

18/05/2023

Planning and Listed Building Consent

These additional photographs are submitted in support of the application **2023/0956/L** for the replacement of non-original glazed timber doors and windows to the rear second floor of 5 The Grove N6 6JU.

The existing glazed timber doors and windows are non-original and were replaced during a pre-2000's refurbishment of the house. They have been recently surveyed and their condition considered to be poor and in need of repair or replacement. The proposal seeks to replace the existing timber doors and windows on a like-for-like basis.

The new doors and windows will have the same detail and profile as the already consented replacement doors on the Upper Ground Floor and Lower Ground Floor rear elevations, please refer to the consented applications **2021/2717/L** & **2021/2311/P**. This will provide a consistency across the rear elevation. Further design details were submitted as part of a condition for the consented applications **2021/2717/L** & **2021/2311/P**.

The replacement of the doors and windows will also improve the security of the property along with reducing heat loss from the building.

Right above:

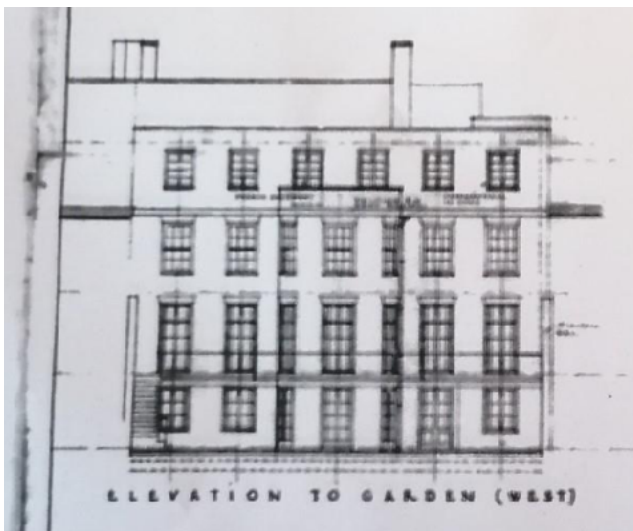
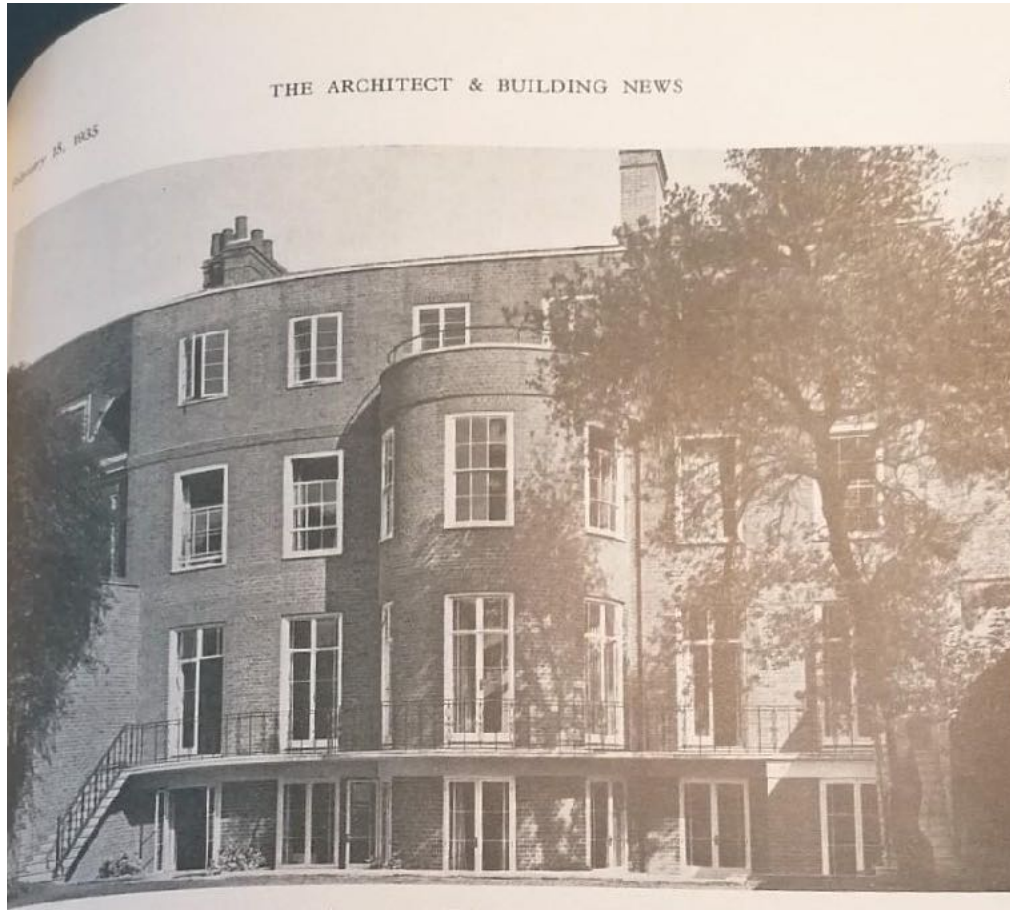
Photograph of the original rear elevation of no. 5 The Grove.

Right below:

Elevation drawing showing the original elevation of no.5 The Grove

These show the fenestration pattern at second floor level, which were original casements of 1930s character.

Source: Heritage statement by The Heritage Practice - May 2021, submitted as part of the granted Planning & Listed Building Consent 2021/2717/L & 2021/2311/P



Right above:

Photograph of the rear elevation of no. 5 The Grove circa. 1980

Right below:

Photograph of the rear elevation of no. 5 The Grove 2020.

These show that the second floor rear windows had been replaced at some point before the new chimney stack was constructed, which was undertaken during the early 2000s between 2002 and 2004 (LEX0201027).

“The description of development in the early 2000s included the ‘repair and renewal of internal and external fittings and finishes, including roof coverings (to match existing) and addition of new stack.’

The windows to the rear elevation are all modern, having been replaced either in the 1980s or the early 2000s. Given that several are not secure or in need of repair, the proposals seek to replace the relevant fenestration on a like for like basis. The proposals would not involve the removal of historic fabric and their replacement would preserve the existing aesthetic value of the house, the character of its rooms and the rear elevation.”

Source: Heritage statement by The Heritage Practice - May 2021, submitted as part of the granted Planning & Listed Building Consent 2021/2717/L & 2021/2311/P



Right:
Rear elevation with window numbers shown. Please refer to additional photographs on following page.



Above left: W32

Non-1930s original.

Required repair works:

Replace 1 cill; Resin repair to inner jamb at right frame jamb middle section; Replace exposed outer jamb at right frame jamb bottom section; Resin repair to outer jamb at left frame jamb middle section; Replace half pulley stile at left frame jamb bottom section; Splice repair at right sash stile bottom section of sash A2; Splice repair at left sash stile bottom section of sash A2



Above right: W33

Non-1930s original.

Required repair works:

Replace 1 cill; Resin repair to inner jamb at right frame jamb middle section; Replace exposed outer jamb at right frame jamb bottom section; Resin repair to outer jamb at left frame jamb middle section; Replace half pulley stile at left frame jamb bottom section; Splice repair at right sash stile bottom section of sash A2; Splice repair at left sash stile bottom section of sash A2



Below left: W34

Non-1930s original.

Required repair works:

Replace 1 cill; Splice repair to outer jamb at right frame jamb middle section; Replace half pulley stile at right frame jamb bottom section; Splice repair to outer jamb at left frame jamb middle section; Replace half pulley stile at left frame jamb bottom section; Splice repair at left of sash bottom rail of sash A2; Splice repair at right of sash bottom rail of sash A2



Below right: W35

Non-1930s original.

Required repair works:

Replace 1 cill; Splice repair to outer jamb at right frame jamb bottom section; Replace half pulley stile at left frame jamb bottom section.

