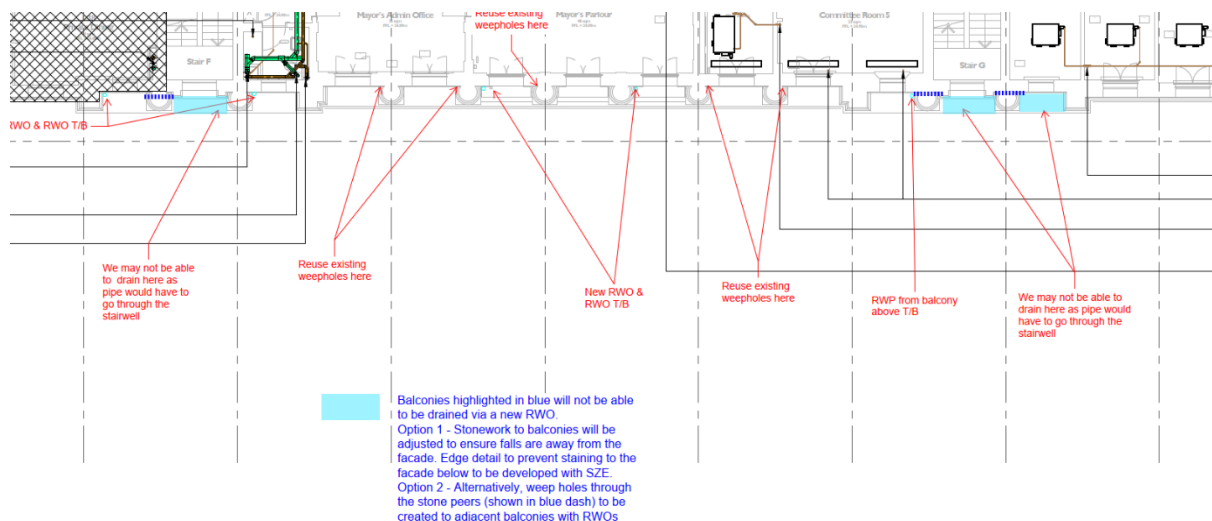


## Report on Mayor's Parlour Balcony drainage

The 3 no. existing balconies from the mayor's parlour facing Euston Road do not currently comply with current Building Control requirements to have a 150mm upstand. And due to the heritage nature of the building, this cannot be achieved. The balcony flooding of the 17th of August 2022 was linked to the issue with the basement underground drainage being surcharged and in effect the site was unable to discharge the flood water fast enough, resulting in the overspill. The existing threshold on the balconies are less than 100mm and in an event of adverse weather, the balcony gets filled up quickly and the water then finds its way into the building.

During the construction phase on site, we have experienced flooding to the mayor's parlour twice from the balcony apart from the one that took place on the 17th of August 2022. These all resulted from rainfall.



Regarding early warning 1292 (weep holes in balcony), I can confirm that due to the presence of stone clad piers either side of all the balconies, there is no other way we can provide an overflow/weep holes apart from what is currently proposed. As we continue to experience adverse weather conditions due to global warming, it is highly recommended to have this weep holes to avoid future flooding to the mayor's parlour.



Balcony depth measurement



Existing condition of balcony





Balcony condition after rainfall



Existing Shallow balcony



Balcony prone to foliage

### Conclusion

Due to the shallow depth of the balcony, to mitigate against water ingress from future blockage or adverse weather condition, it is recommended that overflow weep holes are installed going through the façade on Euston Road. These will have lined lead shoot to avoid staining of the stone façade. These weep holes will only ever be used in the case of an adverse weather condition.