

Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile
Grille	

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
  - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
  - All existing walls and ceilings to be locally re-skimmed and painted where required.
  - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing structural slab.
- FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- |    |   |
|----|---|
| 01 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.     |
| 02 | Proposed metal handrail   |
| 03 | Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.                              |
| 04 | Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.                                 |
| 05 | Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.  |
| 06 | Existing timber staircase and balustrade to be refurbished and redecorated.   |
| 07 | Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.                               |
| 08 | Proposed minimal frame fixed aluminium window   |
| 09 | Proposed minimal frame aluminium casement window (operable)   |
| 10 | Proposed built in joinery   |
| 11 | Existing chimney piece and hearth to be refurbished and redecorated where necessary.  |
| 12 | Proposed column radiator  |
| 13 | Replace existing mosaic floor finish  |
| 14 | Existing metal railings to be refurbished and redecorated   |
| 15 | Proposed metal balustrade   |
| 16 | Proposed service riser  |
| 17 | Proposed glass link with slim profile zinc roof   |
| 18 | Contemporary timber staircase   |
| 19 | Half partition. Wall build up to match adjacent wall  |
| 20 | Glazed volume providing access to roof terrace, with black zinc roof  |
| 21 | Proposed chimney piece and hearth   |
| 22 | Proposed shower tray over existing floor boards   |
| 23 | Replacement partition wall  |
| 24 | New partition wall  |
| 25 | Proposed bi-folding frosted glass screen to window  |
| 26 | Proposed dormer windows to match no. 7  |
| 27 | Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.  |
| 28 | All roof flashings to be replaced   |
| 29 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.   |
| 30 | Rainwater pipes and gutters to be replaced with heritage cast iron fittings   |
| 31 | Reinstatement of sash window in original opening, six over six configuration  |
| 32 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration. |
| 33 | New conservation rooflight  |
| 34 | Acoustic plant enclosure for condenser units  |
| 35 | FCU concealed within existing joinery   |
| 36 | FCU concealed within new proposed joinery unit  |
| 37 | New (Newton 500) landing system to pavement vault.  |
| 38 | New timber framed dormer sash windows with 3 over 3 configuration   |

Rev. A	24.08.2021	Issued for Planning
Rev. -	04.10.2020	Issued for Planning

# PLANNING

Project No. 20042

GFZ Investments LTD.

Date: October 2020

Scale: 1:50 @ A1 / 1:100 @ A3

Project: Great James Street

Drawing Title: Proposed Lower Ground Floor Plan

Drawing No. A2100

Drawn	Approved	Signed
CT	PB	AA

Marek Wojciechowski Architects Ltd.

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N

0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m





Key Site Plan 1:1000

Key:

Existing structure / earth	New Structure
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Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile
Grille	

General Notes:

- Existing brickwork to be re-pointed and repaired throughout.
- Retain and refurbish all existing window boxes, architraves and shutters.
- All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
- All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
- All existing walls and ceilings to be locally re-skimmed and painted where required.
- Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

Floor Build-ups

FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.

FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.

FLOOR 3: Specified floor finish on existing structural slab.

FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.

FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.

FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

Proposed Notes:

01	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
02	Proposed metal handrail
03	Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
04	Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
05	Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
06	Existing timber staircase and balustrade to be refurbished and redecorated.
07	Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.
08	Proposed minimal frame fixed aluminium window
09	Proposed minimal frame aluminium casement window (operable)
10	Proposed built in joinery
11	Existing chimney piece and hearth to be refurbished and redecorated where necessary.
12	Proposed column radiator
13	Replace existing mosaic floor finish
14	Existing metal railings to be refurbished and redecorated
15	Proposed metal balustrade
16	Proposed service riser
17	Proposed glass link with slim profile zinc roof
18	Contemporary timber staircase
19	Half partition. Wall build up to match adjacent wall
20	Glazed volume providing access to roof terrace, with black zinc roof
21	Proposed chimney piece and hearth
22	Proposed shower tray over existing floor boards
23	Replacement partition wall
24	New partition wall
25	Proposed bi-folding frosted glass screen to window
26	Proposed dormer windows to match no. 7
27	Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
28	All roof flashings to be replaced
29	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
30	Rainwater pipes and gutters to be replaced with heritage cast iron fittings
31	Reinstatement of sash window in original opening, six over six configuration
32	Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
33	New conservation rooflight
34	Acoustic plant enclosure for condenser units
35	PCU concealed within existing joinery
36	PCU concealed within new proposed joinery unit
37	New (Newton 500) landing system to pavement vault.
38	New timber framed dormer sash windows with 3 over 3 configuration

Rev. A	24.08.2021	Issued for Planning
Rev. -	04.10.2020	Issued for Planning

PLANNING

Project No. 20042

Client: GFZ Investments LTD.

Date: October 2020

Scale: 1:50 @ A1 / 1:100 @ A3

Project: 8 Great James Street

Drawing Title: Proposed Ground Floor Plan

Drawing No. A2000 Rev. A

Drawn: CT Approved: PB

Marek Wojciechowski Architects Ltd.

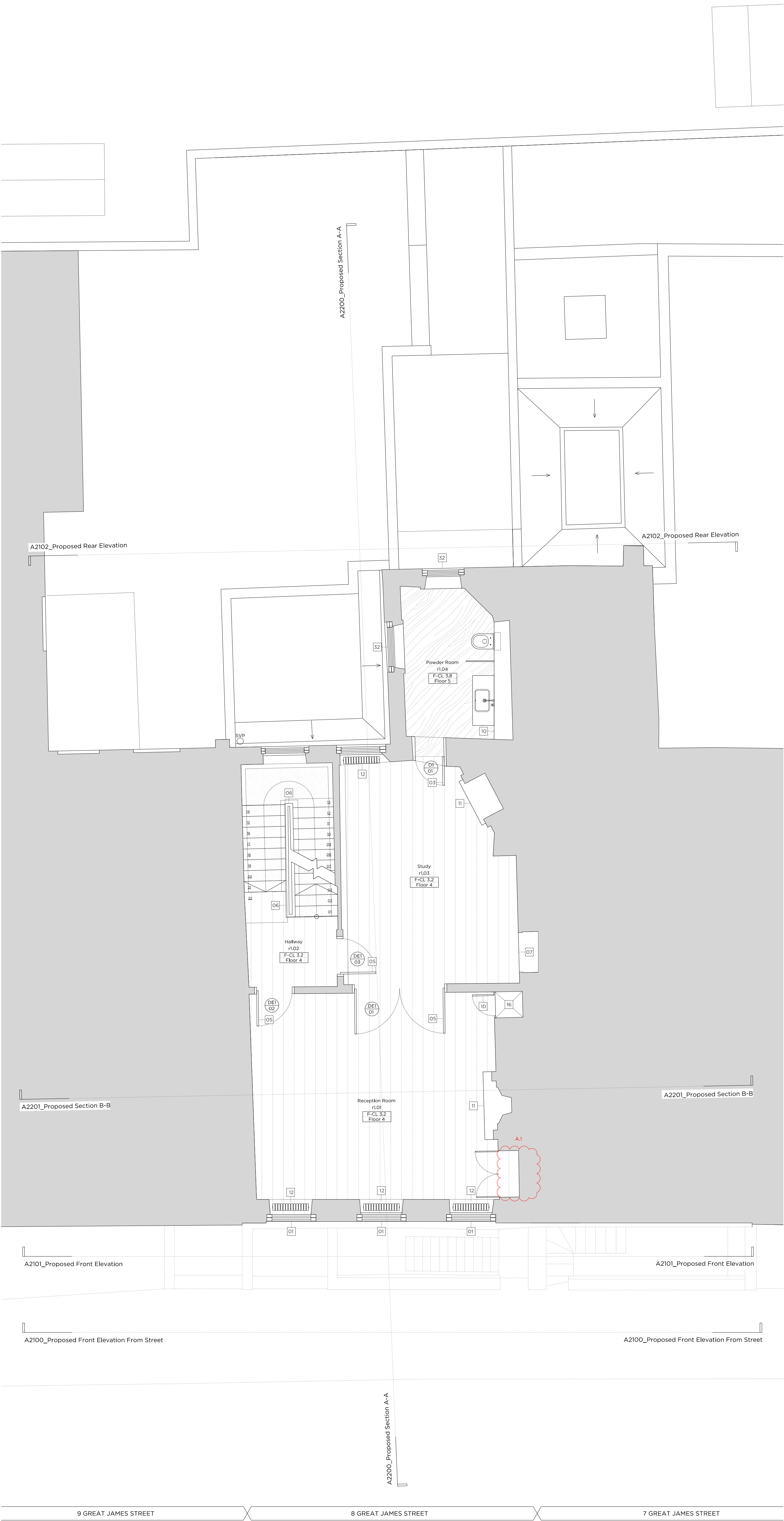
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N

0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m





Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile
Grille	

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
  - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
  - All existing walls and ceilings to be locally re-skimmed and painted where required.
  - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 4: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- |    |   |
|----|---|
| 01 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.     |
| 02 | Proposed metal handrail   |
| 03 | Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.                              |
| 04 | Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.                                 |
| 05 | Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.  |
| 06 | Existing timber staircase and balustrade to be refurbished and redecorated.   |
| 07 | Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.                               |
| 08 | Proposed minimal frame fixed aluminium window   |
| 09 | Proposed minimal frame aluminium casement window (operable)   |
| 10 | Proposed built in joinery   |
| 11 | Existing chimney piece and hearth to be refurbished and redecorated where necessary.  |
| 12 | Proposed column radiator  |
| 13 | Replace existing mosaic floor finish  |
| 14 | Existing metal railings to be refurbished and redecorated   |
| 15 | Proposed metal balustrade   |
| 16 | Proposed service riser  |
| 17 | Proposed glass link with slim profile zinc roof   |
| 18 | Contemporary timber staircase   |
| 19 | Half partition. Wall build up to match adjacent wall  |
| 20 | Glazed volume providing access to roof terrace, with black zinc roof  |
| 21 | Proposed chimney piece and hearth   |
| 22 | Proposed shower tray over existing floor boards   |
| 23 | Replacement partition wall  |
| 24 | New partition wall  |
| 25 | Proposed bi-folding frosted glass screen to window  |
| 26 | Proposed dormer windows to match no. 7  |
| 27 | Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.  |
| 28 | All roof flashings to be replaced   |
| 29 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.   |
| 30 | Rainwater pipes and gutters to be replaced with heritage cast iron fittings   |
| 31 | Reinstatement of sash window in original opening, six over six configuration  |
| 32 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration. |
| 33 | New conservation rooflight  |
| 34 | Acoustic plant enclosure for condenser units  |
| 35 | PCU concealed within existing joinery   |
| 36 | PCU concealed within new proposed joinery unit  |
| 37 | New (Newton 500) landing system to pavement vault.  |
| 38 | New timber framed dormer sash windows with 3 over 3 configuration   |

Rev. A	24.08.2021	Issued for Planning
Rev. -	04.10.2020	Issued for Planning

**PLANNING**

Project No. 20042

Client: GFZ Investments LTD.

Date: October 2020

Scale: 1:50 @ A1 / 1:100 @ A3

Project: 8 Great James Street

Drawing Title: Proposed First Floor Plan

Drawing No. A2001 Rev.

Drawn	Approved	Sign
CT	PB	AA

Marek Wojciechowski Architects Ltd.

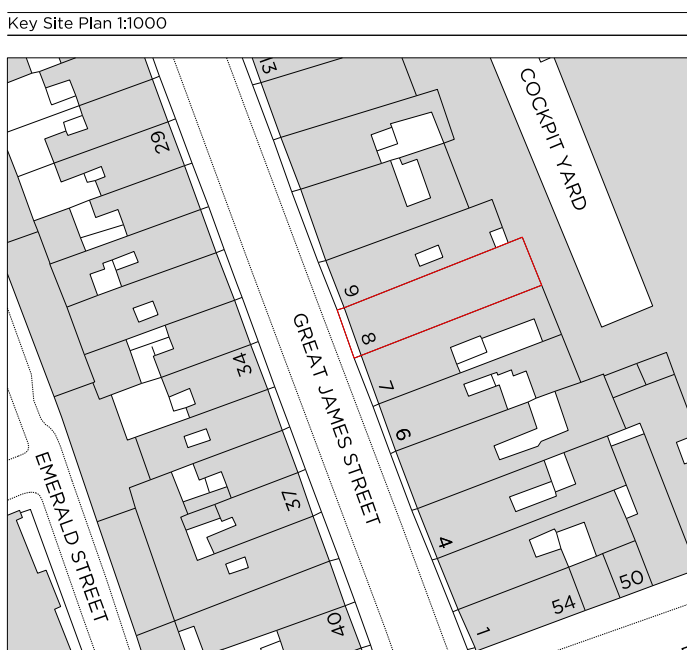
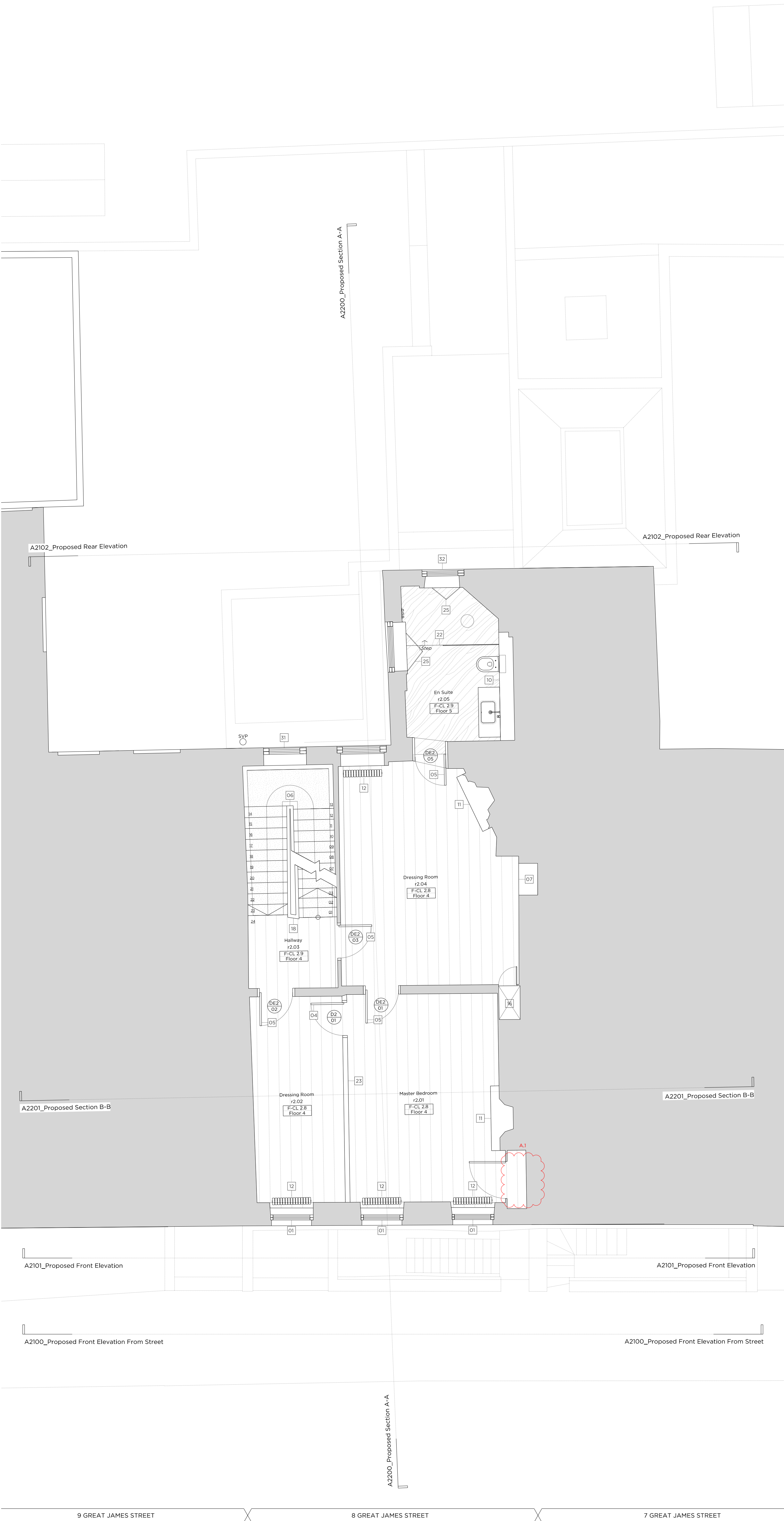
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N

0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m





Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile
Grille	

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
  - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
  - All existing walls and ceilings to be locally re-skimmed and painted where required.
  - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing structural slab.
- FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- |    |   |
|----|---|
| 01 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.     |
| 02 | Proposed metal handrail   |
| 03 | Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.                              |
| 04 | Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.                                 |
| 05 | Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.  |
| 06 | Existing timber staircase and balustrade to be refurbished and redecorated.   |
| 07 | Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.                               |
| 08 | Proposed minimal frame fixed aluminium window   |
| 09 | Proposed minimal frame aluminium casement window (operable)   |
| 10 | Proposed built in joinery   |
| 11 | Existing chimney piece and hearth to be refurbished and redecorated where necessary.  |
| 12 | Proposed column radiator  |
| 13 | Replace existing mosaic floor finish  |
| 14 | Existing metal railings to be refurbished and redecorated   |
| 15 | Proposed metal balustrade   |
| 16 | Proposed service riser  |
| 17 | Proposed glass link with slim profile zinc roof   |
| 18 | Contemporary timber staircase   |
| 19 | 1918 partition. Wall build up to match adjacent wall  |
| 20 | Glazed volume providing access to roof terrace, with black zinc roof  |
| 21 | Proposed chimney piece and hearth   |
| 22 | Proposed shower tray over existing floor boards   |
| 23 | Replacement partition wall  |
| 24 | New partition wall  |
| 25 | Proposed bi-folding frosted glass screen to window  |
| 26 | Proposed dormer windows to match no. 7  |
| 27 | Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.  |
| 28 | All roof flashings to be replaced   |
| 29 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.   |
| 30 | Rainwater pipes and gutters to be replaced with heritage cast iron fittings   |
| 31 | Reinstatement of sash window in original opening, six over six configuration  |
| 32 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration. |
| 33 | New conservation rooflight  |
| 34 | Acoustic plant enclosure for condenser units  |
| 35 | PCU concealed within existing joinery   |
| 36 | PCU concealed within new proposed joinery unit  |
| 37 | New (Newton 500) landing system to pavement vault.  |
| 38 | New timber framed dormer sash windows with 3 over 3 configuration   |

Rev. A	24.08.2021	Issued for Planning
Rev. -	04.10.2020	Issued for Planning

# PLANNING

Project No. 20042

Client: GFZ Investments LTD.

Date: October 2020

Scale: 1:50 @ A1 / 1:100 @ A3

Project: 8 Great James Street

Drawing Title: Proposed Second Floor Plan

Drawing No. A2000

Drawn	Approved	Signed
CT	PB	AA

Marek Wojciechowski Architects Ltd.

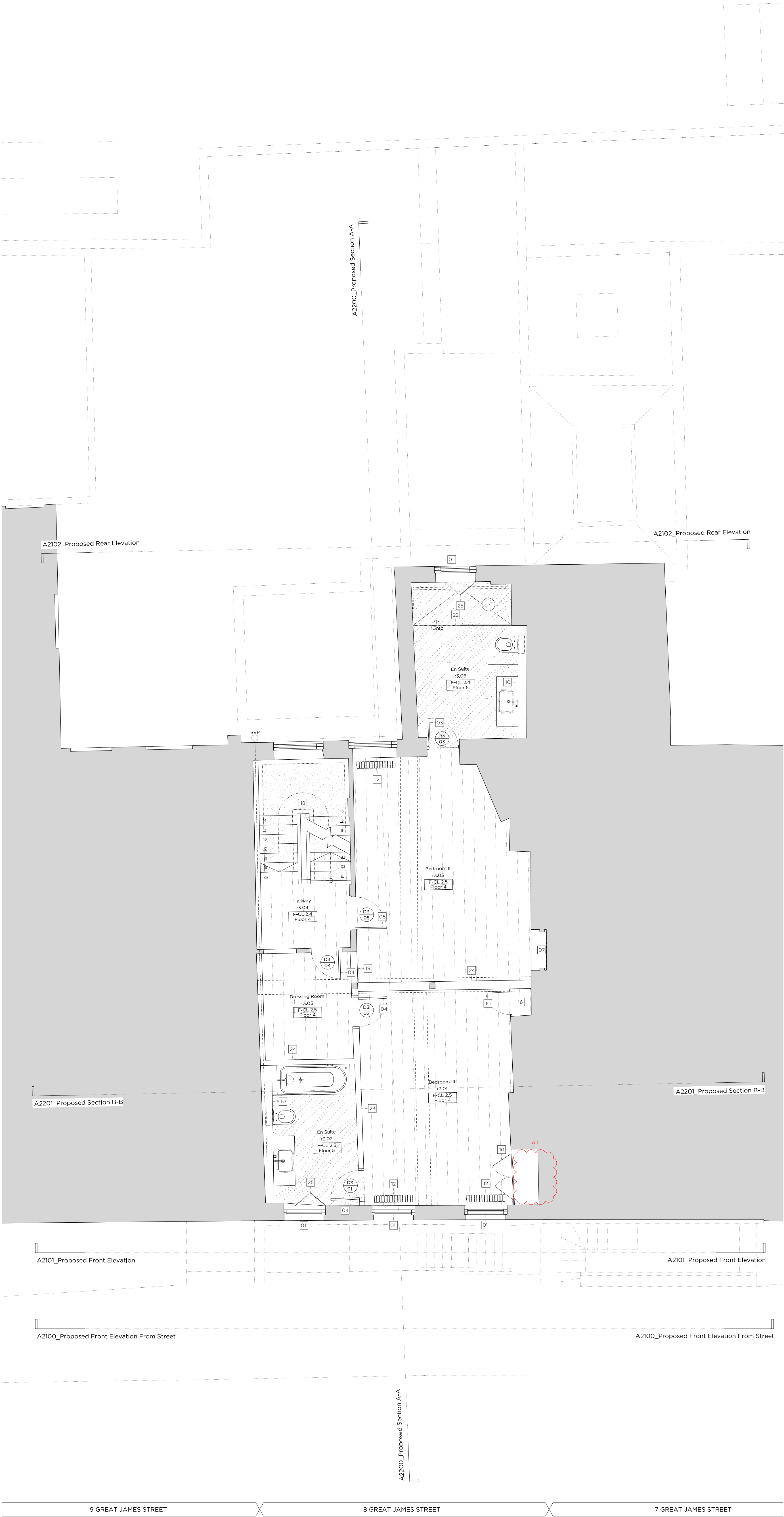
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N

0 10m 20m 30m 40m 50m 60m 70m 80m 90m 100m





Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile
Grille	

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
  - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
  - All existing walls and ceilings to be locally re-skimmed and painted where required.
  - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing structural slab.
- FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- |    |   |
|----|---|
| 01 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.     |
| 02 | Proposed metal handrail   |
| 03 | Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.                              |
| 04 | Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.                                 |
| 05 | Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.  |
| 06 | Existing timber staircase and balustrade to be refurbished and redecorated.   |
| 07 | Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.                               |
| 08 | Proposed minimal frame fixed aluminium window   |
| 09 | Proposed minimal frame aluminium casement window (operable)   |
| 10 | Proposed built in joinery   |
| 11 | Existing chimney piece and hearth to be refurbished and redecorated where necessary.  |
| 12 | Proposed column radiator  |
| 13 | Replace existing mosaic floor finish  |
| 14 | Existing metal railings to be refurbished and redecorated   |
| 15 | Proposed metal balustrade   |
| 16 | Proposed service riser  |
| 17 | Proposed glass link with slim profile zinc roof   |
| 18 | New secondary timber stair with simple detailing  |
| 19 | WIRL partition. Wall build up to match adjacent wall  |
| 20 | Glazed volume providing access to roof terrace, with black zinc roof  |
| 21 | Proposed chimney piece and hearth   |
| 22 | Proposed shower tray over existing floor boards   |
| 23 | Replacement partition wall  |
| 24 | New partition wall  |
| 25 | Proposed bi-folding frosted glass screen to window  |
| 26 | Proposed dormer windows to match no. 7  |
| 27 | Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.  |
| 28 | All roof flashings to be replaced   |
| 29 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.   |
| 30 | Rainwater pipes and gutters to be replaced with heritage cast iron fittings   |
| 31 | Reinstatement of sash window in original opening, six over six configuration  |
| 32 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration. |
| 33 | New conservation rooflight  |
| 34 | Acoustic plant enclosure for condenser units  |
| 35 | PCU concealed within existing joinery   |
| 36 | PCU concealed within new proposed joinery unit  |
| 37 | New (Newton 500) landing system to pavement level.  |
| 38 | New timber framed dormer sash windows with 3 over 3 configuration   |

Rev. B	15.10.2021	Issued for Planning
	1. Additional notes provided	
Rev. A	24.08.2021	Issued for Planning
	1. Air conditioning and associated equipment removed from proposals	
Rev. -	04.10.2020	Issued for Planning

# PLANNING

Project No. 20042

Client: GFZ Investments LTD.

Date: October 2020

Scale: 1:50 @ A1 / 1:100 @ A3

Project: Great James Street

Drawing Title: Propose This Floor Plan

Drawing No. A2005 B

Drawn	Approved	Sign
CT	PB	A

Marek Wojciechowski Architects Ltd.

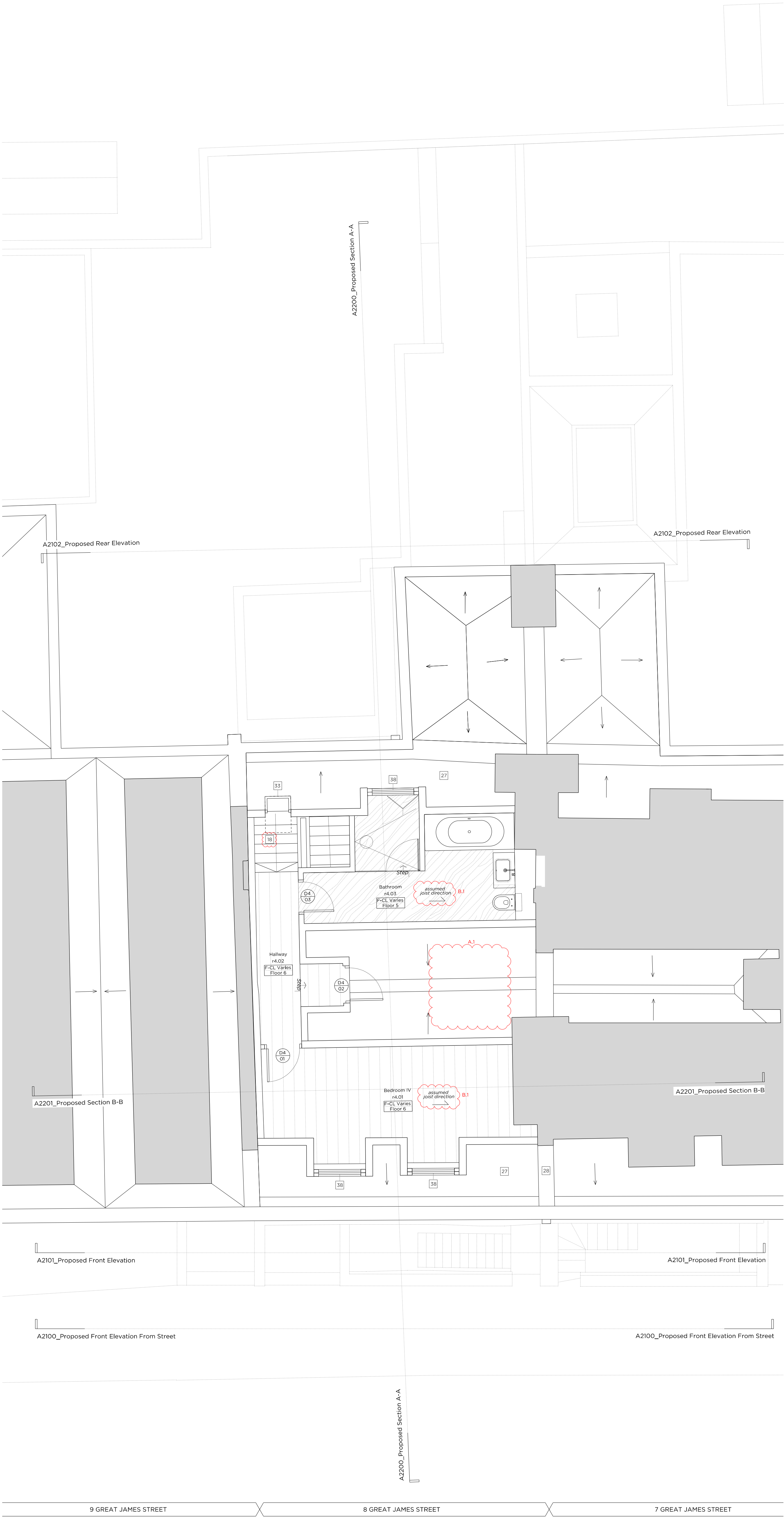
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N

0 1m 2m 3m 4m 5m 6m 7m 8m 9m 10m





Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile
Grille	

- General Notes:
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  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
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- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- |    |   |
|----|---|
| 01 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.     |
| 02 | Proposed metal handrail   |
| 03 | Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.                              |
| 04 | Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.                                 |
| 05 | Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.  |
| 06 | Existing timber staircase and balustrade to be refurbished and redecorated.   |
| 07 | Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.                               |
| 08 | Proposed minimal frame fixed aluminium window   |
| 09 | Proposed minimal frame aluminium casement window (operable)   |
| 10 | Proposed built in joinery   |
| 11 | Existing chimney piece and hearth to be refurbished and redecorated where necessary.  |
| 12 | Proposed column radiator  |
| 13 | Replace existing mosaic floor finish  |
| 14 | Existing metal railings to be refurbished and redecorated   |
| 15 | Proposed metal balustrade   |
| 16 | Proposed service riser  |
| 17 | Proposed glass link with slim profile zinc roof   |
| 18 | New secondary timber stair with simple detailing  |
| 19 | WIRL partition. Wall build up to match adjacent wall  |
| 20 | Glazed volume providing access to roof terrace, with black zinc roof  |
| 21 | Proposed chimney piece and hearth   |
| 22 | Proposed shower tray over existing floor boards   |
| 23 | Replacement partition wall  |
| 24 | New partition wall  |
| 25 | Proposed bi-folding frosted glass screen to window  |
| 26 | Proposed dormer windows to match no. 7  |
| 27 | Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.  |
| 28 | All roof flashings to be replaced   |
| 29 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.   |
| 30 | Rainwater pipes and gutters to be replaced with heritage cast iron fittings   |
| 31 | Reinstatement of sash window in original opening, six over six configuration  |
| 32 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration. |
| 33 | New conservation rooflight  |
| 34 | Acoustic plant enclosure for condenser units  |
| 35 | PCU-concealed within existing joinery   |
| 36 | PCU-concealed within new proposed joinery unit  |
| 37 | New (Newton 500) landing system to pavement vault.  |
| 38 | New timber framed dormer sash windows with 3 over 3 configuration   |

Rev. B	15.10.2021	Issued for Planning
	1. Additional notes provided	
Rev. A	24.08.2021	Issued for Planning
	1. Air conditioning and associated equipment removed from proposals	
Rev. -	04.10.2020	Issued for Planning

**PLANNING**

Project No. 20042

Client GFZ Investments LTD.

Date October 2020

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

Drawing Title: Proposed Fourth Floor Plan

Drawing No. 20042 Rev. B

Drawn CT Approved PB Signed AA

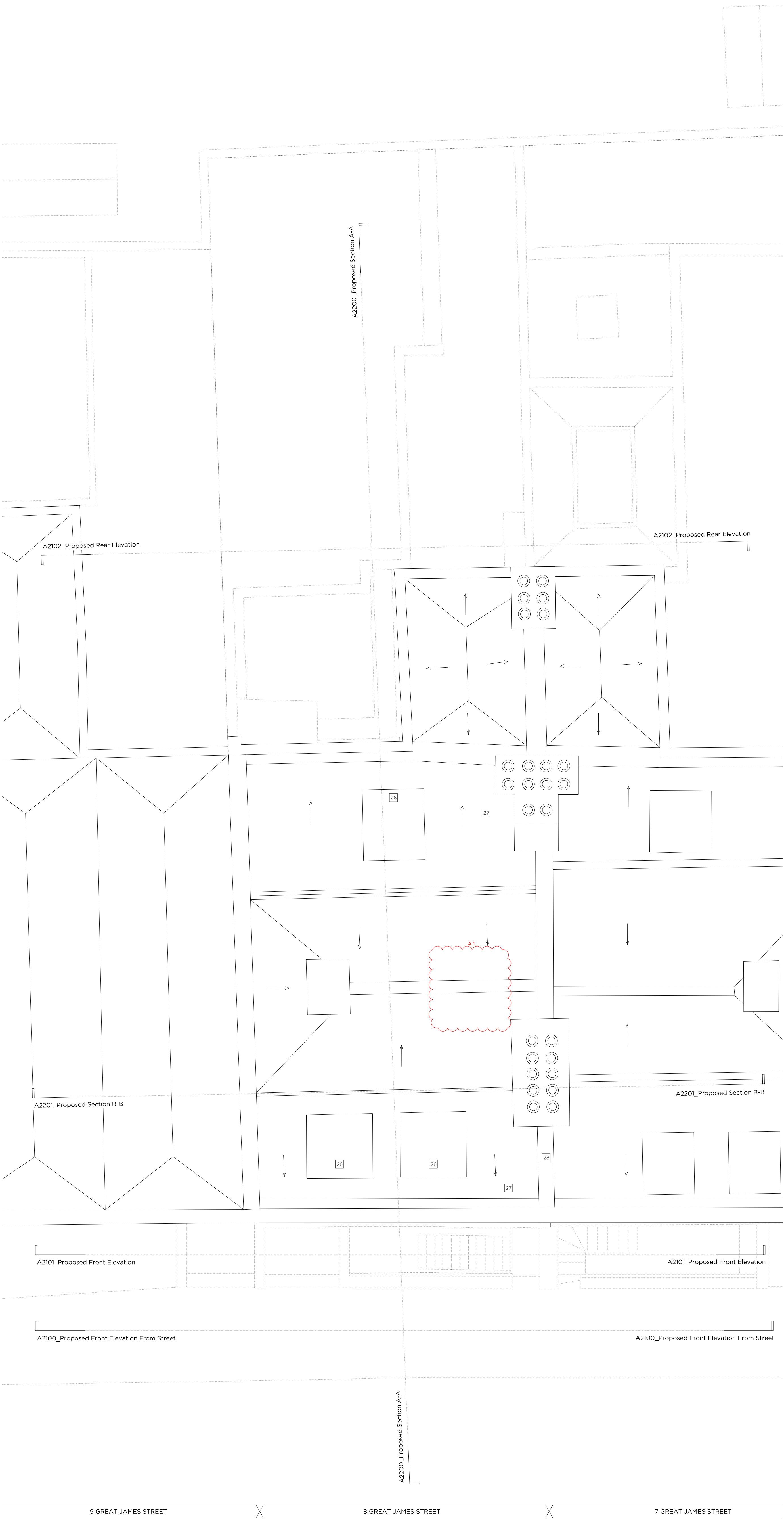
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N

0 10 20 30 40 50 60



Key:

Existing structure / earth	New Structure
----------------------------	---------------

Legend: Proposed Finishes

Existing floor boards	Carpet
Reclaimed floor boards	Natural stone
Engineered timber floor	Tile
External paving	Mosaic tile
Grille	

- General Notes:
- Existing brickwork to be re-pointed and repaired throughout.
  - Retain and refurbish all existing window boxes, architraves and shutters.
  - All original skirtings to be carefully removed, refurbished and reinstated. Where new skirtings are proposed refer to drawing A6900
  - All cornices to be refurbished and repaired where necessary. Where new cornices are proposed, refer to drawing A6900
  - All existing walls and ceilings to be locally re-skimmed and painted where required.
  - Where new partitions are shown, skirting/cornice will be to match the adjacent original profile, to be carefully placed in.

- Floor Build-ups
- FLOOR 1: Specified floor finish on water fed under floor heating, over existing structural slab.
- FLOOR 2: Specified floor finish on electric underfloor heating mat, over existing structural slab.
- FLOOR 3: Specified floor finish on existing structural slab.
- FLOOR 4: Specified floor finish on existing levelled floor joists. Insulation fitted between.
- FLOOR 5: Specified floor finish on electric underfloor heating mat and ply, over existing floorboards, and levelled joists. Insulation fitted between.
- FLOOR 6: Specified floor finish on existing levelled floor joist with wet underfloor heating trays and insulation between.

- Proposed Notes:
- |    |   |
|----|---|
| 01 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.     |
| 02 | Proposed metal handrail   |
| 03 | Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.                              |
| 04 | Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.                                 |
| 05 | Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.  |
| 06 | Existing timber staircase and balustrade to be refurbished and redecorated.   |
| 07 | Existing link to the neighbouring property to be blocked up and made good. Wall finish to match adjacent.                               |
| 08 | Proposed minimal frame fixed aluminium window   |
| 09 | Proposed minimal frame aluminium casement window (operable)   |
| 10 | Proposed built in joinery   |
| 11 | Existing chimney piece and hearth to be refurbished and redecorated where necessary.  |
| 12 | Proposed column radiator  |
| 13 | Replace existing mosaic floor finish  |
| 14 | Existing metal railings to be refurbished and redecorated   |
| 15 | Proposed metal balustrade   |
| 16 | Proposed service riser  |
| 17 | Proposed glass link with slim profile zinc roof   |
| 18 | Contemporary timber staircase   |
| 19 | HRM partition. Wall build up to match adjacent wall   |
| 20 | Glazed volume providing access to roof terrace, with black zinc roof  |
| 21 | Proposed chimney piece and hearth   |
| 22 | Proposed shower tray over existing floor boards   |
| 23 | Replacement partition wall  |
| 24 | New partition wall  |
| 25 | Proposed bi-folding frosted glass screen to window  |
| 26 | Proposed dormer windows to match no. 7  |
| 27 | Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.  |
| 28 | All roof flashings to be replaced   |
| 29 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.   |
| 30 | Rainwater pipes and gutters to be replaced with heritage cast iron fittings   |
| 31 | Reinstatement of sash window in original opening, six over six configuration  |
| 32 | Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration. |
| 33 | New conservation rooflight  |
| 34 | Acoustic plant enclosure for condenser units  |
| 35 | FCU concealed within existing joinery   |
| 36 | FCU concealed within new proposed joinery unit  |
| 37 | New (Newton 500) landing system to pavement vault.  |
| 38 | New timber framed dormer sash windows with 3 over 3 configuration   |

Rev. A	24.08.2021	Issued for Planning
Rev. -	04.10.2020	Issued for Planning

**PLANNING**

Project No. 20042

Client GFZ Investments LTD.

Date October 2020

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

Drawing Title: Proposed Roof Plan

Drawing No. A20042 Rev. A

Drawn CT Approved PB Signed AA

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N

0 10m 20m 30m 40m 50m 60m 70m 80m 90m 100m



Existing Ridge Level

Existing Loft Level

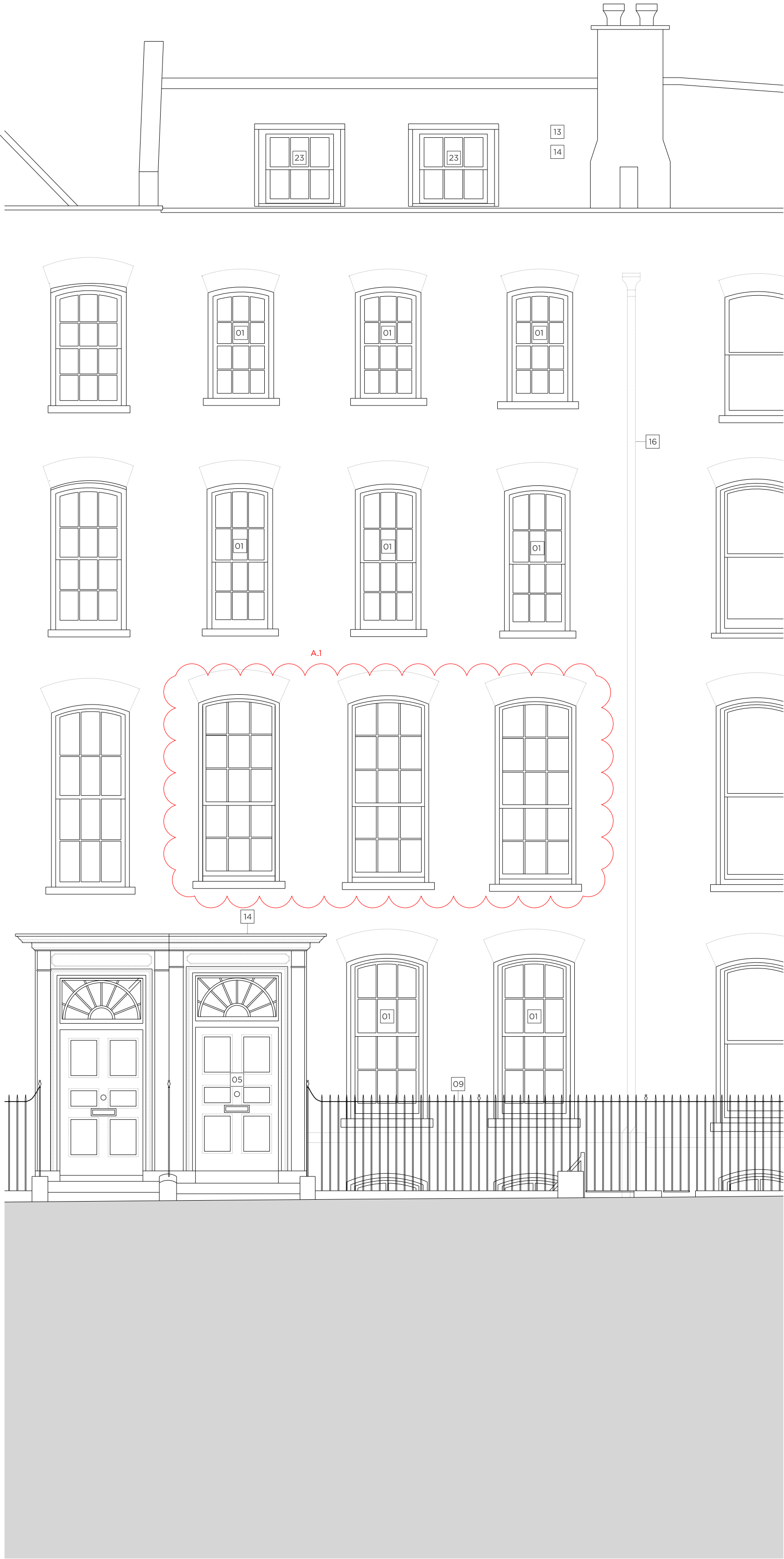
Existing Third Floor Level

Existing Second Floor Level

Existing First Floor Level

Existing Ground Floor Level

Existing Lower Ground Floor Level



No. 9 No. 8 GREAT JAMES STREET No. 7

Key Site Plan 1:1000



Key:

Existing structure / earth New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Proposed minimal frame fixed aluminium window
- 07 Proposed minimal frame aluminium casement window (operable)
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Existing metal railings to be refurbished and redecorated
- 10 Proposed metal balustrade
- 11 Proposed glass link with slim profile zinc roof
- 12 Existing dormer windows to be refurbished.
- 13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- 14 All roof flashings to be replaced - where necessary
- 15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- 16 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 17 Re-statement of sash window in original opening, six over six configuration
- 18 All elevations to be repointed
- 19 Proposed traditionally detailed timber french door with nine over nine configuration
- 20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 21 New conservation rooflight
- 22 New cast iron SVP/RWP, to connect to existing stack
- 23 New timber sash window with 3 over 3 configuration to match no. 7
- 24 Proposed built-in joinery
- 25 Proposed chimney piece and hearth
- 26 Acoustic plant enclosure for condenser unit

Rev. B	24.08.2021	Issued for Planning
Rev. A	29.03.2021	Issued for Planning
Rev. -	04.12.2020	Issued for Planning

# PLANNING

Project No. 20042

GFZ Investments LTD.

Date March 2021

Scale 1:50 @ A1 / 1:100 @ A3

Project 8 Great James Street

Drawing Title: Proposed Front Elevation from Street

Drawing No. Rev.

Drawn CT Approved PB

AA

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0 1m 2m 4m 6m 8m 10m



Existing Ridge Level

Existing Loft Level

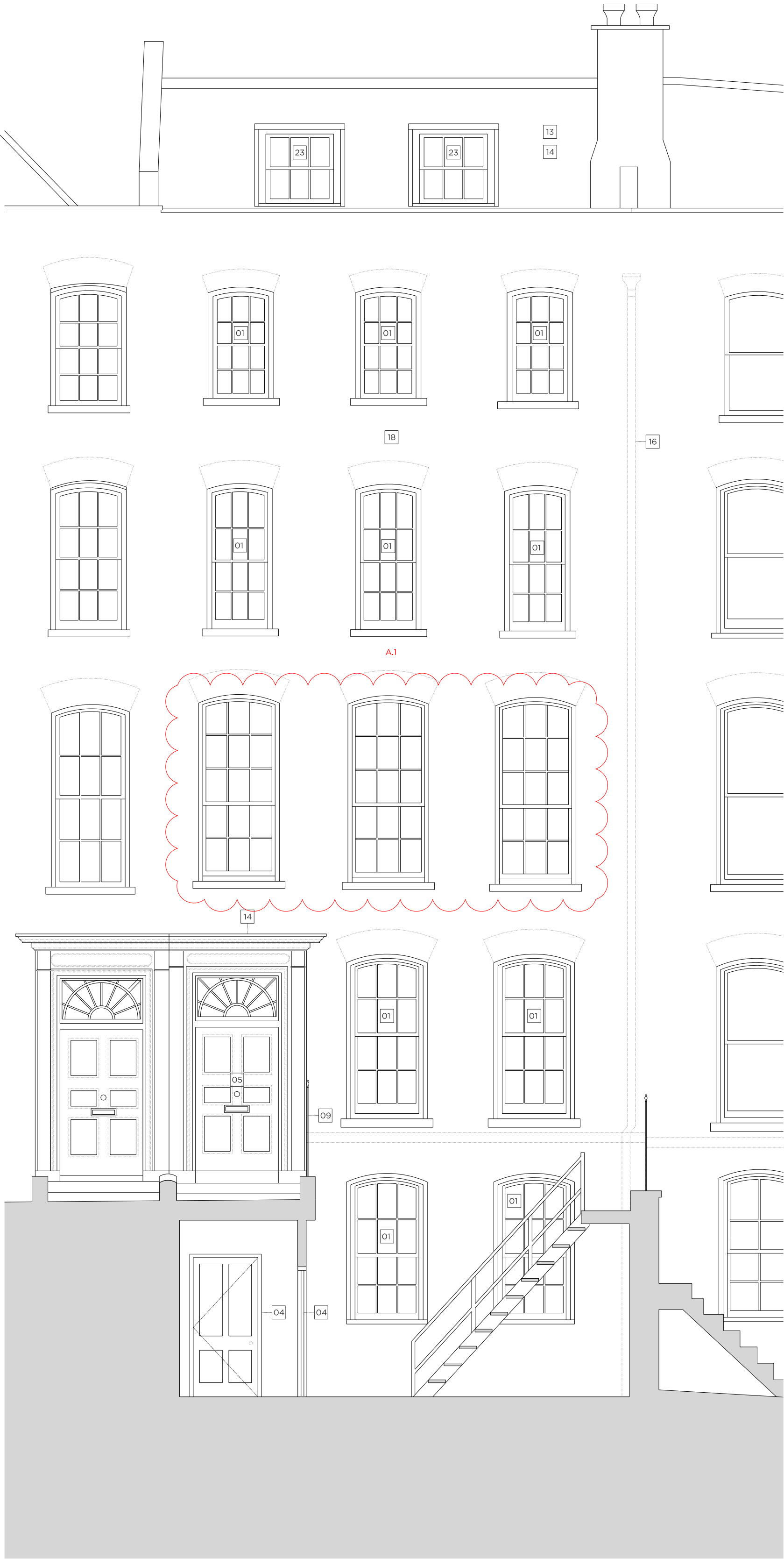
Existing Third Floor Level

Existing Second Floor Level

Existing First Floor Level

Existing Ground Floor Level

Existing Lower Ground Floor Level



No. 9 No. 8 GREAT JAMES STREET No. 7

Key Site Plan 1:1000



Key:

Existing structure / earth New Structure

Proposed Notes:

- 01 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a six over six configuration.
- 02 Proposed metal handrail
- 03 Replacement door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 04 Proposed door. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 05 Existing door to be retained and refurbished. For further details, refer to the 'Door Schedule' submitted as part of this application.
- 06 Proposed minimal frame fixed aluminium window
- 07 Proposed minimal frame aluminium casement window (operable)
- 08 Existing chimney piece and hearth to be refurbished and redecorated where necessary.
- 09 Existing metal railings to be refurbished and redecorated
- 10 Proposed metal balustrade
- 11 Proposed glass link with slim profile zinc roof
- 12 Existing dormer windows to be refurbished.
- 13 Existing roof tiles to be removed and re-laid and any broken tiles replaced to match existing.
- 14 All roof flashings to be replaced - where necessary
- 15 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over nine configuration.
- 16 Rainwater pipes and gutters to be replaced with heritage cast iron fittings
- 17 Re-statement of sash window in original opening, six over six configuration
- 18 All elevations to be repointed
- 19 Proposed traditionally detailed timber french door with nine over nine configuration
- 20 Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a three over three configuration.
- 21 New conservation rooflight
- 22 New cast iron SVP/RWP, to connect to existing stack
- 23 New timber sash window with 3 over 3 configuration to match no. 7
- 24 Proposed built-in joinery
- 25 Proposed chimney piece and hearth
- 26 Acoustic plant enclosure for condenser unit

Rev. B 24.08.2021 Issued for Planning

1. Air conditioning and associated equipment removed from proposals

Rev. A 29.03.2021 Issued for Planning

1. Existing sash window to be removed and replaced with a traditionally detailed timber sash window with a nine over six configuration.

Rev. - 04.12.2020 Issued for Planning

# PLANNING

Project No. 20042

Client GFZ Investments LTD.

Date March 2021

Scale 1:50 @ A1 / 1:100 @ A3

Address 8 Great James Street

Drawing Title Proposed Front Elevation

Drawing No. A2101 Rev. B

Drawn CT Approved FJ

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0 1m 2m 4m 6m 8m 10m