

- General Notes:
- Do not scale off this drawing.
  - Use figured dimensions only.
  - All dimensions to be verified prior to the commencement of any work or the production of any shop drawing.
  - All omissions and discrepancies to be reported to the Architect immediately.
  - This drawing is to be read in conjunction with all related Architect's and Engineer's drawings and any other relevant information.

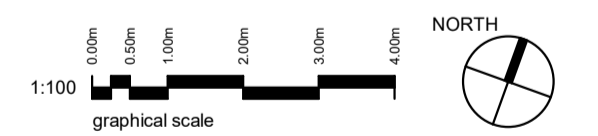
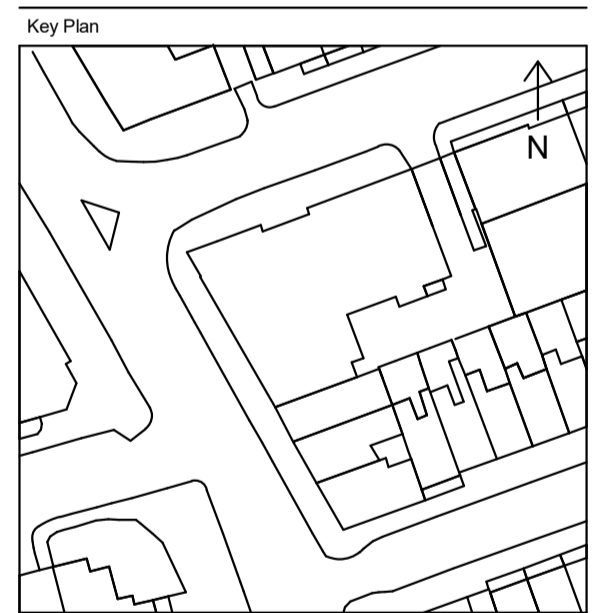
**EXISTING BUILDING DISCLAIMER:**  
This is a project with an existing building, hence all Designs are based on available surveys. All proposals to be reviewed on site prior to construction to ensure suitability of design in relation to existing conditions.

**Strip Out / Demolition Notes:**

- All building and context information based on survey information provided on 14th June 2022
- Superstructure is represented illustratively only and subject to further survey information.
- Structural Engineer to review and confirm all demolition
- Refer to MEP information for services strip out
- MEP Engineer to confirm BWIC to services through existing structure.
- To be read in conjunction with Asbestos Survey Information

- KEY:**
- Site Boundary
  - Demolition of Existing Building
  - Demolition of Existing Superstructure TBC by Structural Engineer
  - Existing Superstructure (subject to further survey information)
  - Existing Superstructure (subject to further survey information)

PL01	26.05.23	EG	JPB	Planning Submission
revision	date	by	appr	description



Client  
**Platinum Properties Ltd.**

Project Name  
**300 Gray's Inn Road**

Project Address  
**300 Gray's Inn Rd, London WC1X 8DX**

Design Stage  
**Planning**

Drawing Title  
**Strip Out Ground Floor Plan**

Scale	Sheet Size	Date
1 : 200	A1	26/05/23
1 : 100	A3	

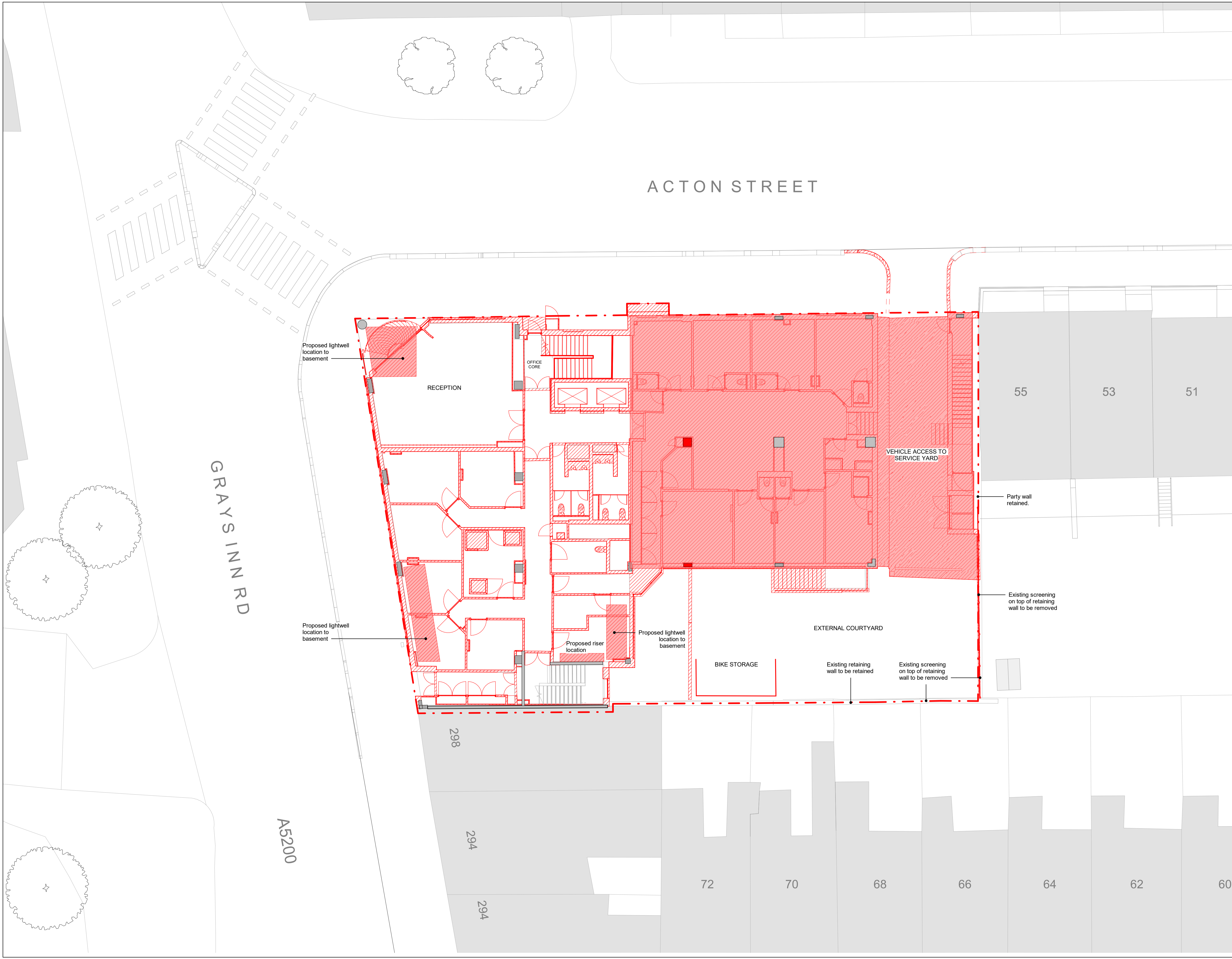
Drawn	Checked	Approved
EG	JPB	SG

Revision Suitability Code

**PL01**

Drawing No.

GIR - HAP - ZZZ - 00 - DR - A - PL-2100



GRAYS INN RD

A5200

ACTON STREET

Proposed lightwell location to basement

Proposed lightwell location to basement

RECEPTION

OFFICE CORE

VEHICLE ACCESS TO SERVICE YARD

55

53

51

Party wall retained.

Existing screening on top of retaining wall to be removed

EXTERNAL COURTYARD

BIKE STORAGE

Existing retaining wall to be retained

Existing screening on top of retaining wall to be removed

298

294

294

72

70

68

66

64

62

60