



MICA

Norfolk House Retail Unit

123-128 High Holborn

Design & Access Statement

741 - 70000

MICA Architects

123 Camden High St
London NW1 7JR
+44 (0)20 7284 1727
micaarchitects.com

Client
Client: Hogarth Properties S.A.R.L
1 Allée Scheffer
L-2520 Luxembourg
LUXEMBOURG

Design Team
Project Manager: Workman
Architect: MICA
M&E Engineer: Thornton Reynolds
Structural Engineer: Heyne Tillet Steel
Planning Consultant: HGH Consulting
Heritage Consultant : Icení Projects

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EXECUTIVE SUMMARY

This Design and Access Statement, alongside the associated drawings and reports, has been prepared for the internal and external alterations of the Ground and Basement Retail Unit of Grade II listed Norfolk House.

The proposed redevelopment looks to subdivide the existing Bank Unit into two smaller food and beverage units with kitchen extract provision and new shopfronts along High Holborn.

Initial proposals, which form the basis of this application, have undergone on-site discussions with the Conservation Officer from LB Camden.

The proposed included within this report, follow recently completed, internal refurbishment of the office floors of Norfolk House.

1.0 Introduction

1.1 Background

The proposed works included within this application follow the refurbishment of the office floors of Norfolk House. These works, which were granted planning and listed building consent in December 2021 (2021/5682/P & 2021/6111/L), completed in 2022.

This application, which forms the second phase of the refurbishment to Norfolk House, are limited to the Ground and Basement retail units.

The Ground and Basement Floor of Norfolk House have previously been let to the Royal Bank of Scotland who have since vacated. The unit currently extends the full footprint of the retail area within Norfolk House at Ground and Basement.

Historical photos and drawings suggest that the unit was originally subdivided into 4 units, with three shopfronts located along High Holborn, in addition to the corner entrance as is existing today.

1.2 Project Objectives

The objectives of the project are:

- To sub-divide the retail unit into one large and one smaller unit. This arrangement closely reflects a historic arrangement.
- To provide 3 no. new shopfronts within 3 of the 4 bays along High Holborn. Historic Evidence highlights that this was the original and intended arrangement.
- To create alternative retail uses for the units.
- Full removal of all non-original partitions, and fittings.
- Partial removal of masonry spine wall and replacement with steel goal post structure.
- To provide a basement to roof level duct at the rear of the building for kitchen extract.
- Scope of work is limited to shell and core units with capped services.



Existing Image of Norfolk House

1.3 Site Location

Norfolk House is located at a prominent central London location on the corner junction of High Holborn and Southampton Place. It is a short distance from Holborn Underground Station. The site also lies within the Bloomsbury Conservation area.

The Buildings on High Holborn display a variety of architectural styles and materials. Holder buildings are mixed with modern structures.

High Holborn is a busy main road which acts as a key East-West axis route across Central London. The majority of the buildings on this street include retail units at ground level with glazed frontages. The site has also been identified as primary central London frontage (*Camden Local Plan Policies Map Alterations Adoption Version, June 2017*).

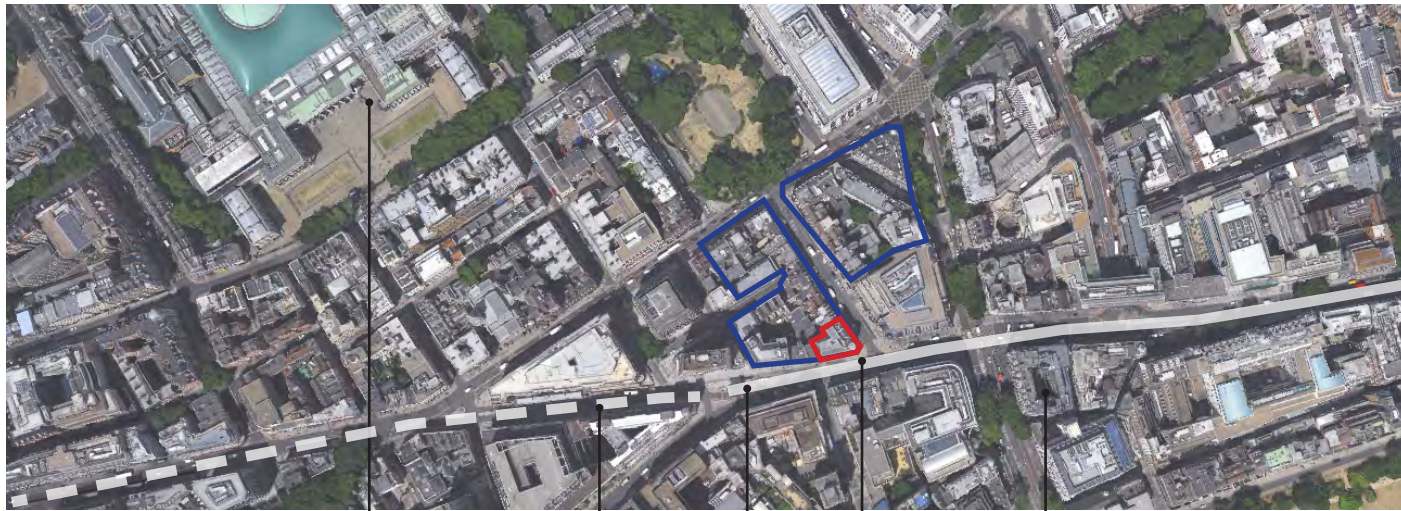
High Holborn has historically been home to many bank units, often with prominent corner locations. Whilst some still exist, many have since had a change over use. A notable example of this is 126 High Holborn, located on the opposite corner to Norfolk House, which is now a food and beverage unit.

1.4 Holborn Links Estate

The site sits within, and forms part of the wider regeneration of the Holborn Links Estate. The Estate is a 2.5 Acre area, bounded by High Holborn, Southampton Row and Bloomsbury Square. It comprises of 32 freehold controlled properties made up of office, retail and residential uses. The majority of the estate, 26 buildings in total, are listed and sit within the Bloomsbury Conservation Area and the Central Activities Zone (CAZ).

The vision is not to look at this project as a singular endeavour, but for it to contribute to a revitalised, modern estate that is fit and prepared to meet the needs of its occupiers and the wider community, whilst sharing mutual values in being connected and integrated sympathetically and intellectually with the complexities of the conservation area and its listed building.

- Norfolk House Boundary
- Holborn Links Estate Boundary



Aerial Image British Museum New Oxford Street High Holborn Norfolk House Holborn Station



Site location plan

2.0 Existing Building

2.1 Norfolk House

Norfolk House is a 5 storey, Grade II listed office Building, located in central London, on the junction of Southampton Place and High Holborn. The Ground and Basement floors, which form the basis of this application, is in retail use. This was previously occupied by the Royal Bank of Scotland (RBS), who have since vacated, and the unit currently remains unoccupied.

The upper floors (L01 - L04), are office use. These are entered via a external steps into a small entrance lobby at 13 Southampton Place. This demise also occupies a small area of the basement which houses showers and lockers. These areas were recently refurbished in 2022 and do not form part of this application.

Historic information suggests that the retail space at ground and basement were once split into 4 separate, smaller units, with primary access of High Holborn. Over time, the expansion of the bank has resulted in a larger, singular unit as is present today. These alterations are explained in greater detail in the following section.

The existing retail unit is accessed via a corner entrance on the junction of Southampton Place and High Holborn. Works have previously been carried out to

the external pavement around the building to provide a level access threshold to the Bank’s corner entrance.

To the rear of the building, at ground and basement, Norfolk House is ‘landlocked’ by 130 High Holborn and 14 Southampton Place meaning that all access into the retail space is limited to High Holborn and Southampton Place only.

The building has two primary facades which face onto Southampton Place and High Holborn. These are predominantly faced in Portland Stone, which runs down from the parapet to a granite base. Vertical piers along both primary facades define distinct bays at ground level which consist of a timber framed windows with mouldings, each with a granite fascia at the head which defines a signage zone.

The windows along High Holborn appear to match those along Southampton Place. However, three of the four windows along High Holborn share a wider bay width, and resultantly have wider, granite surrounds. Historic drawings and images informs us that these were originally intended as shop fronts, and therefore these three bays are later additions, albeit designed to match the original windows which sit adjacent and along Southampton Place.



Image of Existing Ground Floor High Holborn Elevation

The facade at the rear of the building is white painted brick. Historic works in 1983 saw the replacement of the windows along the facade. In addition, these works included the construction of a small extension to infill a small lightwell to form the WC block. These were refurbished in 2022, which saw the circular windows becoming infilled and blocked out internally.

Internally, there is little evidence of original historic features. At ground floor, the original spine wall remains along the historic party wall line between bays 01, 02 & 03 (127,128 & 129 High Holborn). Historic alterations has seen new openings made within these walls to provide connections throughout the floor plate. The original spine wall between Bay 03 & 04 has since been removed, almost in its entirety.

At basement level, the spine walls remain at large other than openings to provide connectivity. This space has been used predominantly for storage, and has resultantly been poorly maintained. An existing bank safe also remains at this level within the centre of the unit.



Image of Existing Ground Floor Southampton Place Elevation

2.2 Official Listing Entry

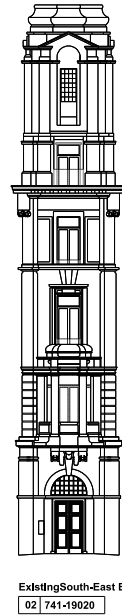
Norfolk House is a Grade II listed building. See below for the official listing entry.

127 and 129, High Holborn
Grade: II Listed Building
List Entry Number: 1378879
Date first listed: 14-May-1974

Office block, now a bank. c1904. By H Percy Adams and Charles Holden. Portland stone with granite ground floor. 4 storeys and attic. 4 bays to High Holborn, splayed corner, 4 bay return to Southampton Place. Free Classical manner with rusticated pilasters between bays carrying sill string at 3rd floor level. Round-arched entrance on corner with bracketed stone balcony above. Architraved windows, those on 1st floor with broken cornices alternating with Venetian style. Bracketed cornice, above which attic. Corner surmounted by a turret. INTERIOR: not inspected.



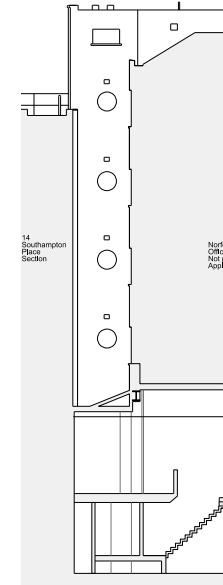
Existing South Elevation
along High Holborn



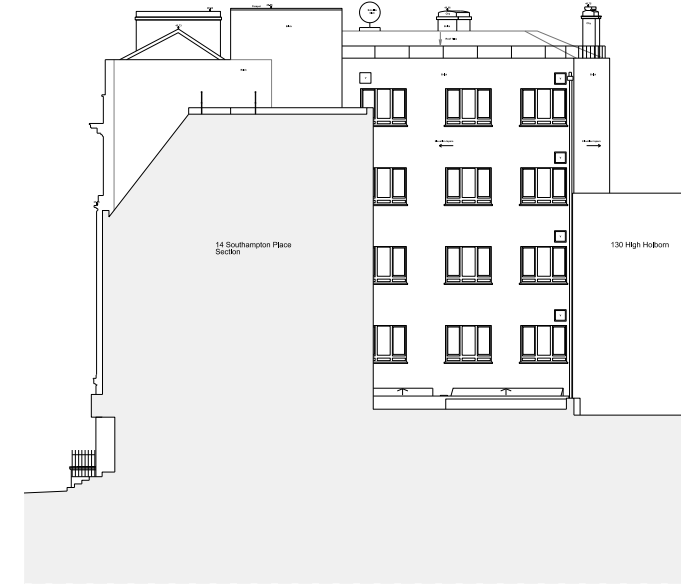
Existing corner
elevation



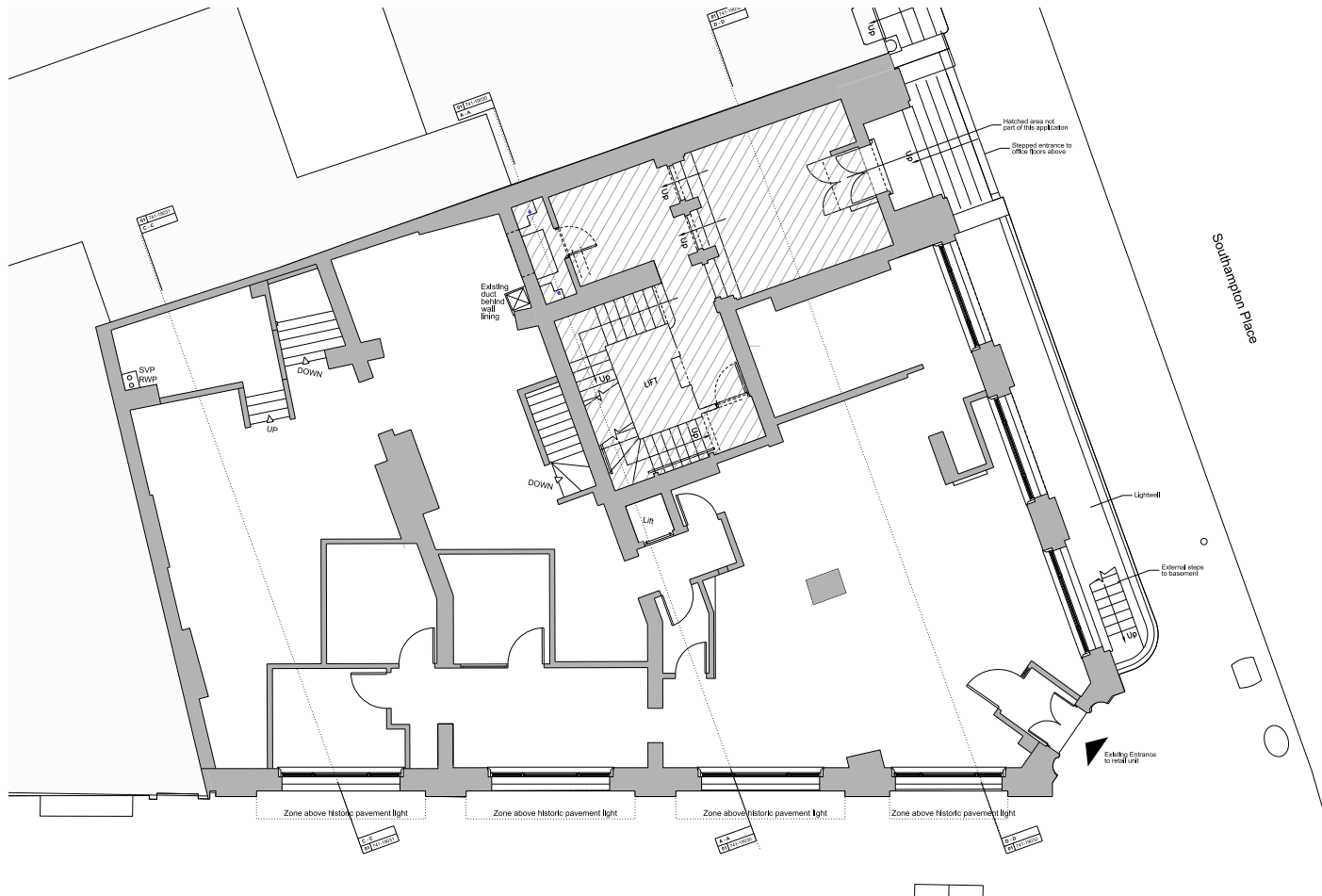
Existing East Elevation
along Southampton Place



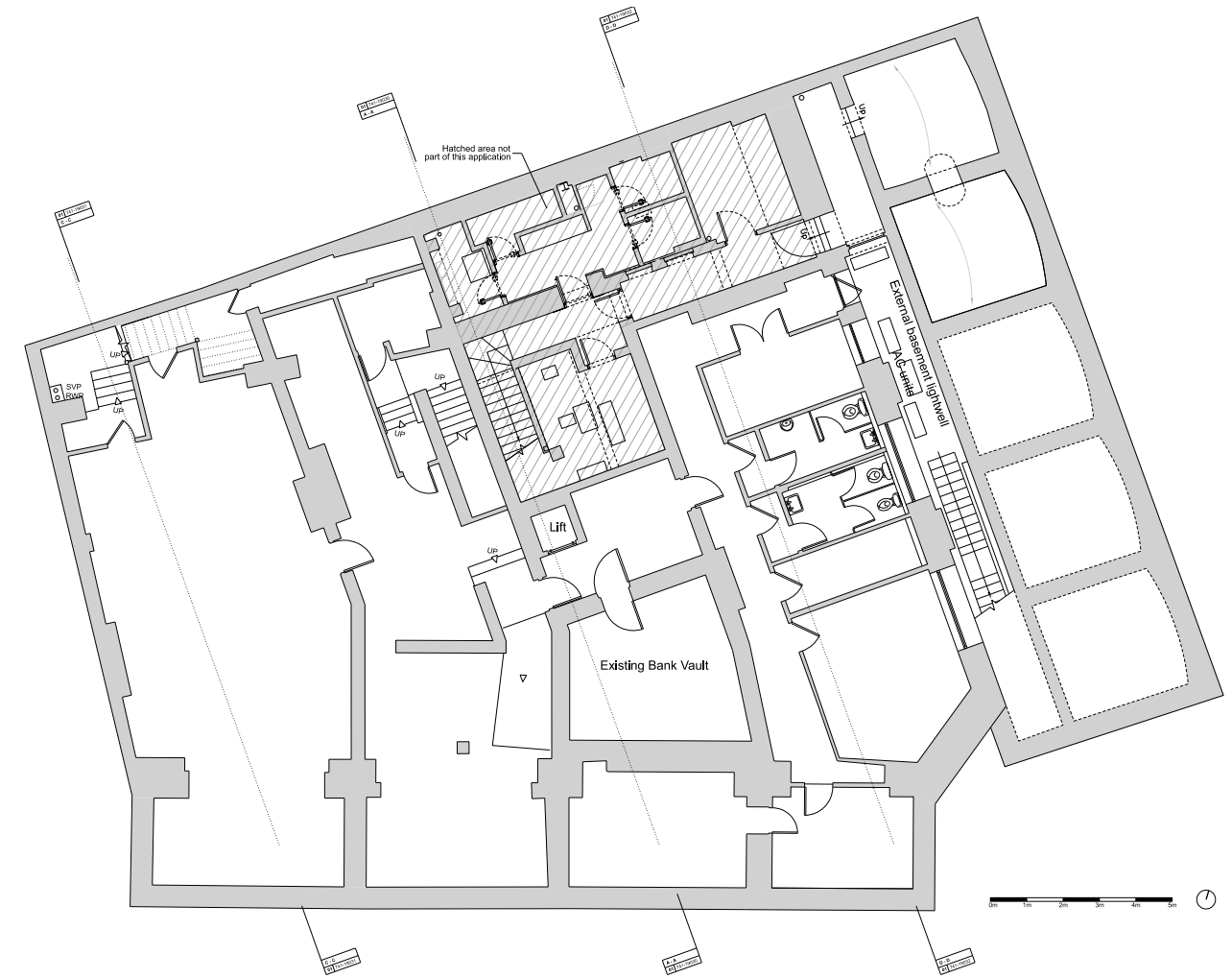
Existing West Elevation
to the rear



Existing North Elevation
to the rear



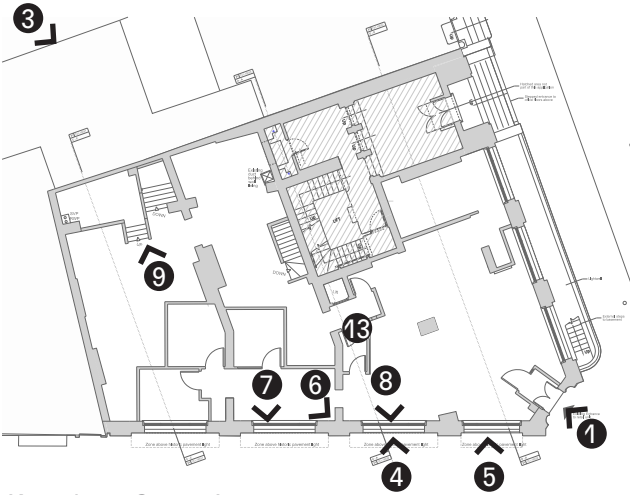
Existing Ground Floor Plan



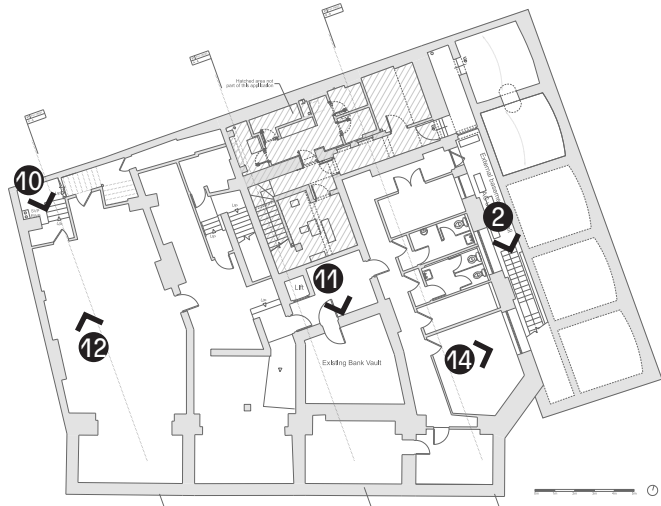
Existing Basement Floor Plan

2.0 Existing Building

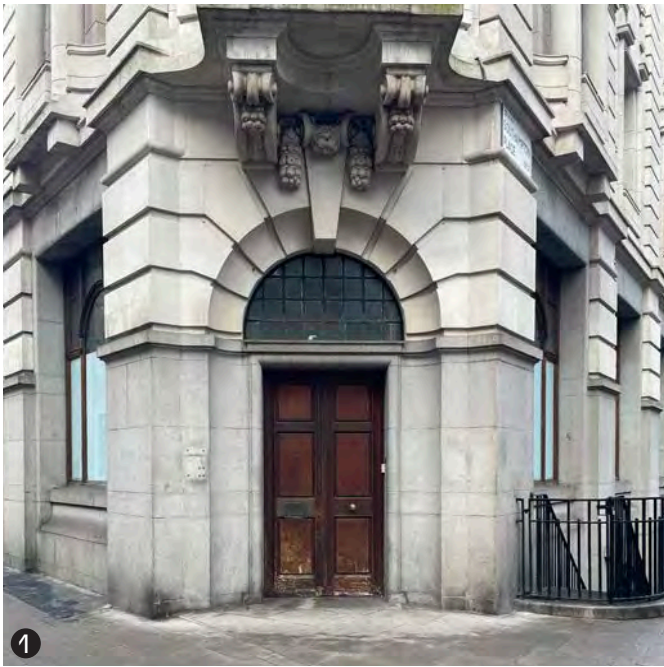
2.3 Existing Building Images



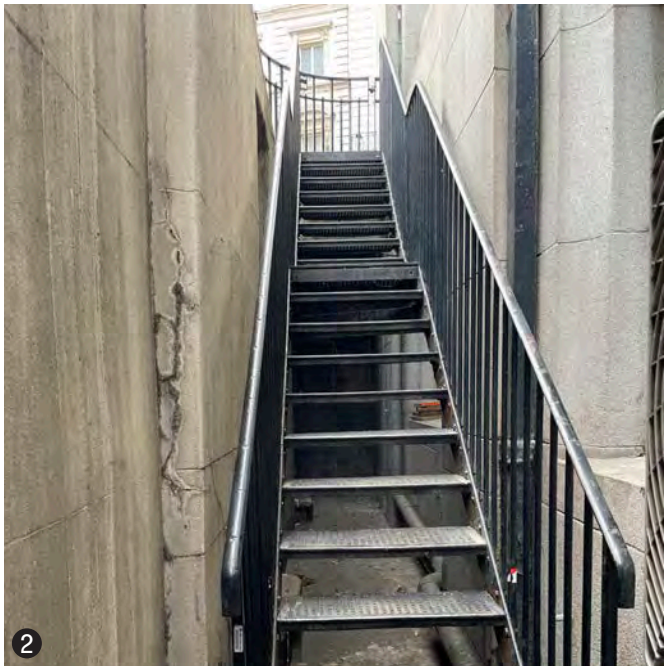
Key plan - Ground



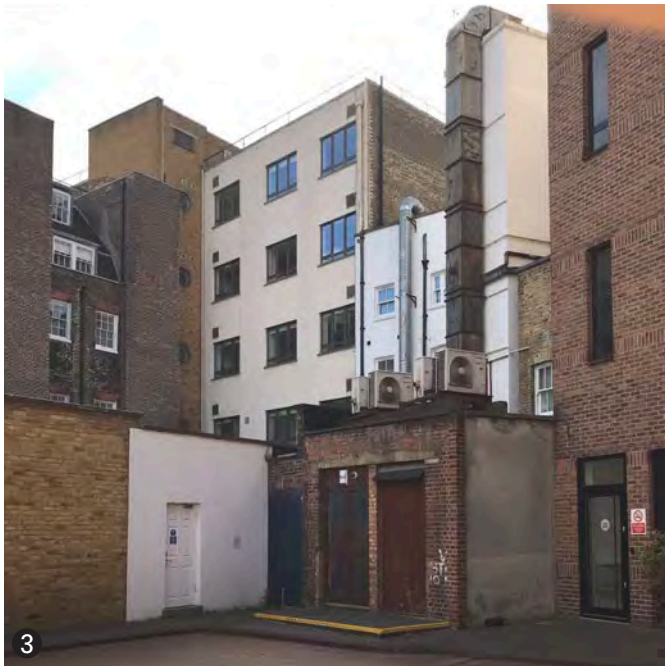
Key plan - Basement



1
Corner entrance at the junction of High Holborn and Southampton Place



2
External steps in Lightwell along Southampton Place



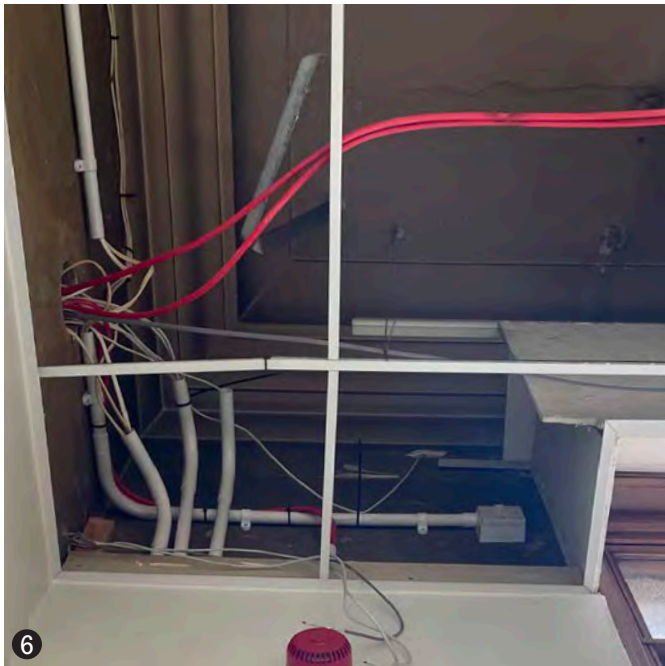
3
North and West facades from rear courtyard



4
Timber mouldings on windows



5
Typical ground floor timber window



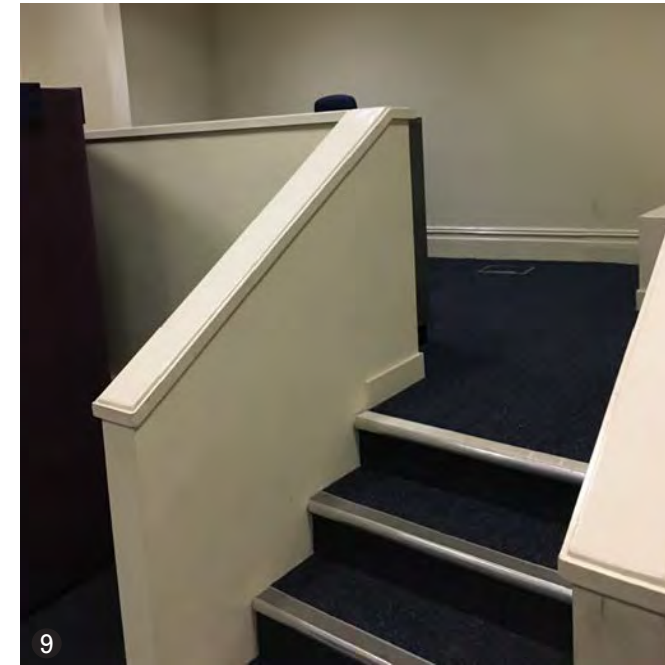
6
Existing void above suspended ceiling



7 Internal image of window bay 02 along High Holborn



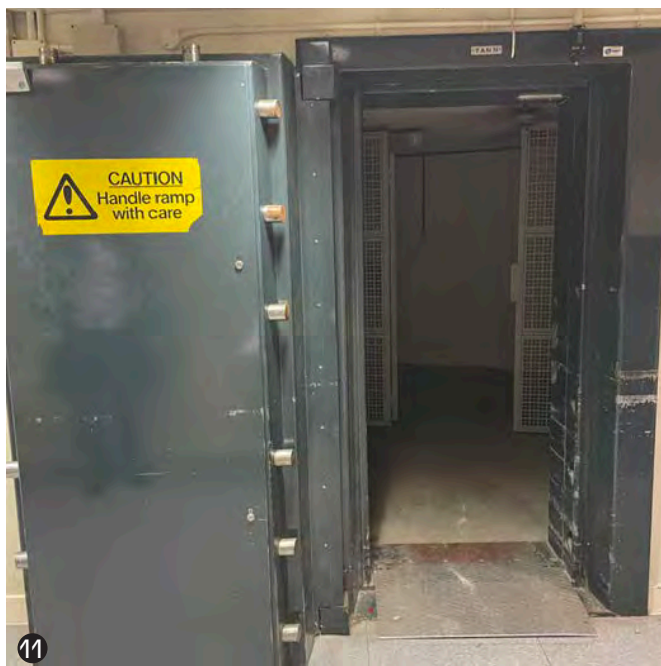
8 Internal image of window bay 03 along High Holborn



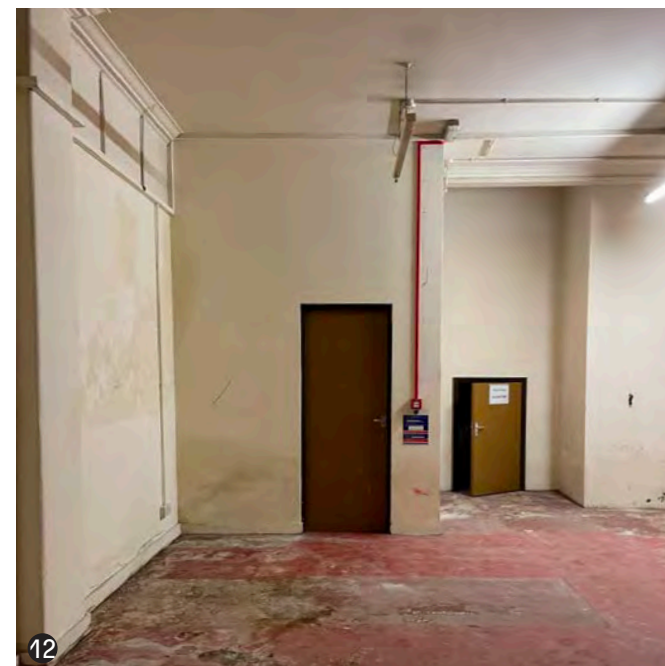
9 Ground floor upper landing



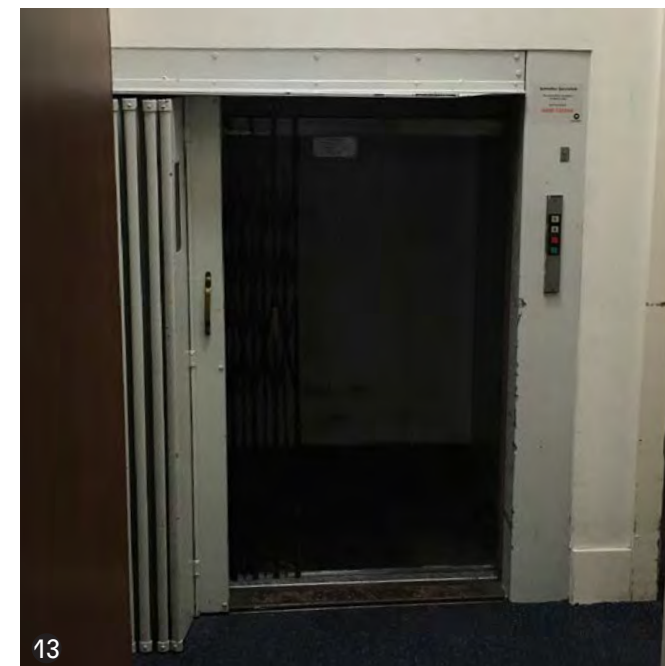
10 Basement stair 01



11 Basement Bank vault



12 Basement image



13 Lift hoist



14 Basement windows to lightwell along Southampton Place

3.0 History & Heritage

3.1 Original Building

Norfolk House is an extremely fine Edwardian building, which was designed by H Percy Adams and Charles Holden in circa 1904. Charles Holden joined the Percy Adams practice in 1900 and was the Principal Designer for the practice for the rest of his career within that practice.

The building bears similarity to three contemporary buildings that he designed, namely the Law Society Library (1903-1904) in Chancery Lane, the former British Medical Association building, now called Rhodesia House, located in the Strand (1907-1908) and Evelyn House, 62 Oxford Street, which was constructed in 1908 to 1910.

The original plans indicate that the ground and basement retail space in Norfolk House were conceived as four independent units, each separated by North-South axis spine walls.

The original elevations suggest that three of the four bays along High Holborn were left unfinished, allowing tenants to construct their own shop fronts within the openings of the stone piers and cornicings. This interpretation is further confirmed by the adjacent image.

The three windows along Southampton Place, and the singular window bay along High Holborn, located adjacent to the corner entry, appears to match the existing windows as they are today.



Norfolk House, High Holborn Image. 1905



Norfolk House, Southampton Place Image. 1905



Norfolk House, Image. 1905



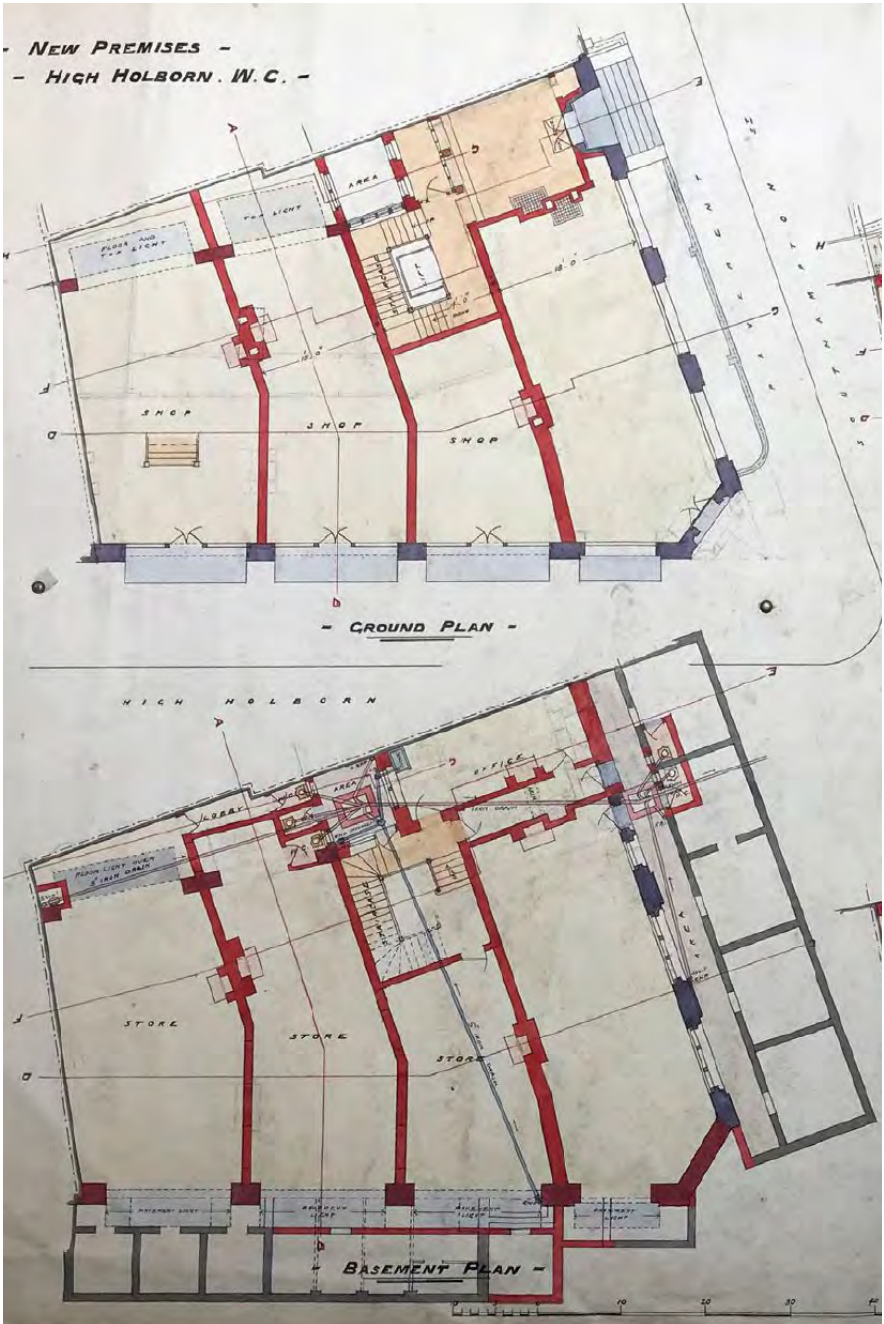
N Percy Adams Elevation, High Holborn



N Percy Adams Elevations



N Percy Adams Sections



N Percy Adams Ground (above) & Basement (below) Plans

3.0 History & Heritage

3.2 Historic Maps

When viewing the succession of the historical maps, we can see the building has incorporated a bank within its ground floor for almost the entirety of its standing, to the present day. In 1911, the bank was limited to a the single, corner entry, retail unit only (previously 12 Southampton Place).

Over time, the bank unit has expanded Westwards. By 1934, 127 High Holborn had become within the Bank's demise, whilst 128 & 129 High Holborn remained as standalone units.

By 1951, the Bank unit had further expanded into 128 High Holborn, until finally occupying the full extents of the retail space within the building by 1991, as is the present condition today.



Norfolk House - Image dated 1905



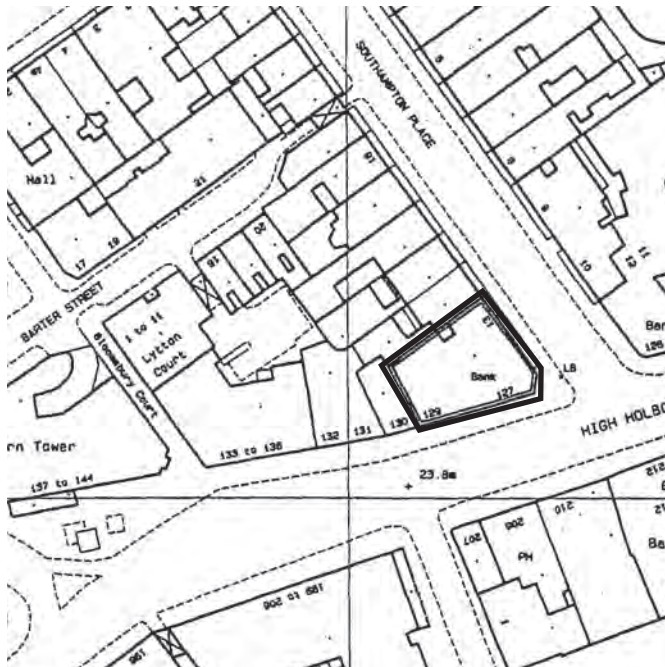
1911



1951



1934

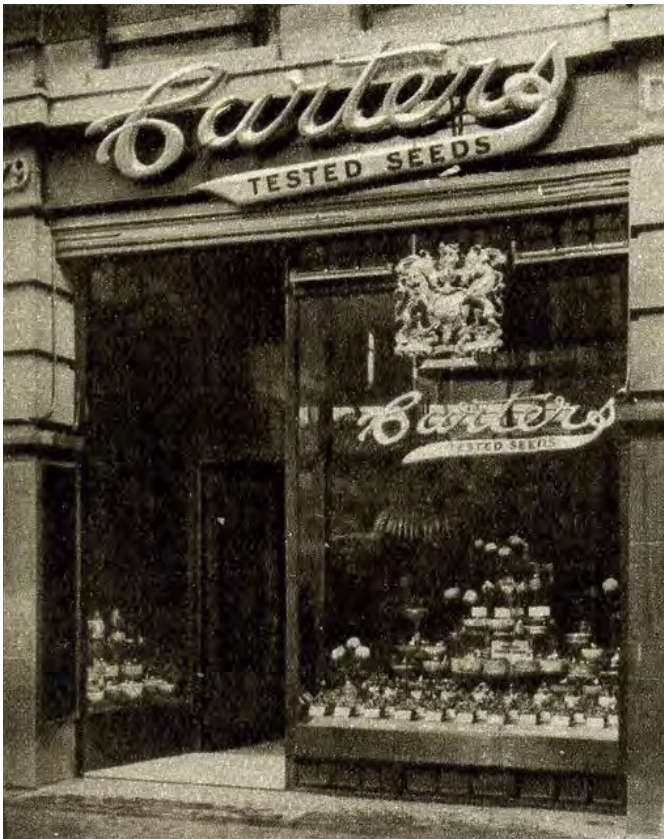


1997

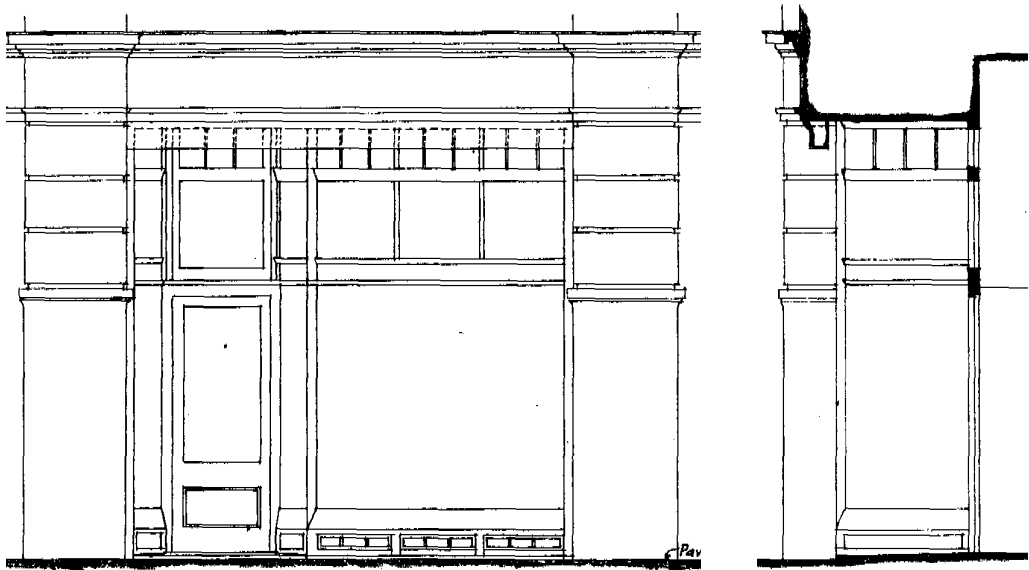
3.3 Historic Alterations

The image, and drawings below present the first known shopfront configuration for Norfolk House. The shopfront, which is located within the bay of 129 High Holborn, shows an off-centred, recessed entrance door, with an adjacent shopfront window, stall riser, and advertisement which is fixed onto a high level fascia, which expands above the stone cornice.

The adjacent drawings display the plans and elevations of this configuration of the unit.

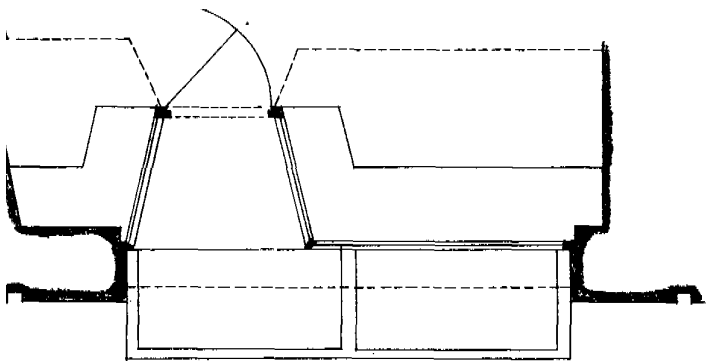


129 High Holborn shopfront Image, Norfolk House, 1937



• ELEVATION •

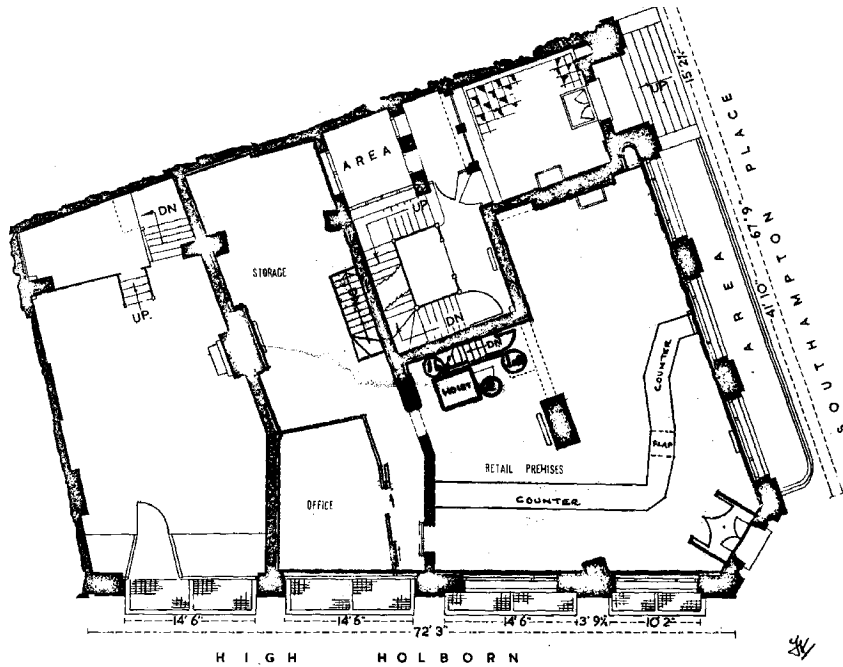
• SECTION •



• PLAN •

129 HIGH HOLBORN • LONDON

129 High Holborn shopfront drawings, Norfolk House, 1976



Norfolk House Ground floor plan 1976



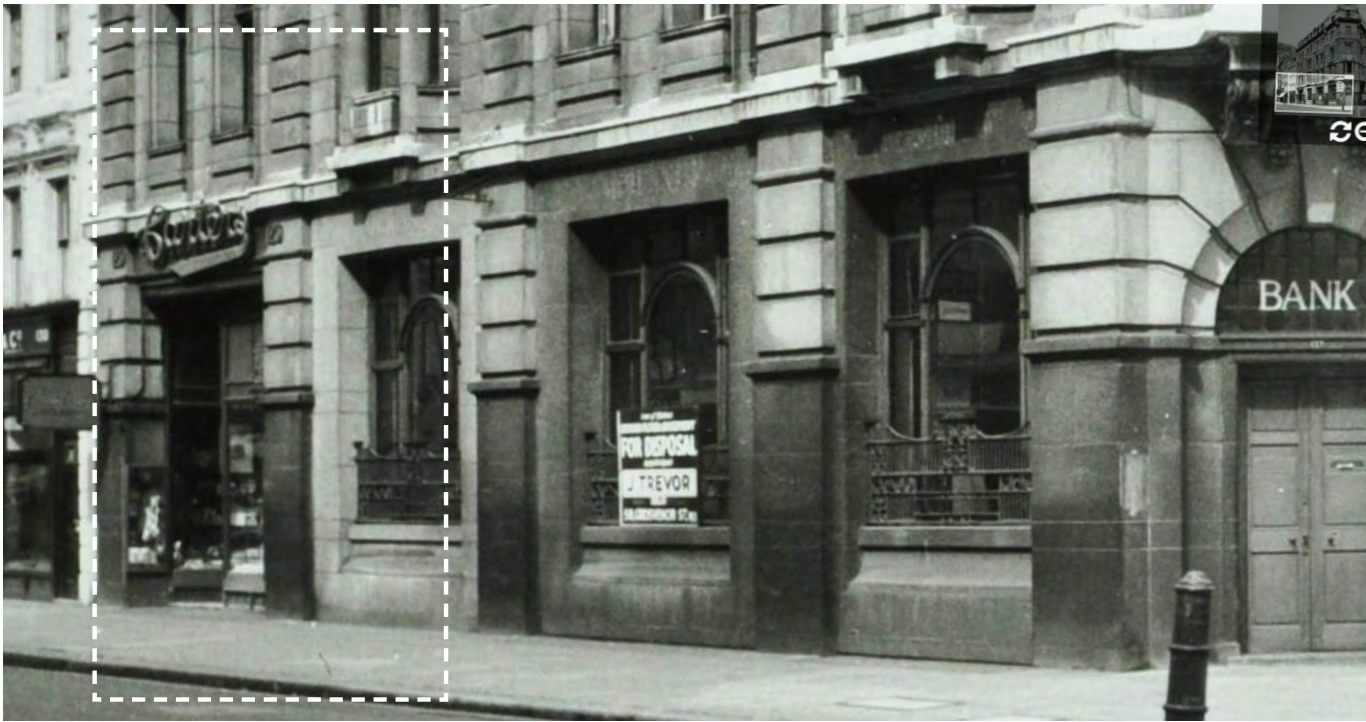
Norfolk House Basement plan 1976

3.0 History & Heritage

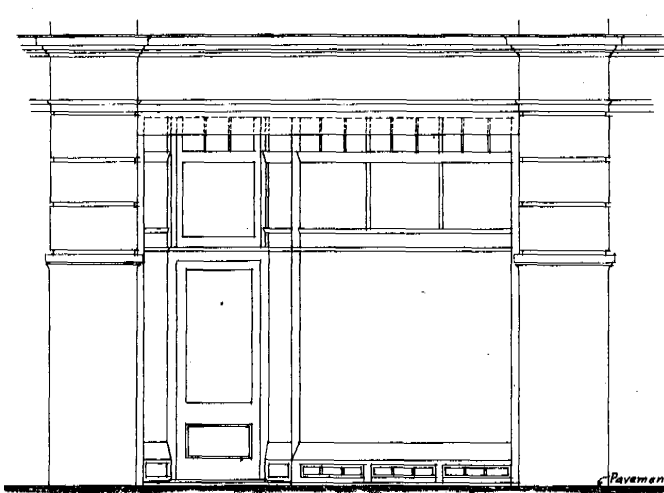
3.4 1976/1977 Facade Alterations

In 1976, an approved application was made to make alterations to the shopfront the bay of 129 High Holborn. These works included the removal of the off-centered, recessed entry door and window bay. This was with hardwood framed, glass shop front with and half-moon fan light window above a centrally located door which sat flush with the glazing line.

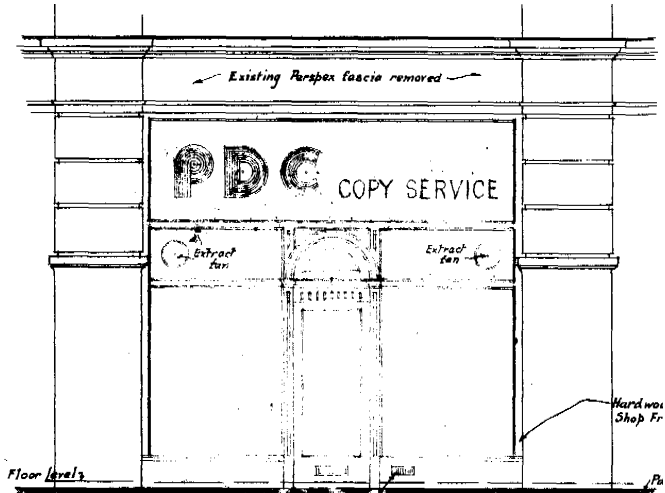
The image below, dated 1976, shows the shopfront condition of 129 High Holborn, prior to these works being carried out. By this date, shop fronts in the adjacent bays of 128 and 129 High Holborn had already been replaced with a window and stone infill as is present today.



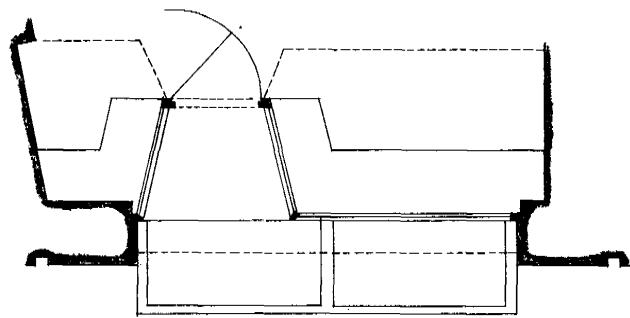
High Holborn Ground floor elevation. Image dated 1976.



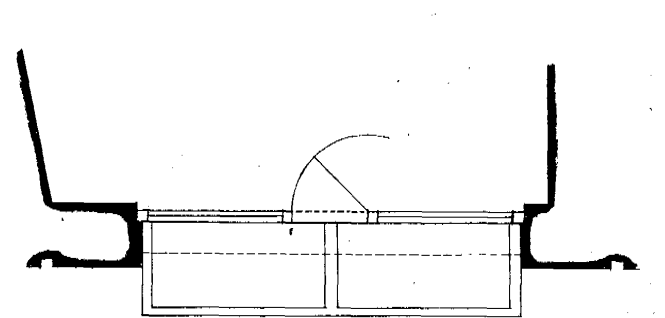
1976 Application. High Holborn Existing Elevation



1976 Application. High Holborn Proposed Elevation



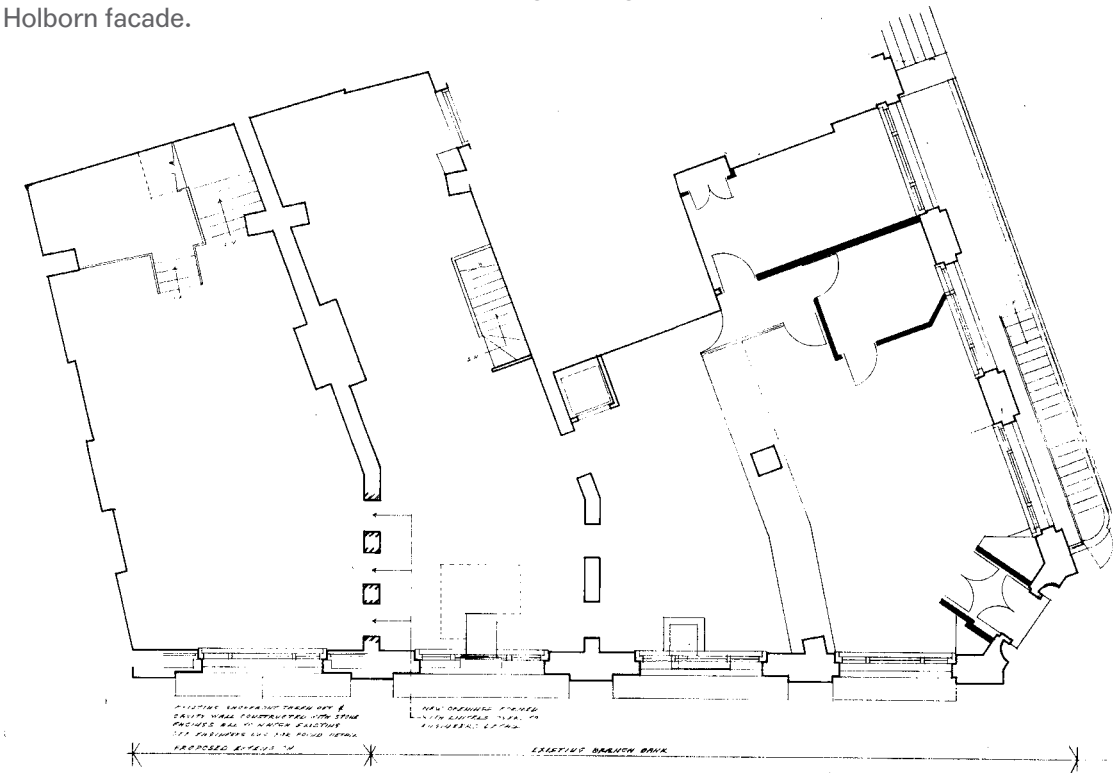
1976 Application. High Holborn Existing Shopfront plan



1976 Application. High Holborn Proposed Shopfront plan

3.5 1983 Alterations

In 1983 an application was made to expand the bank into 129 High Holborn. These works included new openings made within the spine wall between 128 & 129 High Holborn. The shopfront bay was also removed, and replaced by the typical ground floor window and stone infill arrangement to match the adjacent bays. In addition, previous applications had included works to install ATM machines along the High Holborn facade.



1983 Application. High Holborn Proposed Ground Floor Plan



1983 Application. High Holborn Existing Elevation

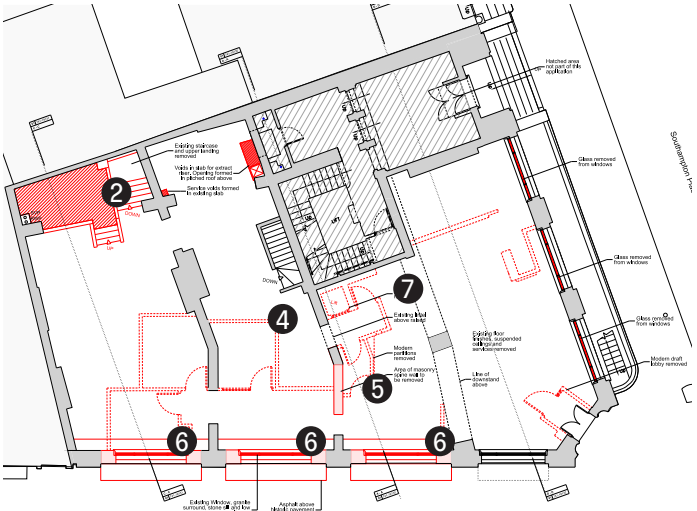


1983 Application. High Holborn Proposed Elevation

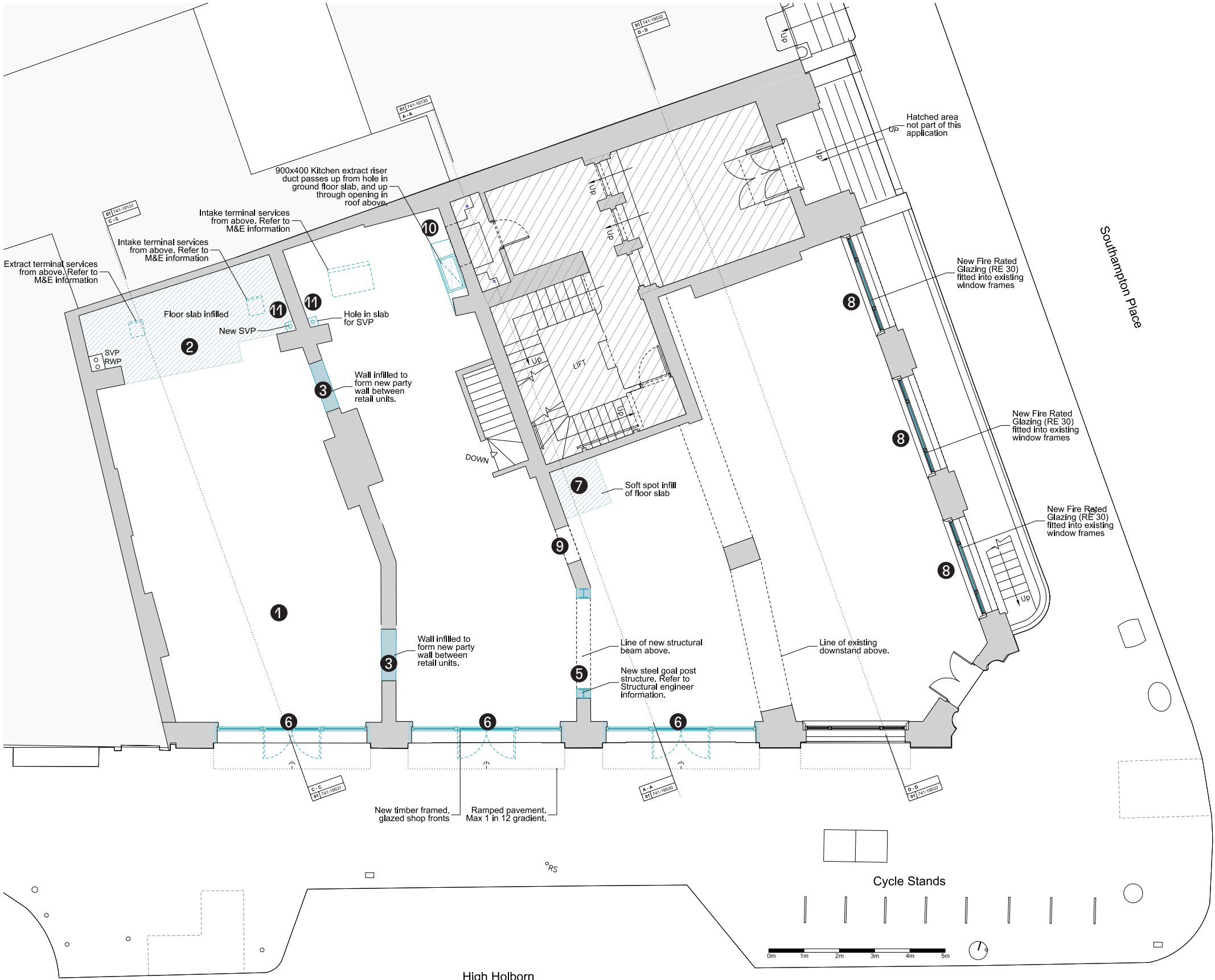
4.0 Proposed Design

4.1 Ground Floor

- 1. The retail space at 129 High Holborn is reinstated as a standalone unit at Ground floor only.
- 2. The staircase and upper landing within 129 High Holbon is removed and the void infilled.
- 3. 2 no. existing openings between 128 and 129 infilled.
- 4. Strip out of non-original partitons, finishes and fittings throughout.
- 5. Demolition of area of spine wall between 127 & 128 High Holborn, with replacement steel goalpost frame.
- 6. Removal of existing windows, stone cill and infills, with replacement timber framed, glazed shopfronts.
- 7. Removal of exiting hoist lift and the void infilled.
- 8. Fire rated glazing to replace the glass within the existing timber framed windows.
- 9. Lintel above existing opening raised
- 10. New kitchen extract duct from basement up to roof level.
- 11. Penetrations in slab for SVP for future tenant use.



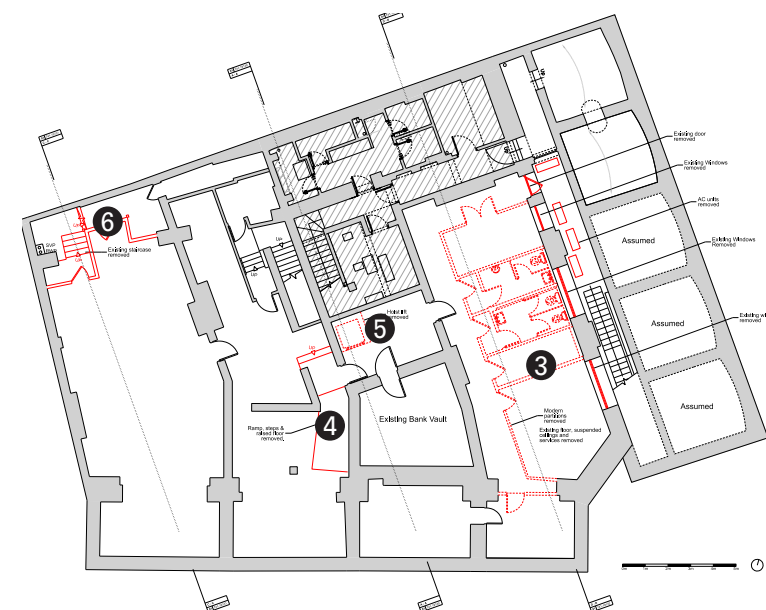
Existing Demolition Ground Floor Plan



Proposed Ground Floor Plan

4.2 Basement

1. Replacement of existing windows in lightwell to Southampton Place with fire rated windows in existing structural opening.
2. Replacement of existing door to lightwell along Southampton Place with fire rated door in existing structural opening.
3. Removal of all modern partitions, suspended ceiling and raised access floor
4. Removal of steps and ramp. Screed made good as required.
5. Removal of existing hoist lift and slab infilled above.
6. Removal of stair and slab infilled above
7. External stair within lightwell made good as required.
8. New SVP for future tenant fitout.
9. New extract duct from above. Capped for future tenant fitout.



Existing Demolition Basement Floor Plan



Proposed Basement Floor Plan

4.0 Proposed Design

4.3 High Holborn Shop front Alterations

The proposed alteration works are along High Holborn are limited to Bays 01 - 03 only, or (129, 128 & 127 High Holborn). The final bay, closest to the Banks corner entry is understood to be original, and has therefore been left as existing.

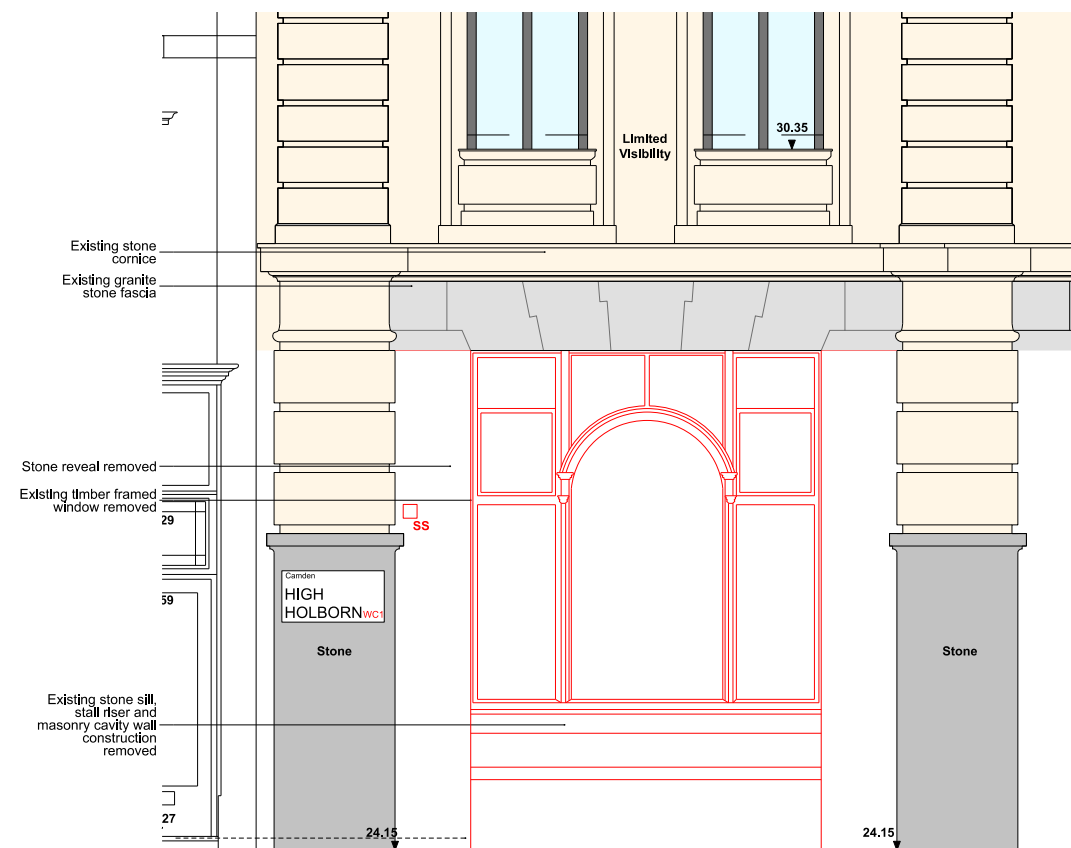
Three, identical shopfronts are proposed. The shopfront within Bay 01 is the main and only means of access into the new retail unit. The doors in bay 02 are required as a means of escape. The same design approach has been applied to all three bays for continuity across the elevation. This approach also allows for future flexibility, in the scenario that the retail units are to be subdivided further in the future. The corner entrance is retained as the primary entrance for the larger retail unit.

The proposed shopfronts incorporate a timber framed, glazed facade, and timber clad stall-riser. Centrally located timber framed, glass double doors incorporate a half-moon fan light, with timber mouldings to match the adjacent, existing window.

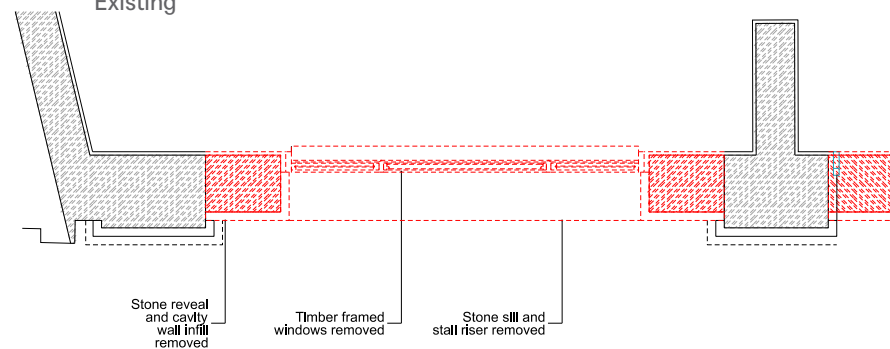
Two indicative signage zones are identified, however do not form part of this application, and will be subject to future tenant requirements. The primary signage zone is located on the existing stone fascia. This will be restricted to basic lettering, fixed onto a metal channel, as to avoid excessive additional holes into the fascia. An ancillary signage zone is located behind the glazing, above the half-moon fanlight.



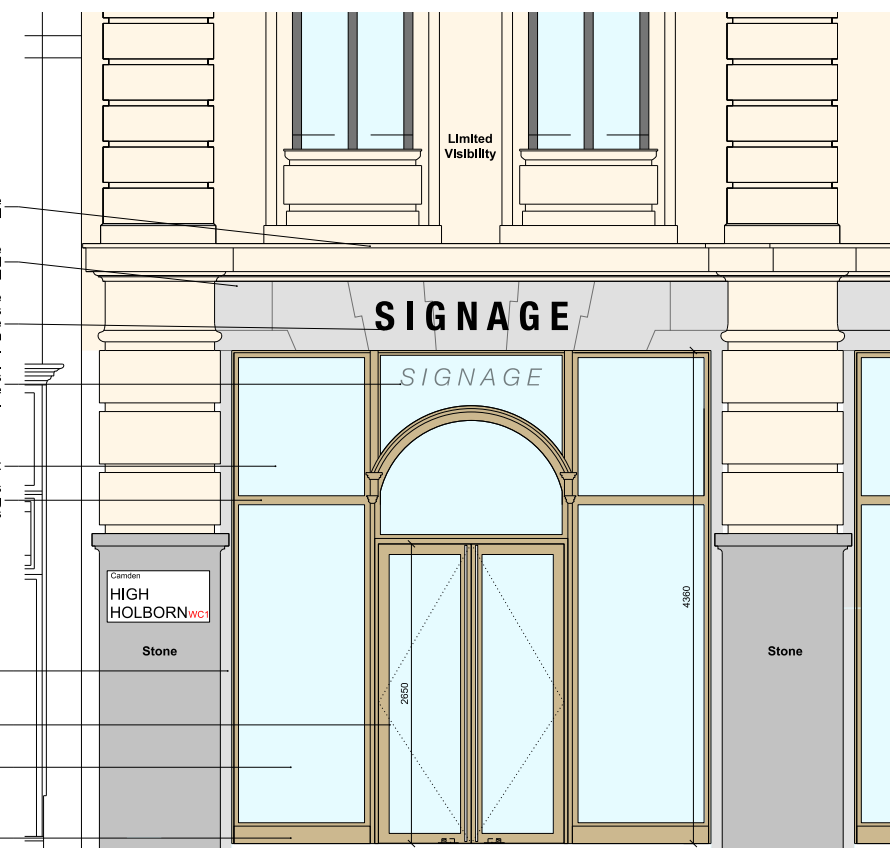
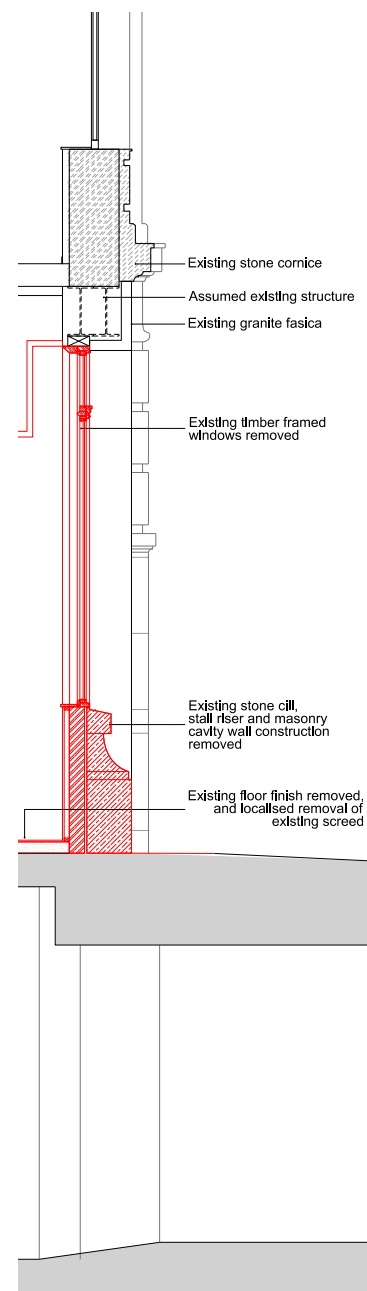
CGI Visual of proposed High Holborn Shopfronts



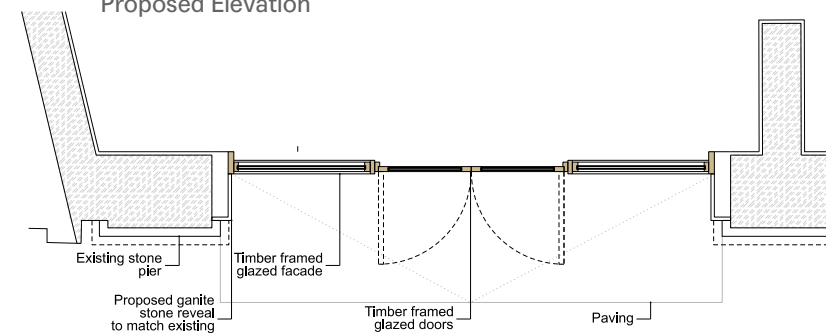
Typical High Holborn Bay Elevation Existing



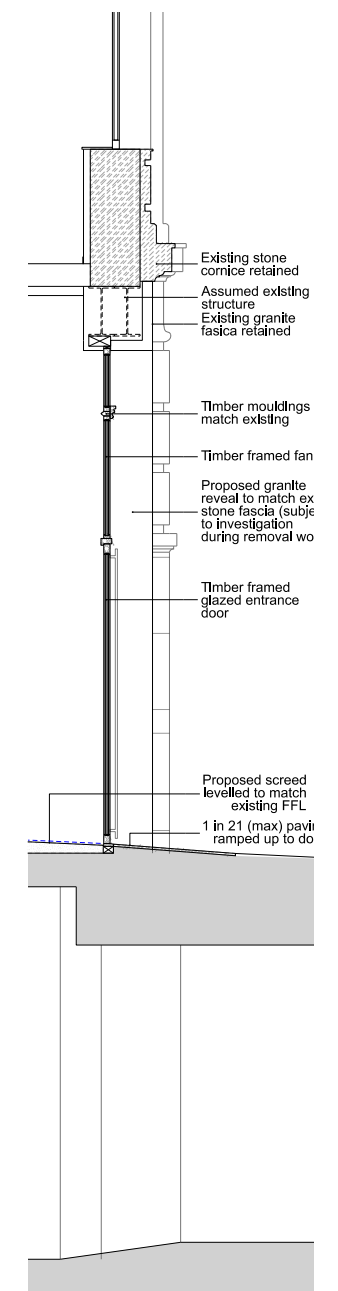
Typical High Holborn Bay Plan Existing



Typical High Holborn Bay Proposed Elevation



Typical High Holborn Bay Proposed Plan



Typical High Holborn Bay Proposed Section

4.0 Proposed Design

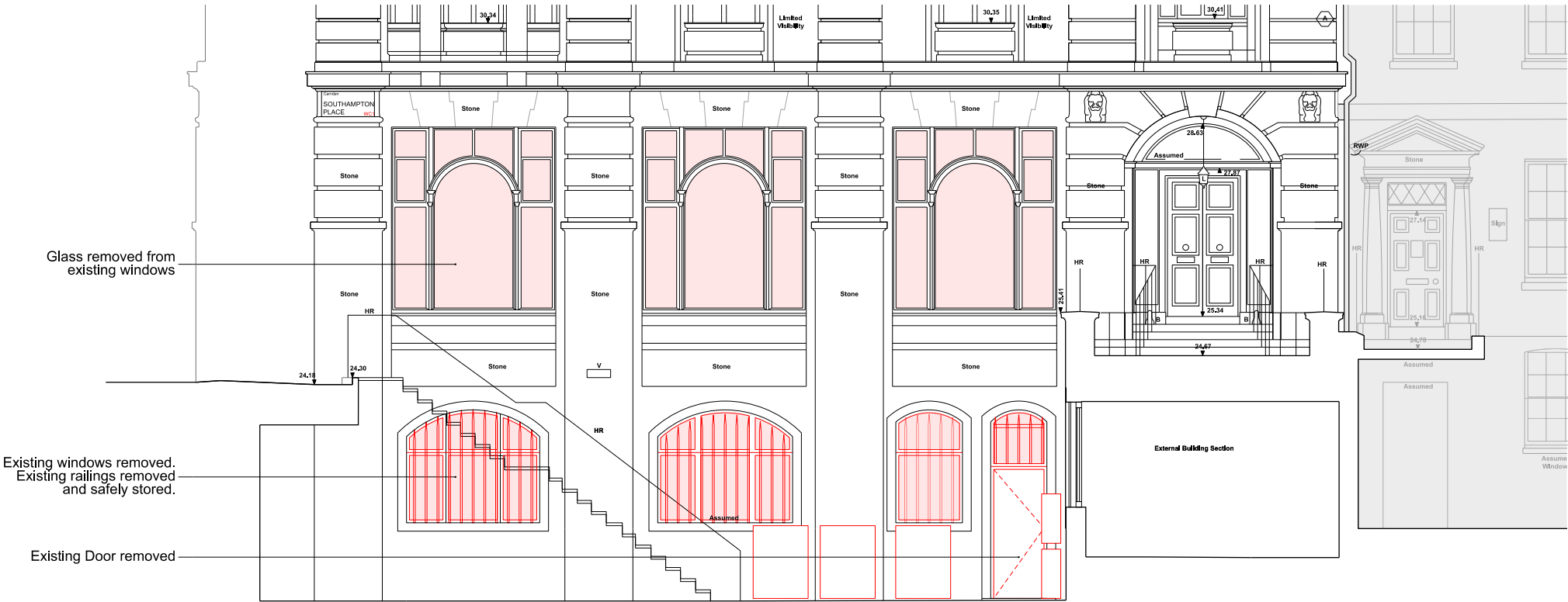
4.4 Southampton Place Elevation

Along Southampton Place, alterations are proposed to the existing windows to improve the fire performance of the glazing. This is to enable the existing lightwell to be used as a means of escape.

At ground floor, it is proposed to remove the existing glass, and replace with fire rated glass within the existing timber frames.

At basement, it is proposed to remove the existing windows and door, and replace with fire rated windows and door within the existing structural openings.

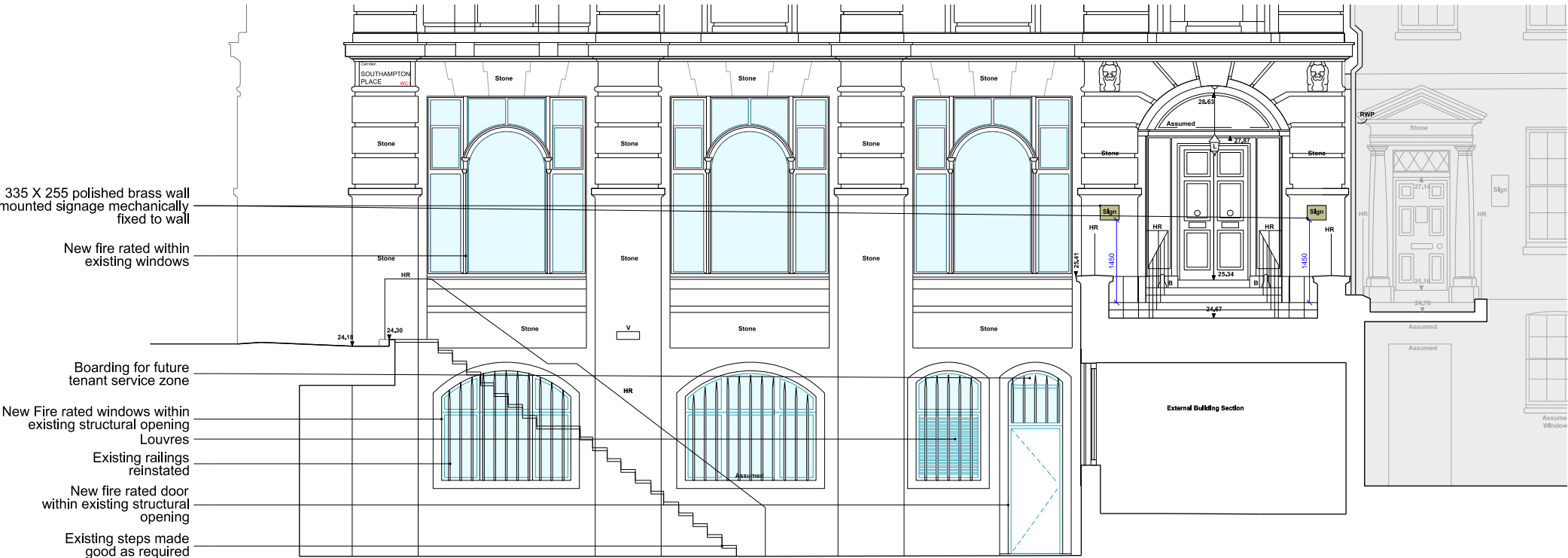
Two signs are also proposed on the stone piers either side of the office entrance. These are 355x255 polished brass signs mechanically fixed to the wall.



Existing with proposed demoliton East Elevation - Southampton Place



Existing image of lightwell along Southampton Place

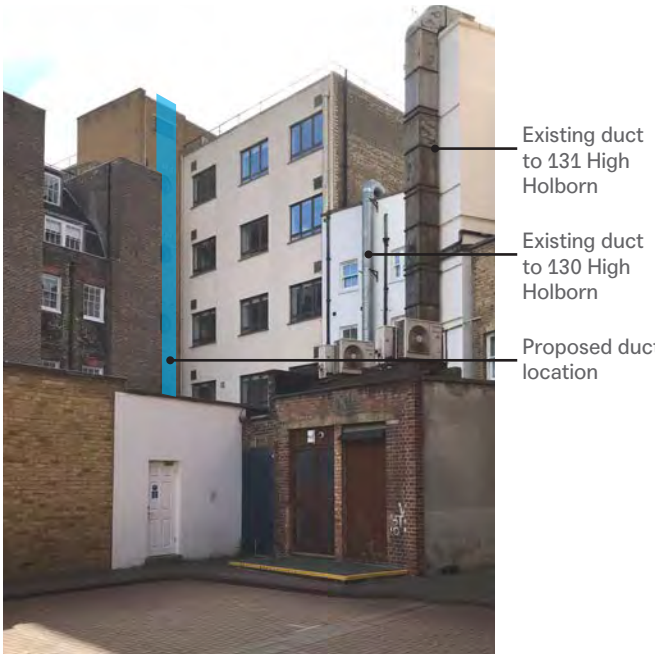


Proposed East Elevation - Southampton Place

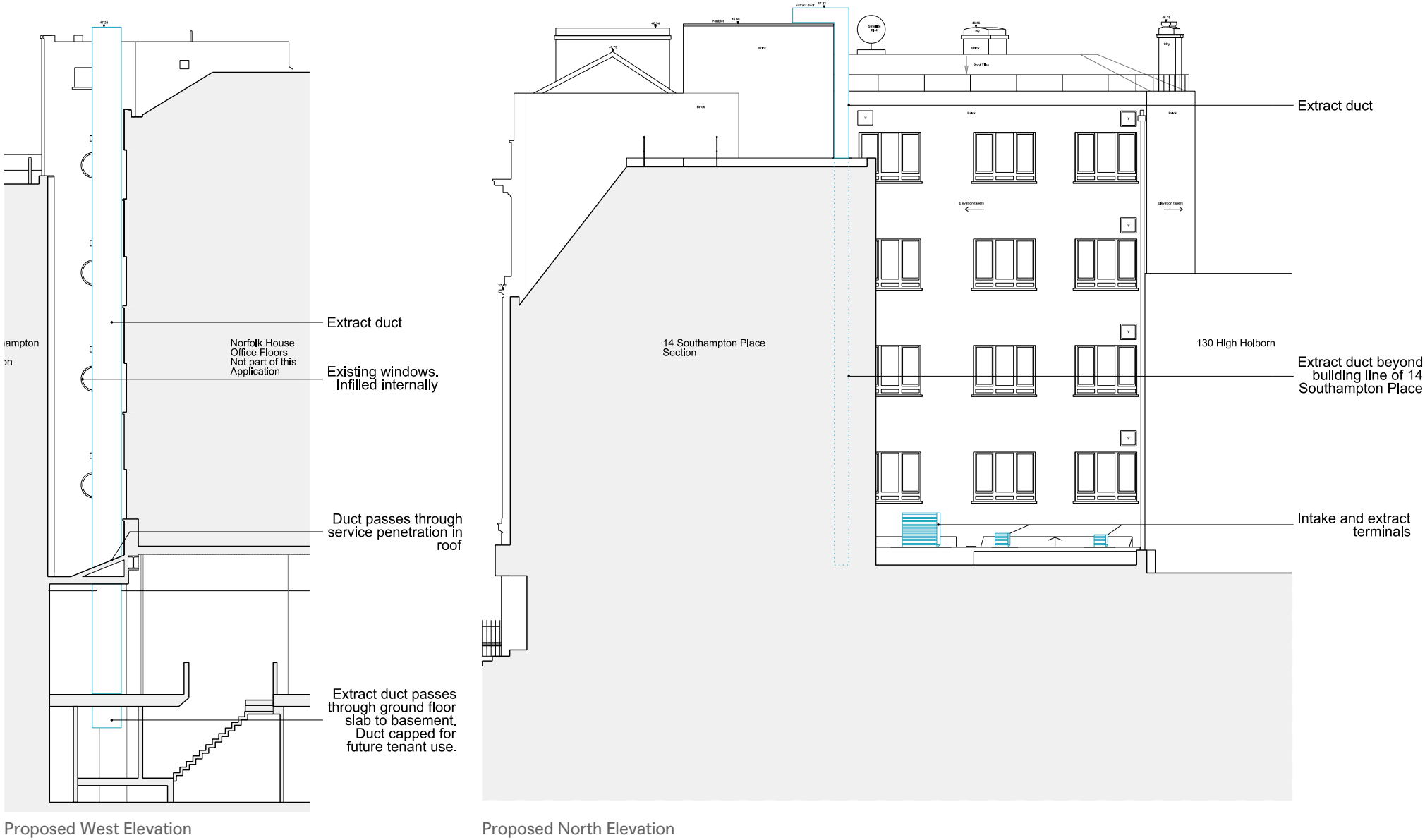
4.5 Extract Duct

A kitchen extract duct is proposed to the rear of the building, which will run up the building externally to roof level. It is located within a ‘knuckle’ location to the rear of the building, between Norfolk House, and 14 Southampton Place. The duct will run up in front of the circular windows to the office WC’s, however during the 2022 refurbishment works, these windows were infilled internally.

Roof access will be provided by the landlord for cleaning and maintenance to the extract duct. Latchway fixings are proposed to protection from falling.

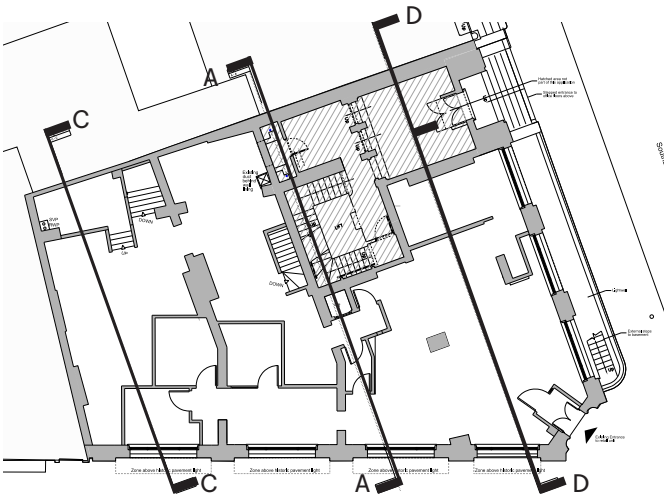


Existing image of rear elevations with proposed duct shown in blue

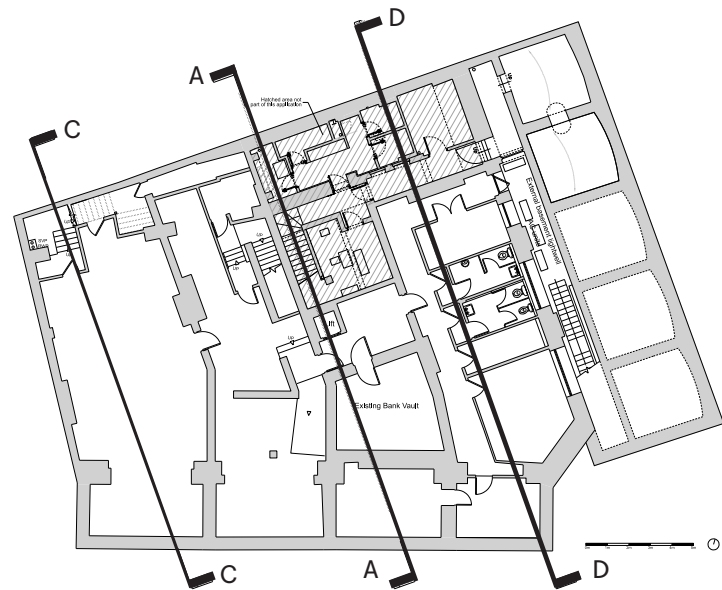


4.0 Proposed Design

4.6 Sections



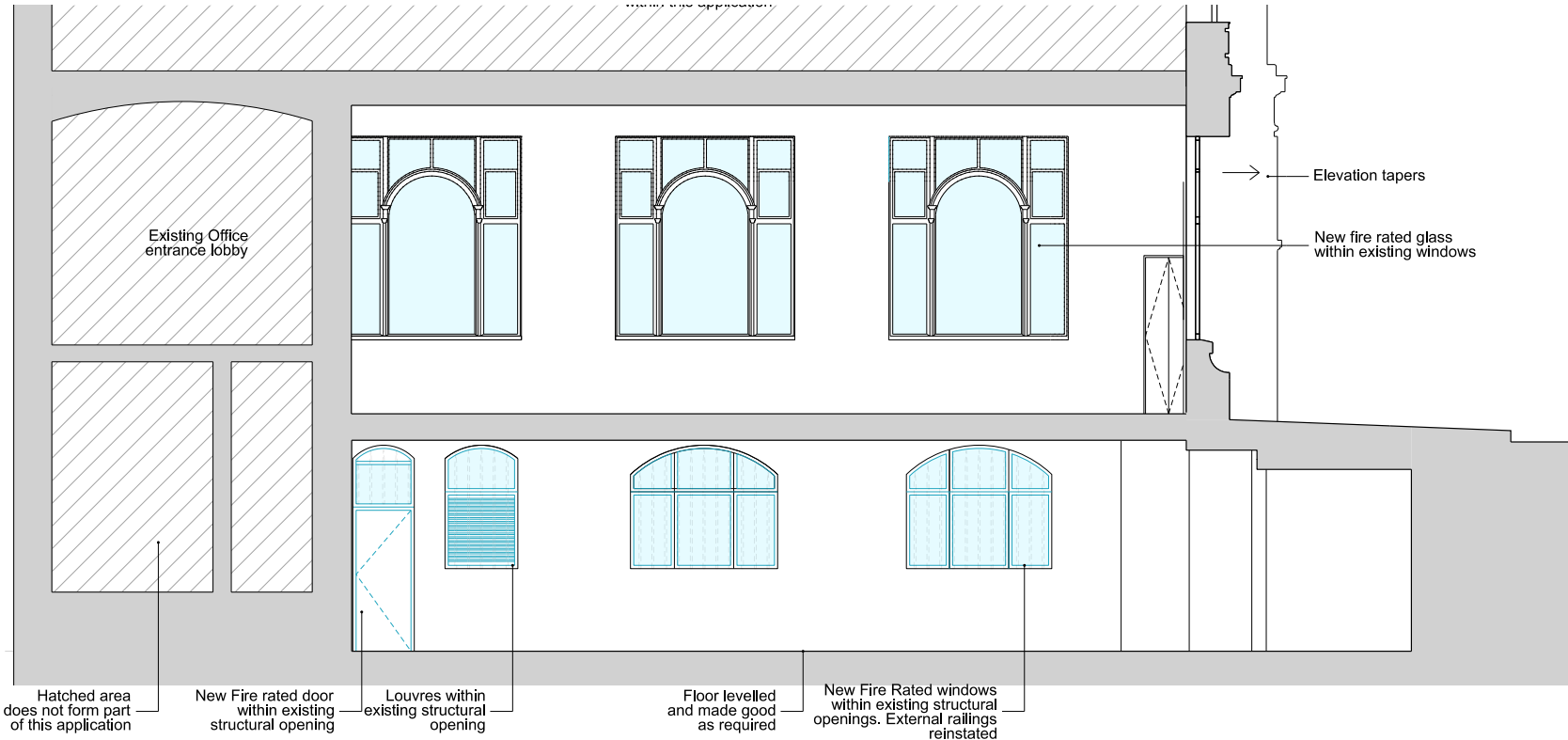
Key Plan
Existing Ground Floor



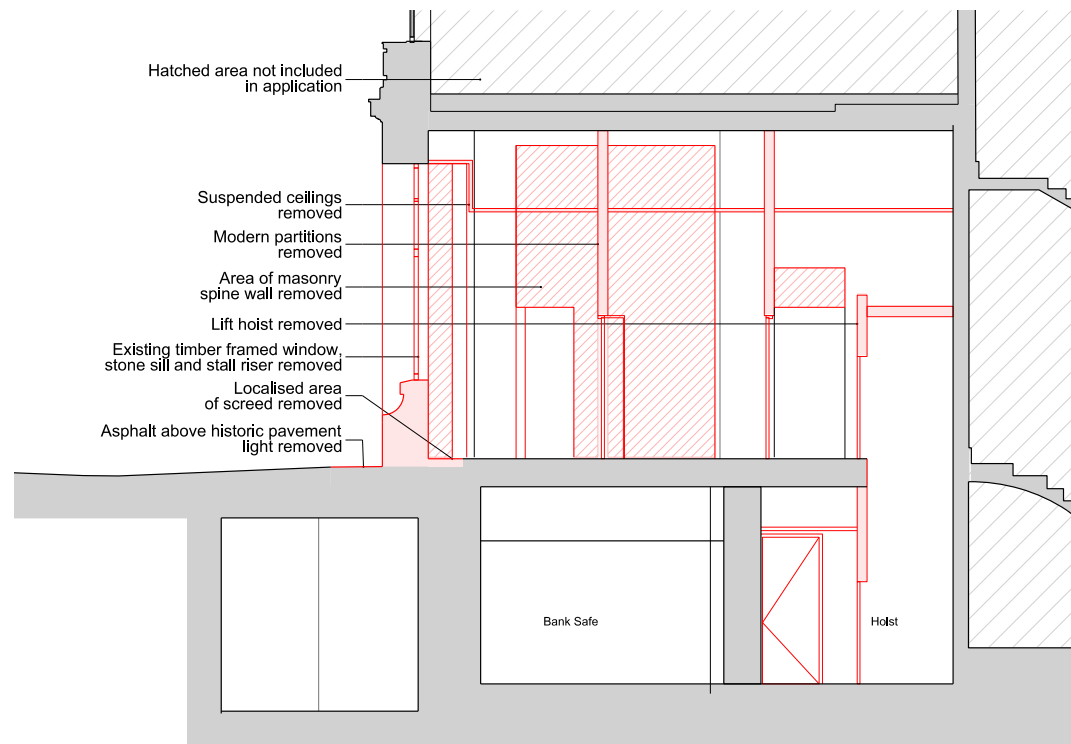
Key Plan
Existing Basement



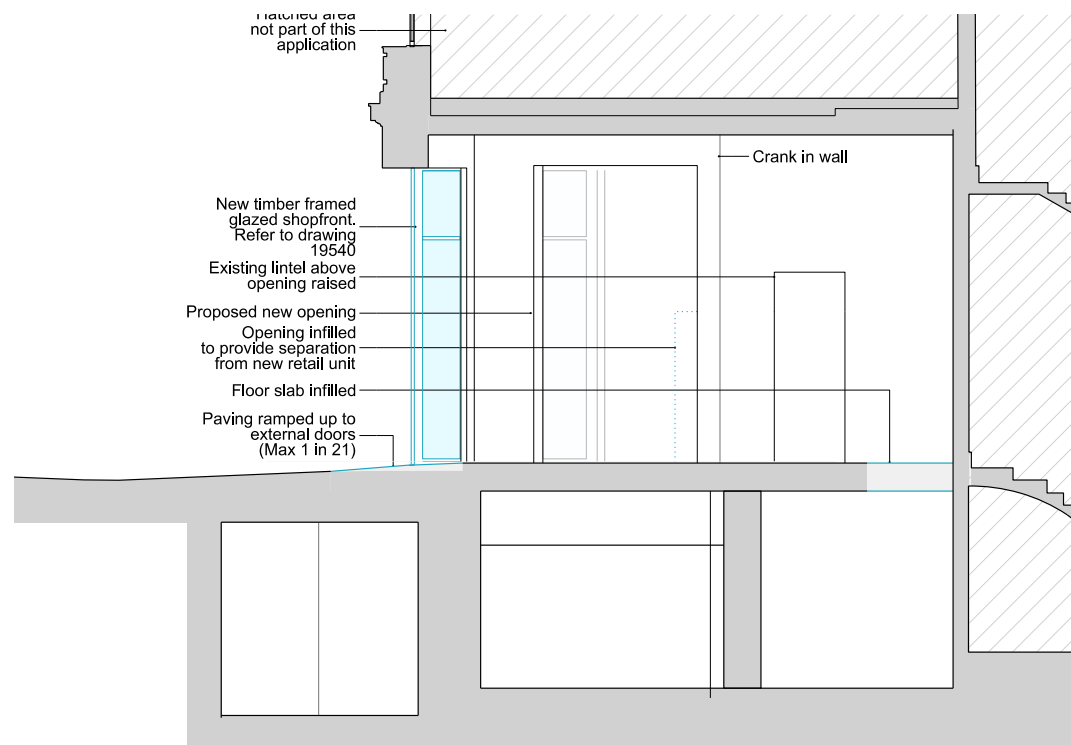
Existing with proposed demolition Section DD



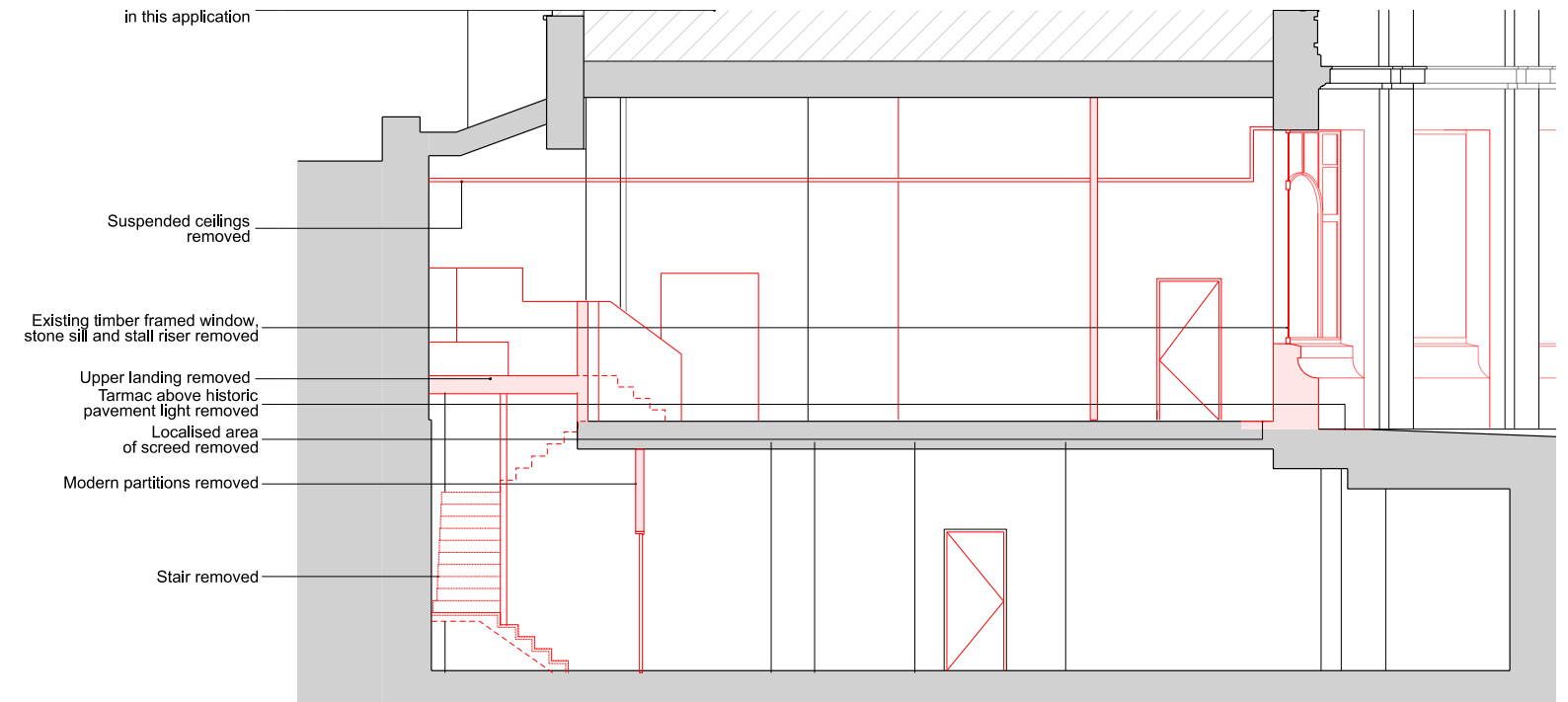
Proposed Section DD



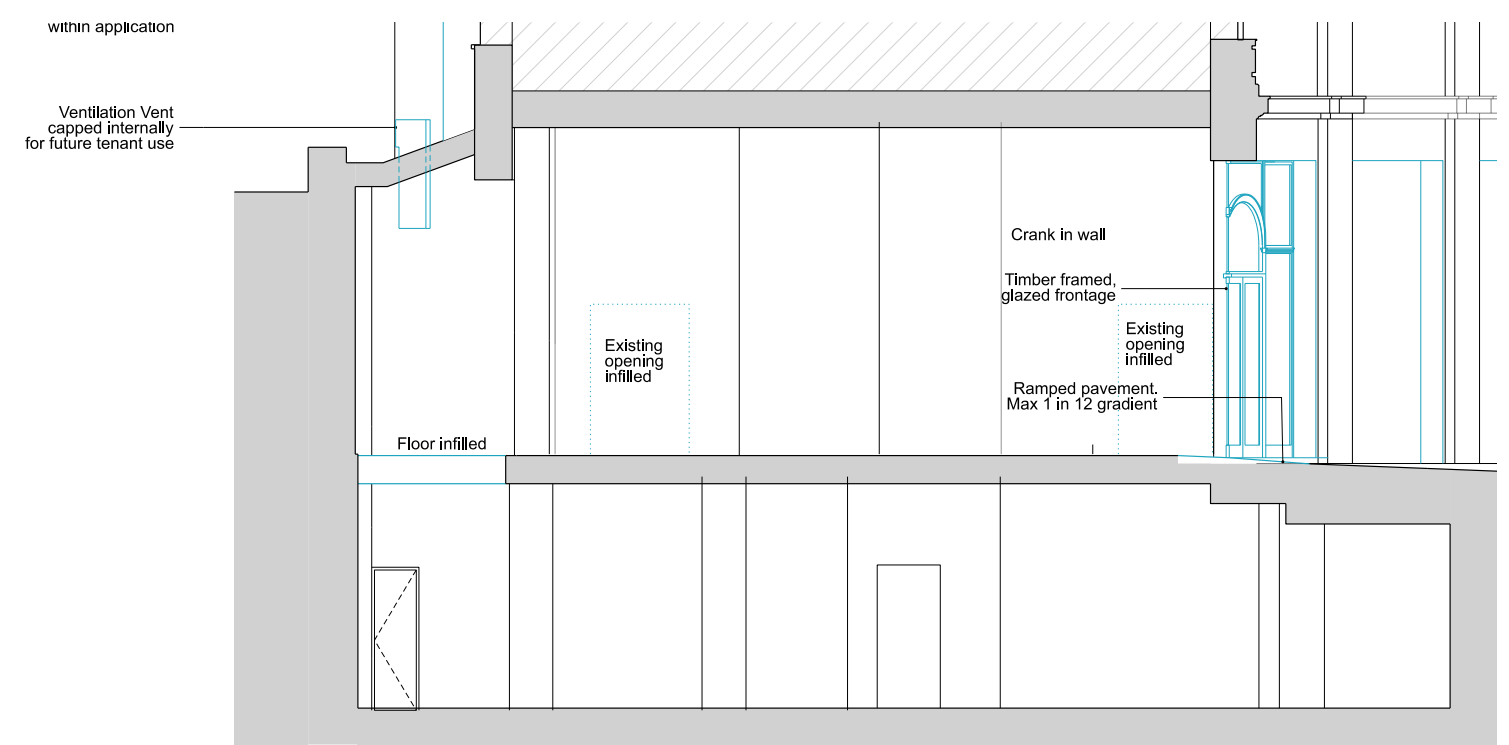
Existing with proposed demolition Section AA



Proposed Section AA



Existing with proposed demolition Section CC



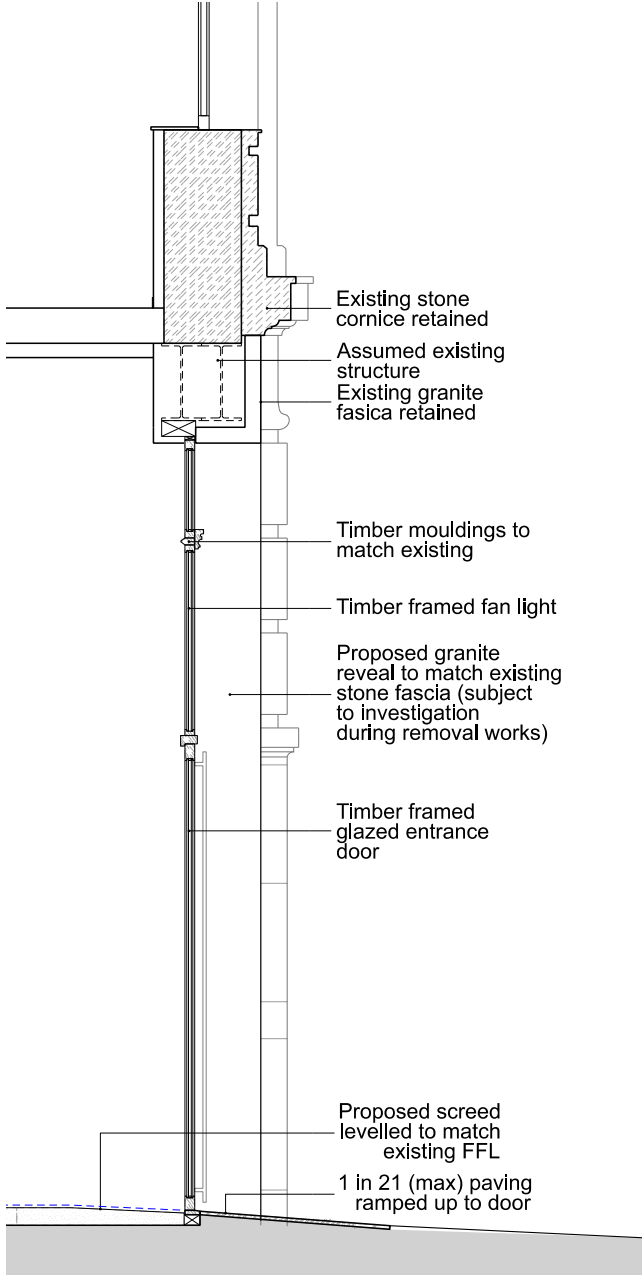
Proposed Section CC

5.0 Access Statement

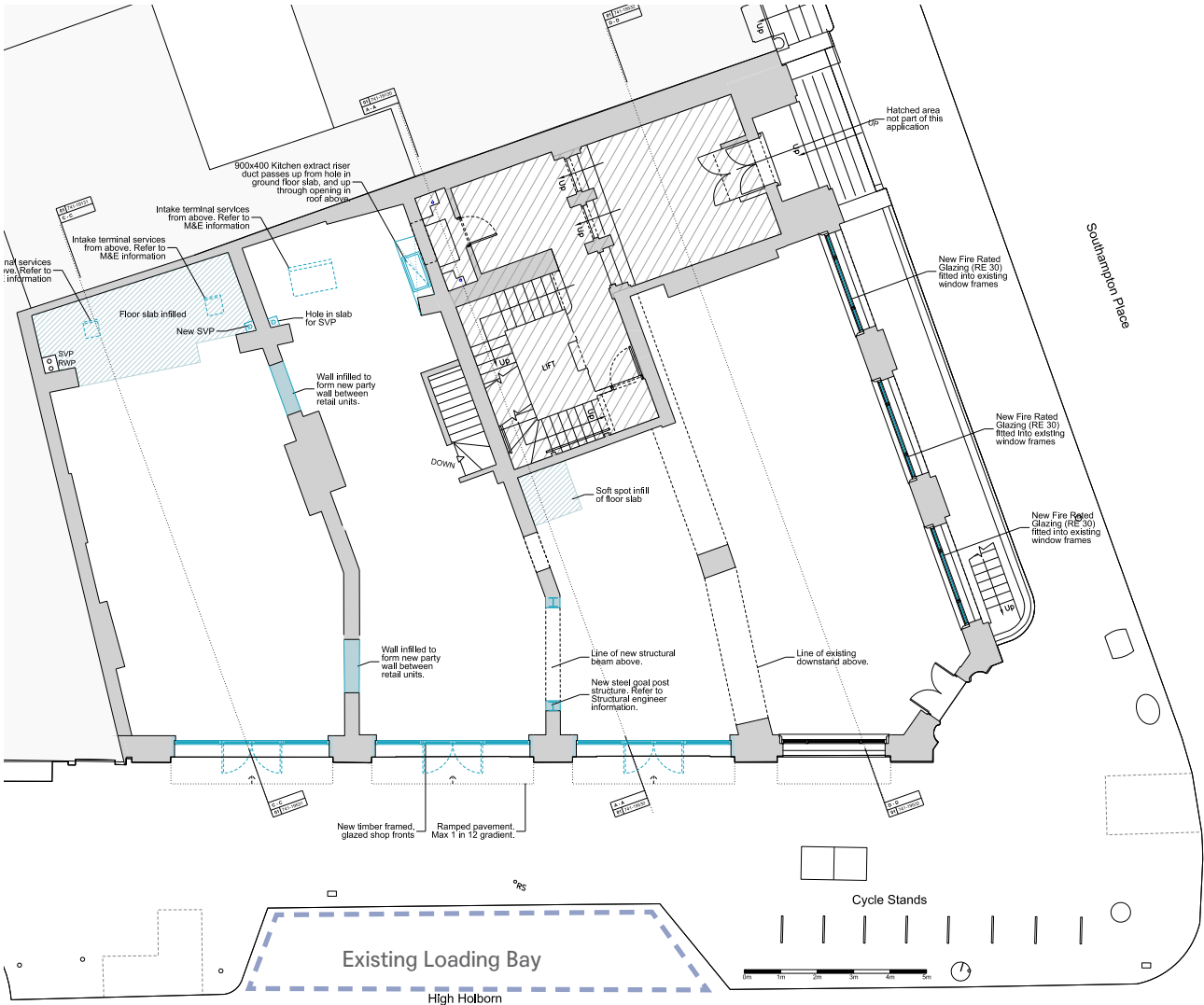
5.1 Access

The main corner entrance provides level access into Retail unit 02. The existing timber doors when held open have a clear opening to accommodate wheelchair users and has a step free threshold.

New shopfronts along High Holborn have been designed to provide a clear opening to accommodate wheelchair users. Alterations to the pavement, within the existing, asphalt covered, pavement light zone, and the wall threshold are proposed to provide a ramped entrance, with a maximum gradient of 1 in 12, to ensure step free access is provided (see drawing below).



Proposed Shopfront Section



Proposed Ground Floor Plan

A.0 Appendices

A.1 Area Schedule

741 Norfolk House		MICA ARCHITECTS		Area Schedule		Stage 02 Planning	
Existing							
	Bank	GIA(sqm)		Bank	NIA* (sqm)		
Ground		268.8			239.5		
Basement		335.8			264.9		
Total		604.6			504.4		
*Total area excluding walls, partitions, stairs.							
Proposed							
		GIA (sqm)			NIA* (sqm)		
		Retail Unit 01***	Retail Unit 02**		Retail Unit 01***	Retail Unit 02**	
Ground		79.7	185.2		77.5	176.5	
Basement			335.8			286	
Total		79.7	521		77.5	462.5	
*Total area excluding walls, partitions, stairs.							
** Previously bank unit							
*** New retail unit							