

Notes

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Neighbouring properties have not been surveyed.

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Revision	Date	Comment	Published by
PP5	05.05.23	PRE-PLANNING REV 5	HAB
PP6	10.05.23	PRE-PLANNING REV 6	HAB



SIMON MERRONY ARCHITECTS
34 Thames Street
Sunbury-on-Thames
TW16 6AF

Job Title
5 Prince Albert Road London NW1 7SN

Drawing Name
Location Plan

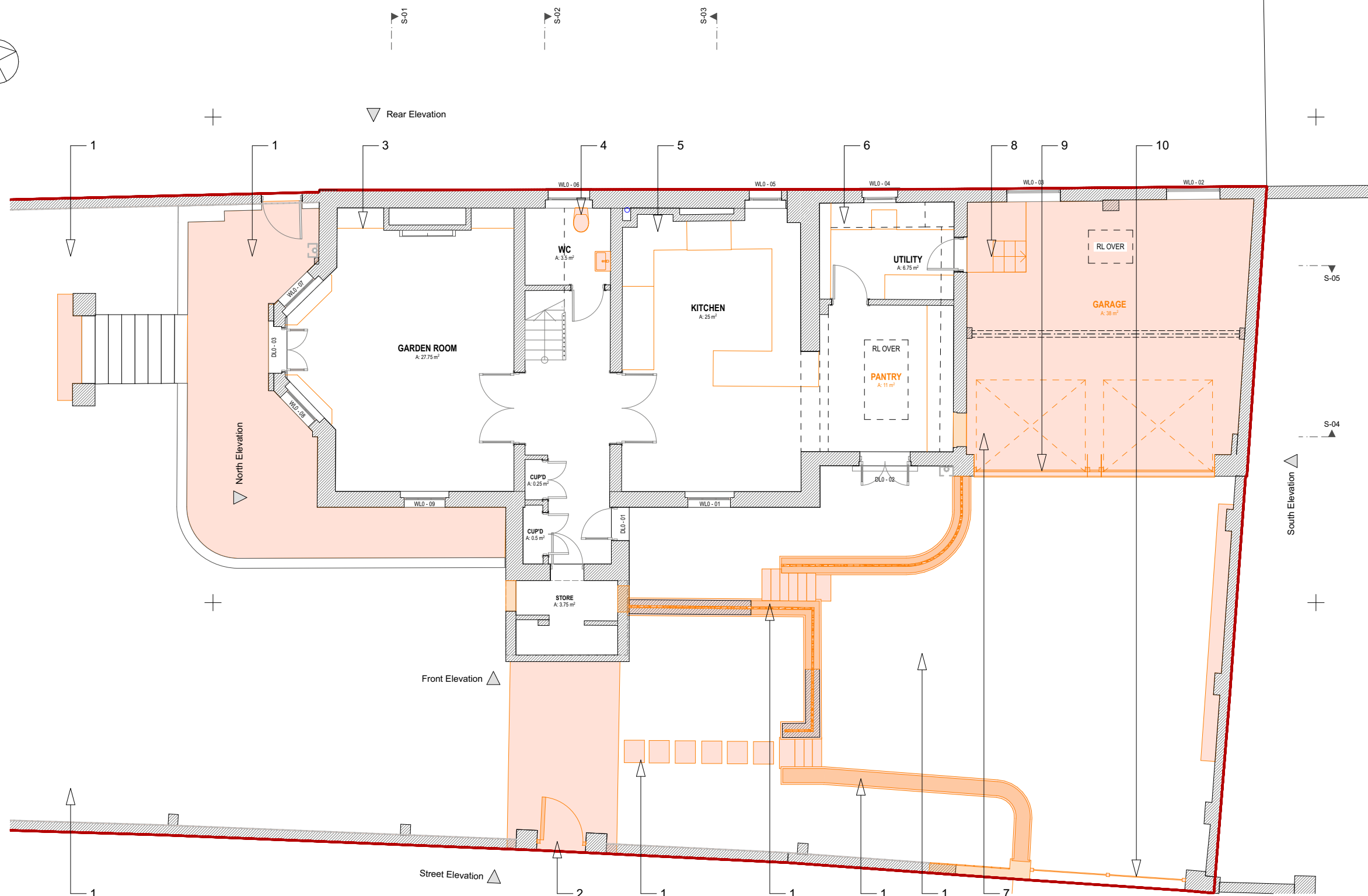
Drawing Status
PLANNING

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Drawing Scale
As Shown @ A3

Drawing no.	Revision
2023/07/L01	PP6



-1. Lower Ground Floor 1:100

DEMOLITION PLAN KEY

AFFECTED ITEMS IN **ORANGE**
REDECORATION INCLUDING REPLACEMENT OF ALL FINISHES THROUGHOUT

- 1. Alterations to / removal of landscaping- refer to proposed Site Plan
- 2. Gate - to be removed
- 3. Fitted furniture to be removed
- 4. WC - sanitaryware to be removed
- 5. Fitted kitchen to be removed
- 6. Utility and Pantry - cupboards/ fitted furniture to be removed
- 7. Slab to be adapted to create change in level and opening created
- 8. Existing slab cut-out to be adapted
- 9. Garage - doors to be removed
- 10. Gates - to be removed and existing pier adjacent to be removed

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34 Thames Street
Sunbury-on-Thames
TW16 6AF

Job Title

**5 Prince Albert Road
London
NW1 7SN**

Drawing Name

**Demolition Lower Ground
Floor Plan**

Drawing Status

PLANNING

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Drawing Scale

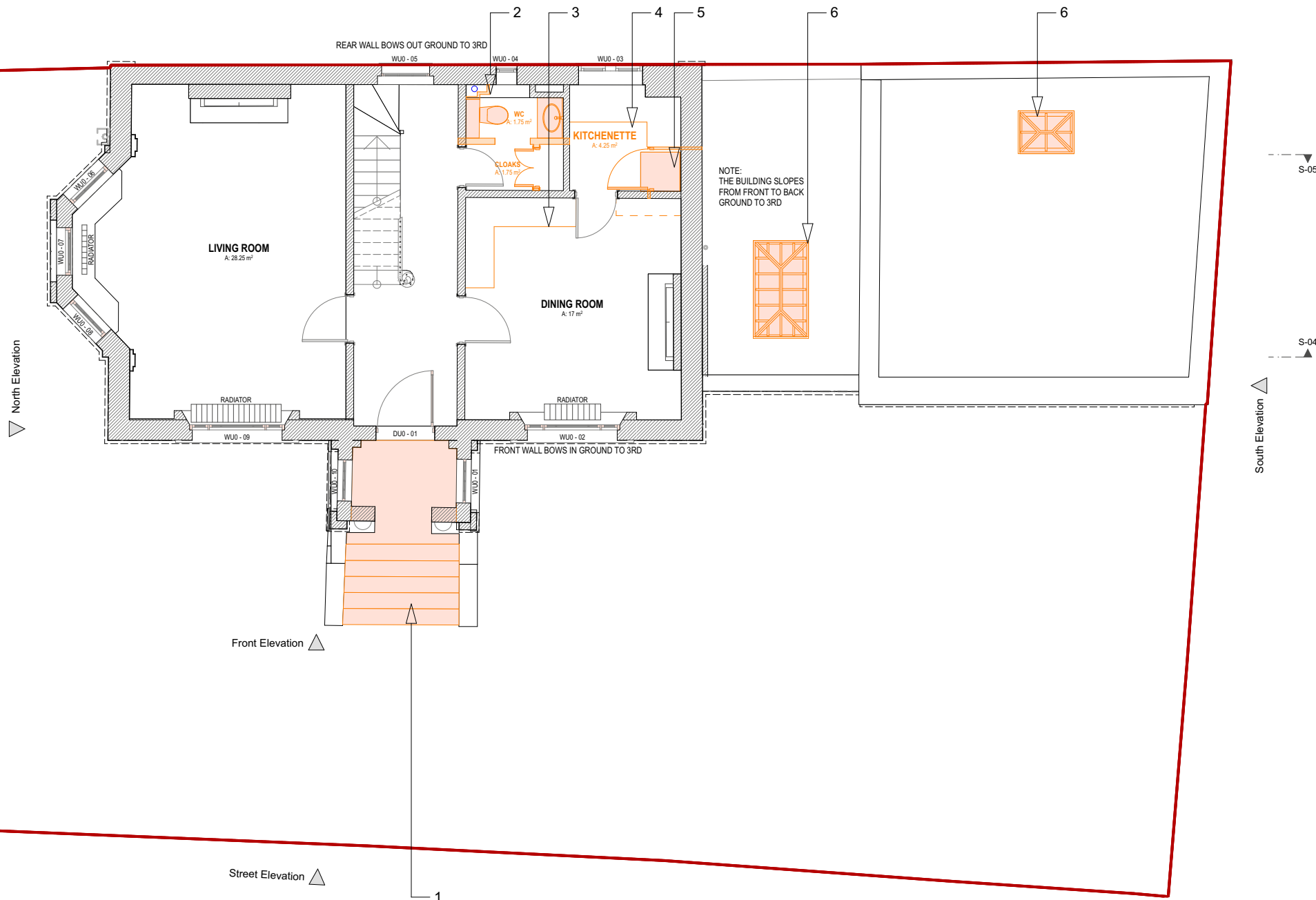
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Drawing no. 2023/07/PD01	Revision PP6
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S-01 S-02 S-03

Rear Elevation



Front Elevation

Street Elevation

Upper Ground Floor

1:100

DEMOLITION PLAN KEY

AFFECTED ITEMS IN **ORANGE**
REDECORATION INCLUDING REPLACEMENT OF ALL FINISHES THROUGHOUT

1. Finish to existing steps to be replaced
2. WC/ Coats - all partitions / fitted furniture and sanitaryware to be removed
3. Fitted shelving to be removed
4. Fitted kitchenette to be removed
5. Void through floor created for installation of dumbwaiter
6. Roof lanterns to be replaced

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SIMON MERRONY ARCHITECTS
34 Thames Street
Sunbury-on-Thames
TW16 6AF

Job Title

**5 Prince Albert Road
London
NW1 7SN**

Drawing Name

**Demolition Upper Ground
Floor Plan**

Drawing Status

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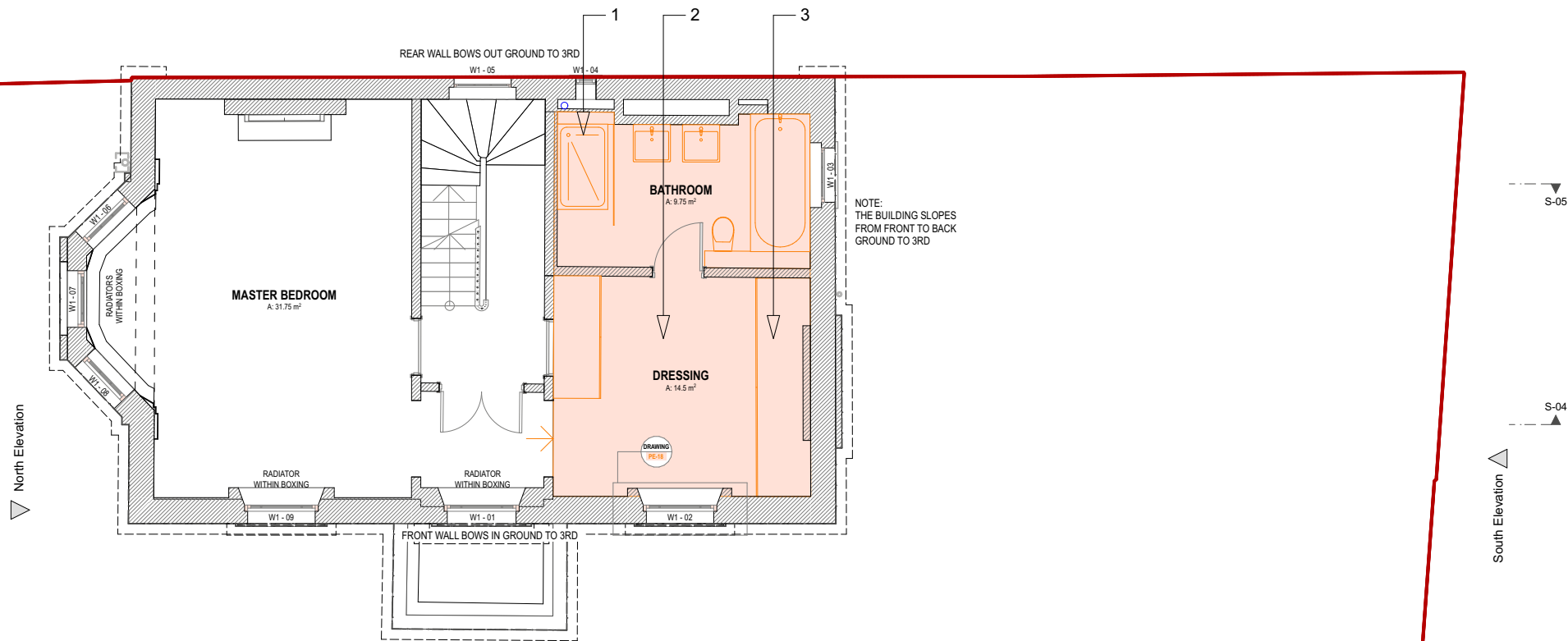
Revision

PP6



S-01 S-02 S-03

Rear Elevation



S-05

S-04

South Elevation

Front Elevation

Street Elevation

1. First Floor 1:100

DEMOLITION PLAN KEY

AFFECTED ITEMS IN **ORANGE**
REDECORATION INCLUDING REPLACEMENT OF ALL FINISHES THROUGHOUT

1. Bathroom - all sanitaryware and fitted furniture to be removed
2. Raised floor to be removed
3. Fitted wardrobes to be removed

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SIMON MERRONY ARCHITECTS
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TW16 6AF

Job Title

**5 Prince Albert Road
London
NW1 7SN**

Drawing Name

Demolition First Floor Plan

Drawing Status

PLANNING

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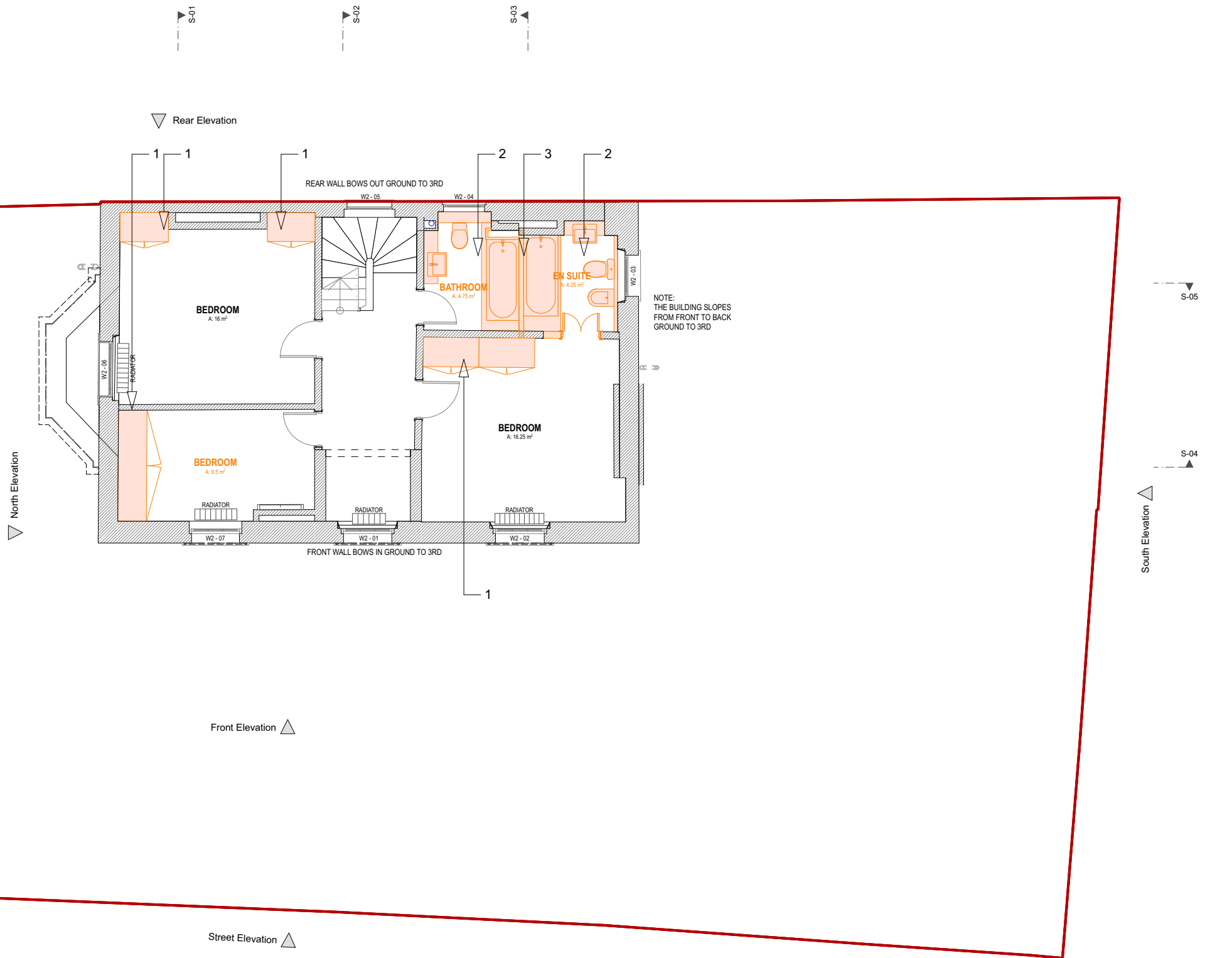
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Drawing no.

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Revision

PP6



2. Second Floor 1:100

DEMOLITION PLAN KEY

AFFECTED ITEMS IN **ORANGE**
REDECORATION INCLUDING REPLACEMENT OF ALL FINISHES THROUGHOUT

1. Fitted wardrobes to be removed
2. Bathroom - all sanitaryware and fitted furniture to be removed
3. Wall to be removed

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Job Title

**5 Prince Albert Road
London
NW1 7SN**

Drawing Name

**Demolition Second Floor
Plan**

Drawing Status

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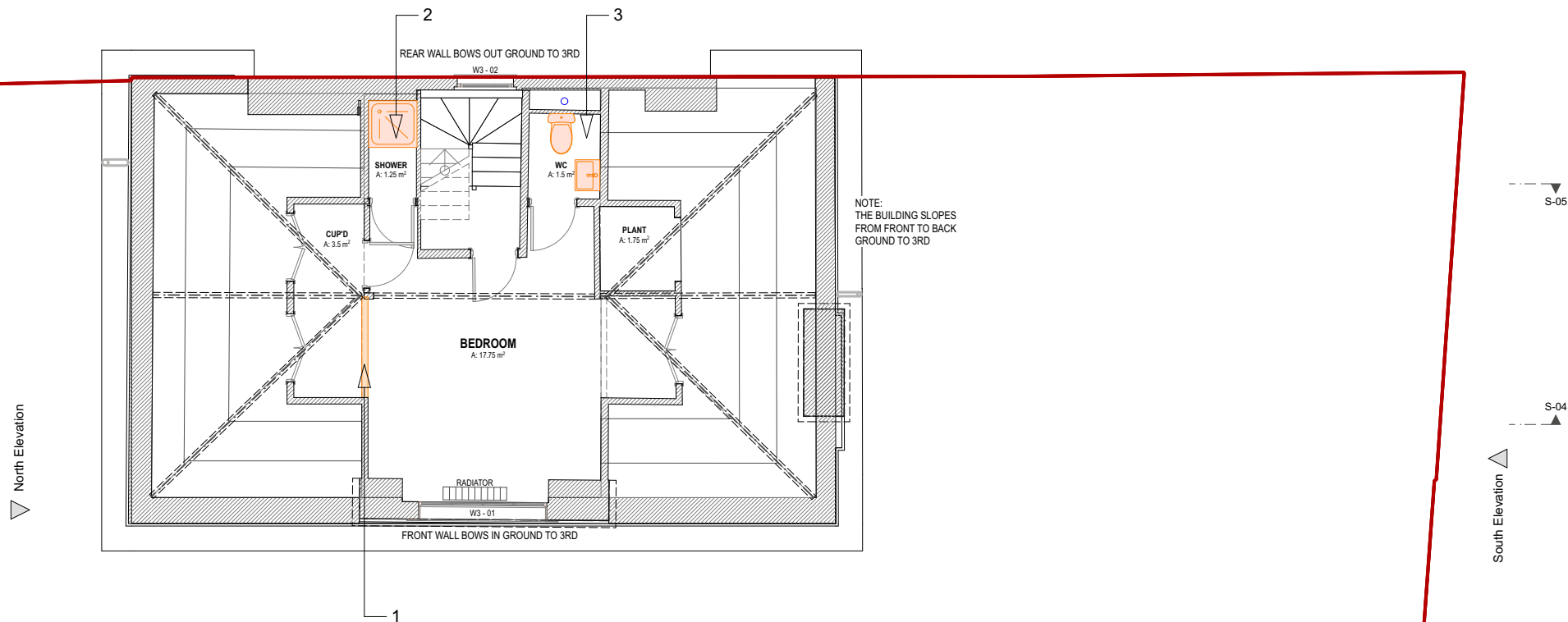
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Revision
PP6



S-01 S-02 S-03

Rear Elevation



North Elevation

Front Elevation

Street Elevation

S-05

S-04

South Elevation

NOTE:
THE BUILDING SLOPES
FROM FRONT TO BACK
GROUND TO 3RD

3. Third Floor 1:100

DEMOLITION PLAN KEY

AFFECTED ITEMS IN **ORANGE**
REDECORATION INCLUDING REPLACEMENT OF ALL FINISHES THROUGHOUT

1. Partition wall to be removed
2. Shower - all sanitaryware to be removed
3. WC - all sanitaryware to be removed

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Job Title

**5 Prince Albert Road
London
NW1 7SN**

Drawing Name

**Demolition Third Floor
Plan**

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