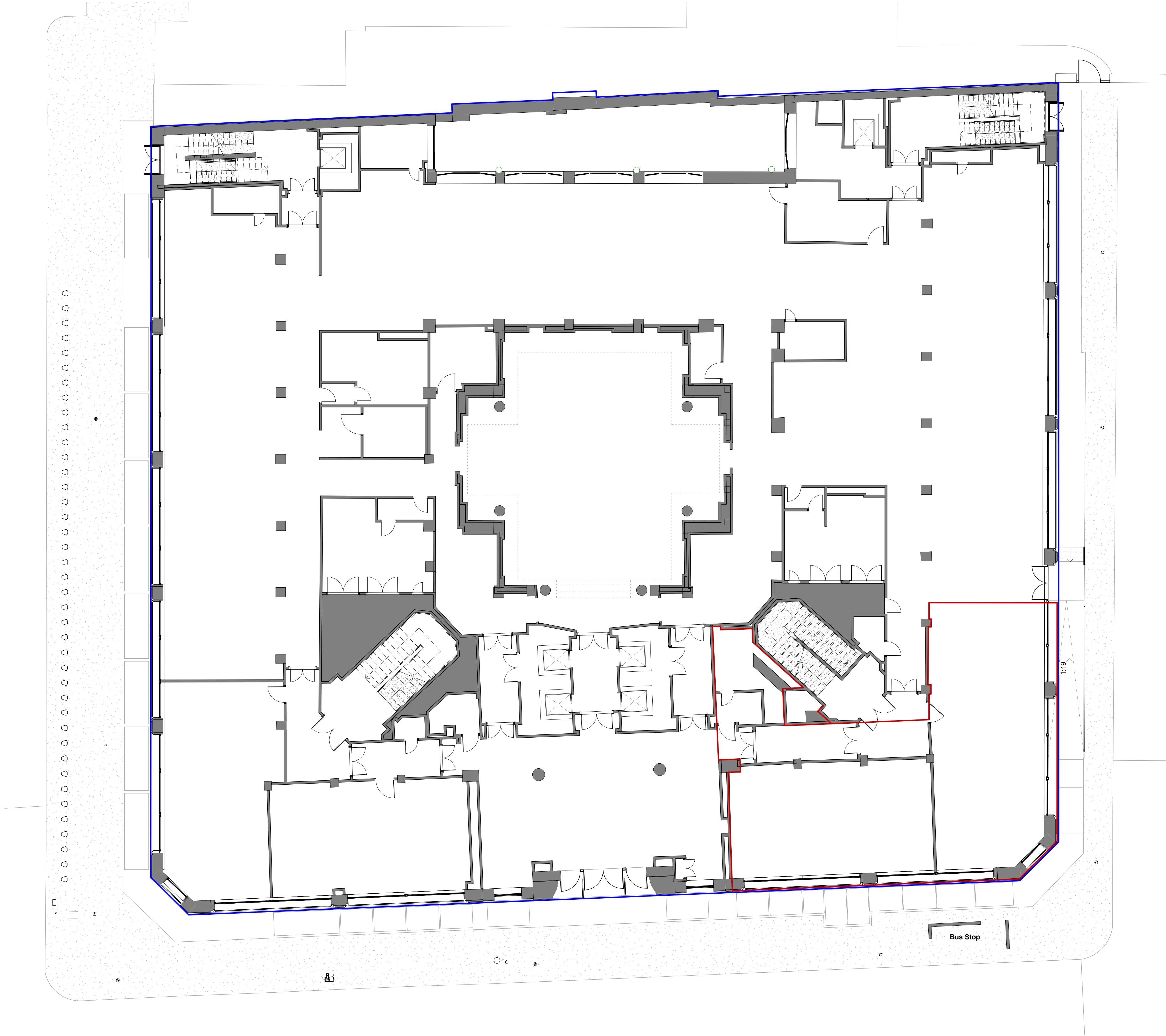


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Please note that these drawings have been developed without BIM or post strip out survey information.
All dimensions and levels to be verified once on site by the Contractor and to be the Contractor's responsibility.



PLANNING NOTES

Architectural Information - the level of detail shown on the drawings is relative to the submission of a PLANNING APPLICATION.

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Party Walls & Rights to Light - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

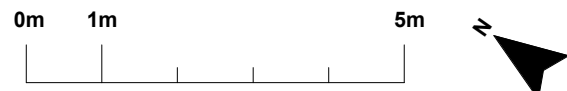
Freeholder / Leaseholder / Restricted covenants / Easement approvals - the client will ensure that any notices and consents required are obtained before work commences

Archaeological & Ecological - the client/ the contractor will ensure that any notices and consents required are obtained before work commences

Areas - the areas provided on drawings are rounded to the nearest whole unit. Measurements are based upon received survey information and as such a reasonable allowance should be made for discrepancies or deviations that may occur during construction.

REFERENCE KEY

- Application Boundary
- Site Boundary
- Party Wall Line
- Existing Walls
- Demolished Walls
- Proposed Walls
- Room Details
09.01
TYPICAL OFFICE
100sqm
1000sqft



Rev	Date	Description	Author	Checker
0	10.05.23	DRAFT - Ground Floor Unit Planning Application	PCS	JG
A	18.05.23	Ground Floor Unit Planning Application	JG	LS

EXISTING

Project Number: H582
Project Name: Euston House

Drawing Name

Existing Ground Floor Plan

Scale at A1 / A3

1:100 / 1:200

Drawing Number

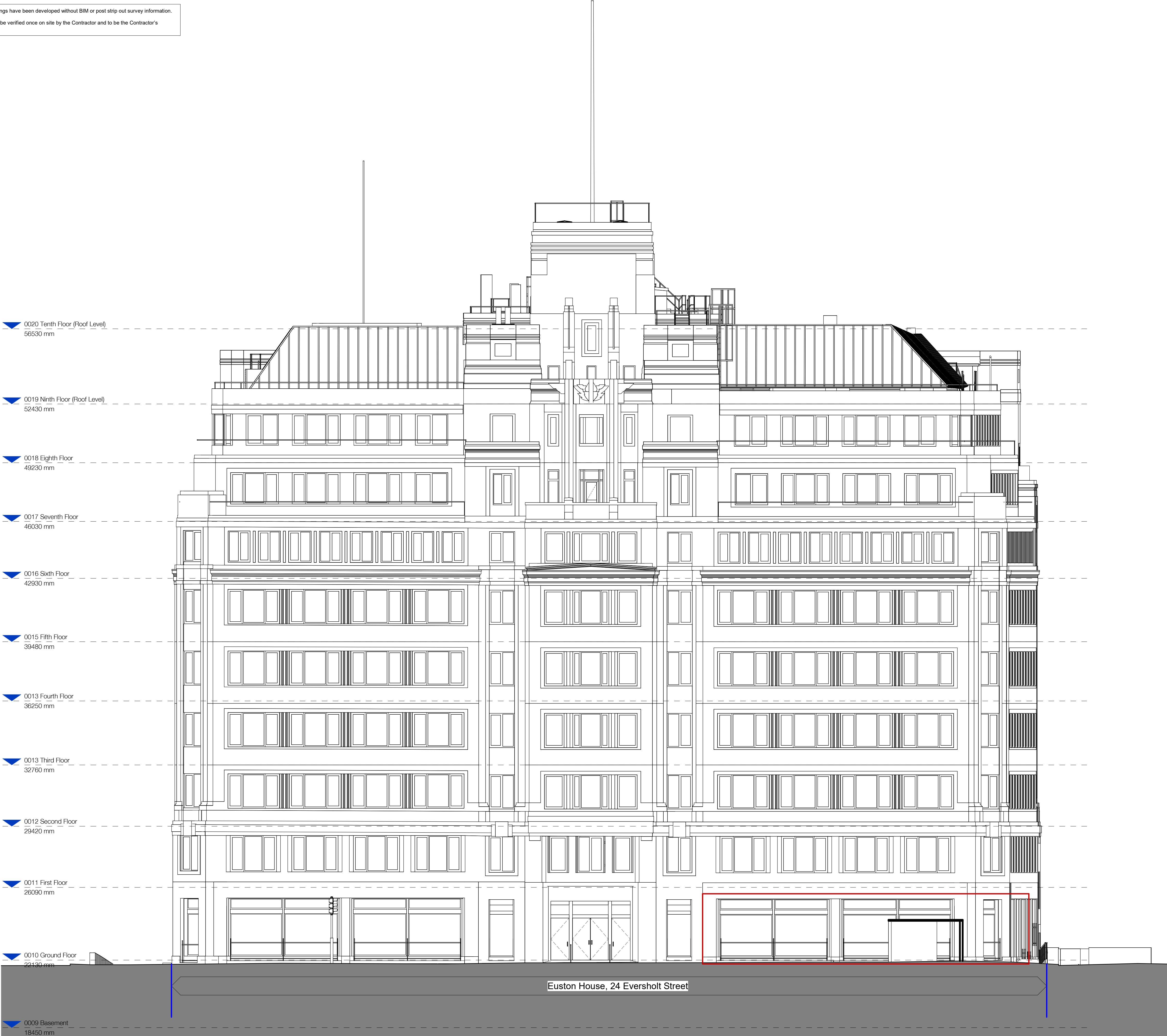
H582 - HUT - ZZ - 10 - DR - A - E0010A - A

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HUT - Eversholt Street - J:\050723\A17-ZZ\A3-A-Exterior

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E0301 - G - Existing West Elevation - Eversholt Street (Front)

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REFERENCE KEY

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- Site Boundary
- Party Wall Line
- Existing Walls
- Demolished Walls
- Proposed Walls
- Room Details

09.01
TYPICAL OFFICE
100sqm
1000sqft



Rev	Date	Description	Author	Checker
E	04.04.23	Phase 3 - Seventh & Eighth Floor Balconies Planning Application	JG	SA
F	10.05.23	DRAFT - Ground Floor Unit Planning Application	PCS	JG
G	18.05.23	Ground Floor Unit Planning Application	JG	LS

EXISTING

Project Number Project Name
H582 Euston House

Drawing Name

Existing West Elevation - Eversholt Street (Front)

Scale at A1 / A3

1:100 / 1:200

Drawing Number

H582 - HUT - ZZ - ZZ - DR - A - E0301 - G

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HUT - Euston House - Planning Application

Please note that these drawings have been developed without BIM or post strip out survey information.
All dimensions and levels to be verified once on site by the Contractor and to be the Contractor's responsibility.



E0304 - D - Existing South Elevation - Lancing Street (Side)

PLANNING NOTES

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REFERENCE KEY

- Application Boundary
- Site Boundary
- Party Wall Line
- Existing Walls
- Demolished Walls
- Proposed Walls
- Room Details



Rev	Date	Description	Author	Checker
A	14.12.22	DRAFT - 9th Floor Roof Planning Application	JG	SA
B	21.12.22	Submission - 9th Floor Terrace Planning Application	SA	LS
C	10.05.23	DRAFT - Ground Floor Unit Planning Application	PCS	JG
D	18.05.23	Ground Floor Unit Planning Application	JG	LS

EXISTING

Project Number: H582
Project Name: Euston House

Drawing Name

Existing South Elevation - Lancing Street (Side)

Scale at A1 / A3

1:100 / 1:200

Drawing Number

H582 - HUT - ZZ - ZZ - DR - A - E0304 - D

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