



Photographic Condition Survey

3-6 Guilford Place, Camden
for Paragon Asra Housing Limited

Photographic Condition Survey

Location: 3-6 Guilford Place, Camden
Date: 7th October 2021 & 13th April 2022
Surveyed By: Duncan Reynolds & Danny Treherne

This survey of the four six-storey terraced houses located in Guilford Place, Camden was undertaken by Churchill Hui on behalf of Paragon Asra Housing Limited to ascertain the condition status of the four independent roofs and determine the extent of any necessary maintenance works required. The document forms part of a Listed Building Consent application and should be read in conjunction with all other specification items and drawing information.



1



2



3



4



5



6



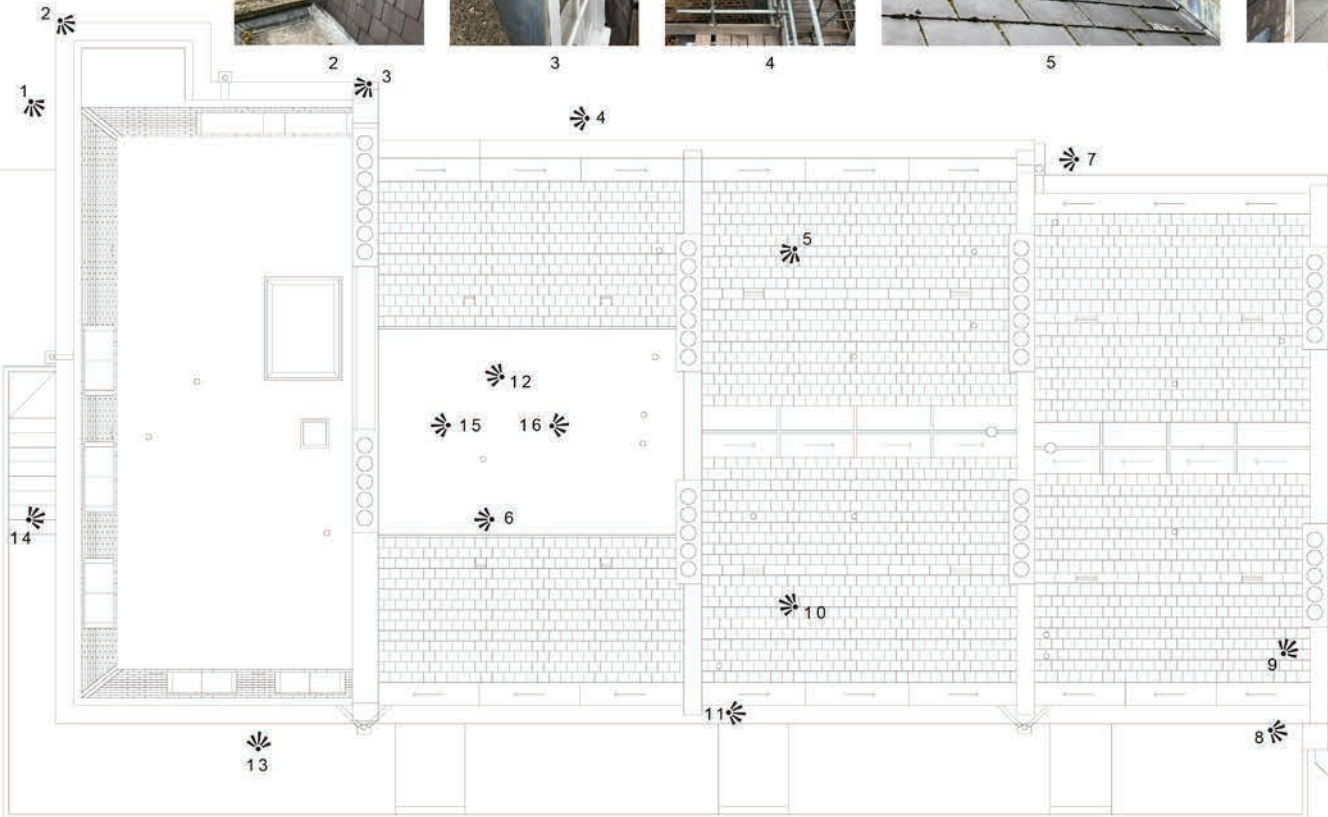
7



16



15



ROOF PLAN:
PHOTO REFERENCE



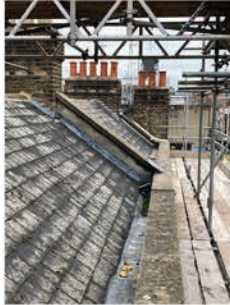
14



13



12



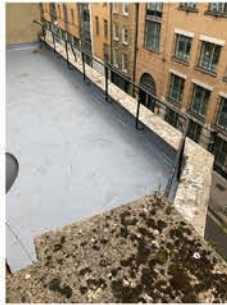
11



10



9



8

1. Mansard Roof Hips and Slates

Location: 3 Guilford Place - Side Elevation

Date: 7th October 2021

The pointing to several of the half round hip tiles to the front and rear of the mansard roof is loose or missing. There is moss and lichen growth to the hip tiles which is encroaching from the parapet gutters and coping stones.

The lead flashings over the ridge of the mansard are lifting where it laps, but generally this is securely fixed.

Several slates have been displaced as a result of past remedial works with some towards the top of the mansard have fallen out of line with those below. Some of these show signs of becoming unsecured. Where in-line ventilation and lead flashings have been introduced there are broken and lifted slates that are not securely fixed to the roof structure. In some individual instances synthetic tiles have been used as a replacement for the original natural slates.



2. Leadwork Detailing to Mansard Dormer Windows

Location: 3 Guilford Place - Rear Elevation

Date: 7th October 2021

The lead trim to the mansard perimeter is lifting at joints around No.3 Guilford Place but is generally securely fixed. Aesthetically, the leadwork has become stained due to weathering processes.

The vertical slates between the two rear dormers are sound and the lead soakers to the cheeks are well secured.

There is no drip detail to the seven dormer window heads on the front, flank and rear elevations of the mansard roof. With the vertical leadwork returning almost flush with the face of the timber window frame there is evidence of water ingress to the head of the timber opening. This water damage has begun to rot the window frame.

3. Leadwork Detailing to Mansard Dormer Windows (cont.)

Location: 3 Guilford Place - Rear Elevation

Date: 7th October 2021

The dormer abutments to the mansard at both the head and dormer cheeks appear to be sound. The profile of some dormer heads bow slightly towards the centre of the window, forcing ponded water to drip down the face of the glazing; however, water damage is restricted by the shallow depth of the dormer heads. The leadwork flashings to the cheeks have been renewed more recently than other elements, and these appear to be without fault.

Several slates have been displaced as a result of past remedial works. Where lead flashings have been introduced there are broken and unsecured slates that do not align with others.



4. Flat Roof and Concrete Coping Stones

Location: 3 Guilford Place - Rear Elevation
Date: 7th October 2021

There is moss and lichen growth to the concrete coping stones surrounding the rear of No.3 Guilford Place, although some lengths of copings show evidence of having recently been cleaned.

The asphalt flat roofing to the rear stairwell laps over the leadwork of the parapet gutter. In the location of the stepped leadwork the asphalt has become damaged with a tear to the surface. It is unclear if water ingress to the property has occurred at this location.

The flat roof also appears to have suffered from ponding damage in the corner of the parapet where surface water has not drained efficiently. This has led to discolouration of the asphalt and increased moss growth where leaves and other natural debris has collected.



5. Synthetic Slates and Brickwork Party Wall Abutment

Location: 5 Guilford Place - Rear Elevation
Date: 7th October 2021

The synthetic slates to the roofs of No.5 and 6 Guilford Place are severely discoloured to the western facing roof pitches, where the surface finish has become worn. There is notable moss growth to the synthetic slate tiling on the eastern roof pitches. Replacement synthetic slates are located in places where remedial works have been undertaken, with no clear signs of recurring damage.

The leadwork abutments to the brickwork chimneys are in a satisfactory condition despite mortar staining and general efflorescence. The flashing to the northern abutment with the chimney of No.4 Guilford Place is set within a 150mm deep mortar strip that covers a previous roofing connection detail to the party wall. The mortar is in good condition and the leadwork flashing is securely fixed.

6. Chimney Stacks, Pots and Flaunching

Location: 3 & 4 Guilford Place - Central Parapet / Chimney
Date: 7th October 2021

The condition of the flaunching to all chimney stacks is good, with all pots appearing to be secure in their bedding. Some flaunchings are covered with slight lichen growth on the northern face which should be removed during the course of any works.

All chimney pots have been filled with a mortar mix that appears in good condition, although moss and lichen growth may disguise cracking. Previous heavy pointing to the chimney brickwork is showing no signs of decay despite having poor aesthetic quality.

Numerous satellite dishes and aerials are attached to the southern side of chimney stacks to both the front and back of the building. Despite unsecured cabling, these fixtures do not appear to have caused damage to the structure or weathering of the chimneys.



7. Lead Parapet Gutters and Hopper

Location: 5 & 6 Guilford Place - Rear Elevation

Date: 7th October 2021

Generally, the leadwork to guttering requires attention in the form of cleaning. The combination of water ponding and collection of vegetation has resulted the degraded state of some gutter areas.

In the case of the large cast iron hopper located to the rear between no.5 and no.6, the bed of the outlet requires replacement as the leaking cracked lead has resulted in deterioration of the timber substrate. Where the lead has been worked to provide flashings to the hopper outlets this is no longer tight to the brickwork and the surrounding pointing does not fully secure the lead.

In situations where lead has been folded to form details in susceptible locations the lead has begun to split on the folds with water tracking through the split and into the substrate of the valley gutters.



8. Neighbouring Roof Coverings

Location: 6 Guilford Place - Front Elevation

Date: 7th October 2021

The flat roof of the adjoining building is at a lower level and has recently been re-finished with a liquid applied membrane. The gradient of the roof falls to the rear and the large expanse, coupled with easy access, prevents the build up of debris in critical locations such as outlets.

Coping stones to the front elevation show signs of historical cleaning but several are cracked and damaged.

Although The Lamb is not a listed building, the flat roofing elements are akin to those of No.3 and No.4 Guilford Place and are equally hidden/visible within the Bloomsbury Conservation Area

9. Lead Flashing to Brickwork and Copings

Location: 6 Guilford Place - Front Elevation

Date: 7th October 2021

Pointing of the leadwork is of a reduced standard and, along with poor aesthetics, recent remedial leadwork is not in accordance with Lead Sheet Association details. Some areas of lead cover flashings are lifting from the brickwork face and may invite future water ingress.

Heavy pointing has been used as a weathering material in instances where a continuation of the leadwork detailing would have been considered the correct solution.

To address previous failings, bituminous black paint has been applied to some coping stone junctions, but this is now either cracking or has partially eroded over time.



10. Synthetic Slates, Ridges Tiles and Roof Access

Location: 4 & 5 Guilford Place - Central Valley

Date: 7th October 2021

The pointing to the ridge tiles of No.5 Guilford Place is in a satisfactory condition but some of the synthetic slates beneath the ridge are broken and potentially unsecured where re-pointing has recently been undertaken. The pointing to the ridge of No.6 Guilford Place is considerably older but still in an adequate condition. There are two proprietary ridge tile ventilators per roof pitch (8no. in total) that all appear undamaged and in working condition.

Access to the valley guttering over No.5 (and No.6) Guilford Place is achieved via the reduced height timber door from the crown roof void over no.4 Guilford Place. The door is adequately secure and in a sound condition for the purpose of providing access to the roof area, although the frame is in need of redecoration. The door is to be retained for future maintenance access following completion of the proposed works.



11. Synthetic Slates, Parapets and Coping Stones

Location: 5 & 6 Guilford Place - Front Elevation

Date: 7th October 2021

The stepped parapet gutters to the front elevation of the building have previously been repaired with a liquid membrane being applied over failed leadwork. This membrane is now torn or cracked in critical locations and requires fully stripping. Ponding moisture at the hopper outlets encourages moss growth along with the problematic collection of debris in the gutters from broken tiles and pointing.

Moss and lichen growth is prominent on the concrete coping stones to the rear of the roofs facing east. The copings to the front of the roofs require cleaning but vegetation growth is minimal. No copings show signs of being loose despite some pointing being damaged.

12. Felt Crown Roof, Abutment and Ventilation

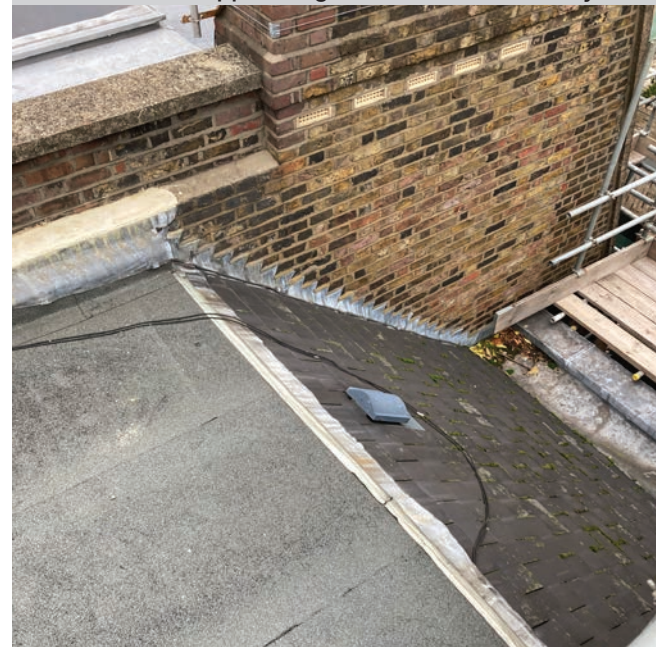
Location: 4 Guilford Place

Date: 7th October 2021 - Rear Elevation / Party Wall

The felt crown roof covering to No.4 Guilford Place is showing signs of wear at the joints, with the felt lifting across the seam from front to back of the roof. At the mansard ridge the horizontal felt has been flashed to the previous leadwork with an adhesive tape that is losing adhesion to the felt. This is evidently a temporary remediation to works that have failed and are now failing once again.

The stepped lead flashing to the party wall and chimney of No.3 Guilford Place is in good condition but the cover flashings over the felt roofing abutment is lifting in places.

Proprietary in-line ventilators in a contrasting synthetic colour have been installed within the pitch of the crown roof structure to provide cross ventilation to the roof void. Two are installed to the front roof pitch with a further two to the rear roof. All appear in good condition externally.



13. Ventilation and Flashing to Slate Roof

Location: 3 Guilford Place - Front Elevation
Date: 7th October 2021

Four in-line ventilators have been introduced to the mansard roof of No.3 Guilford Place on the north and west facing pitches. The natural slates on the mansard are interrupted by the proprietary vents and their synthetic cover tile. These synthetic tiles have become warped over time and the plastic vented components are degrading at the air intake/outlet.

Where this cross ventilation has been installed the surrounding slates are often damaged and out of line from those below. Many of the cut slates are broken and are not securely fixed, with some smaller elements loose.

Leadwork flashings to the upper perimeter of the mansard have lifted around all three sides and the bituminous roof covering is untidily applied in places and spills over onto the visible elevation of the leadwork.



14. Leadwork Detailing to Mansard Dormer Windows

Location: 3 Guilford Place - Side Elevation
Date: 7th October 2021

There is no drip detail to the seven dormer window heads on the front, flank and rear elevations of the mansard roof. With the vertical leadwork returning almost flush with the face of the timber window frame there is evidence of water ingress to the head of the timber opening. This water damage has begun to rot the window frame.

The intended fall of the dormer heads is side-to-side, resulting in water run-off staining the dormer cheeks. Despite aging, the functioning of the lead soakers appears to be satisfactory.

Poor redecoration of the sash windows has caused artificial paint damage to the leadwork and surrounding slates.

15. Rooflight and Kerb Detail

Location: 3 Guilford Place - Centre Roof
Date: 7th October 2021

The rooflight located within the flat section of the mansard roof above no.3 Guilford Place is situated over a tank room that serves the block. As access into this space from within the communal stairwell is very compromised via a small hatch, the rooflight has been utilised to provide servicable access to the pipework and tanks.

Remedial works have been carried out surrounding the kerb detail using strip patching of an EPDM roofing membrane. The polycarbonate hood to the rooflight is discoloured and semi-obsured but the general weatherings to the kerb and it's flashings are in good condition.

Installation of a new water tank to this area will require a fully-functioning openable access hatch to enable improved maintenance access in the future.



16. Valley Guttering

Location: 5 & 6 Guilford Place - Central Valley

Date: 7th October 2021

The 1 metre wide valley gutters that span between the pitched roofs of No.5 and 6 Guilford Place are in disrepair following previous attempts to address necessary remedial works. The liquid applied membrane which has been overlaid on the failed lead guttering beneath has begun to crack in corner folds creating water ingress opportunities.

Pockets of swelling to the membrane and substrate in these locations serves as evidence of moisture in the roof build-up. Damage to the substrate is unknown but the quantity of tears to the fabric suggests that water will have been penetrating the plywood deck below for a considerable time.



There is a single rainwater outlet to each stepped valley gutter which drains through the plywood (on either side of the dividing parapet wall) and out to the rear parapet of the building via the roof void.

Both outlets are heavily submerged in debris from the neighbouring tree. The grilles to the outlets are blocked and there is no protection to prevent debris build-up recurring. As the large tree is in such close proximity to the building the problem escalates with the autumnal season. Once leaves and small branches enter the valley gutter there is no means of it being removed without human intervention.

Grosvenor House, 4-7 Station Road, Sunbury TW16 6SB
T 020 8891 9191 F 020 8891 9192 W churchill-hui.com

