

DARLING ASSOCIATES ARCHITECTS

Consented VS Proposed

DESIGN SUMMARY

Stephenson's Way

Land fronting Stephenson Way (to the rear of
222 Euston Road adjacent to 210 Euston Road)
London, NW1 2DA

Planning Permission Nr.: 2018/2316/P

March 2023

Revision A



Design Summary

Overview

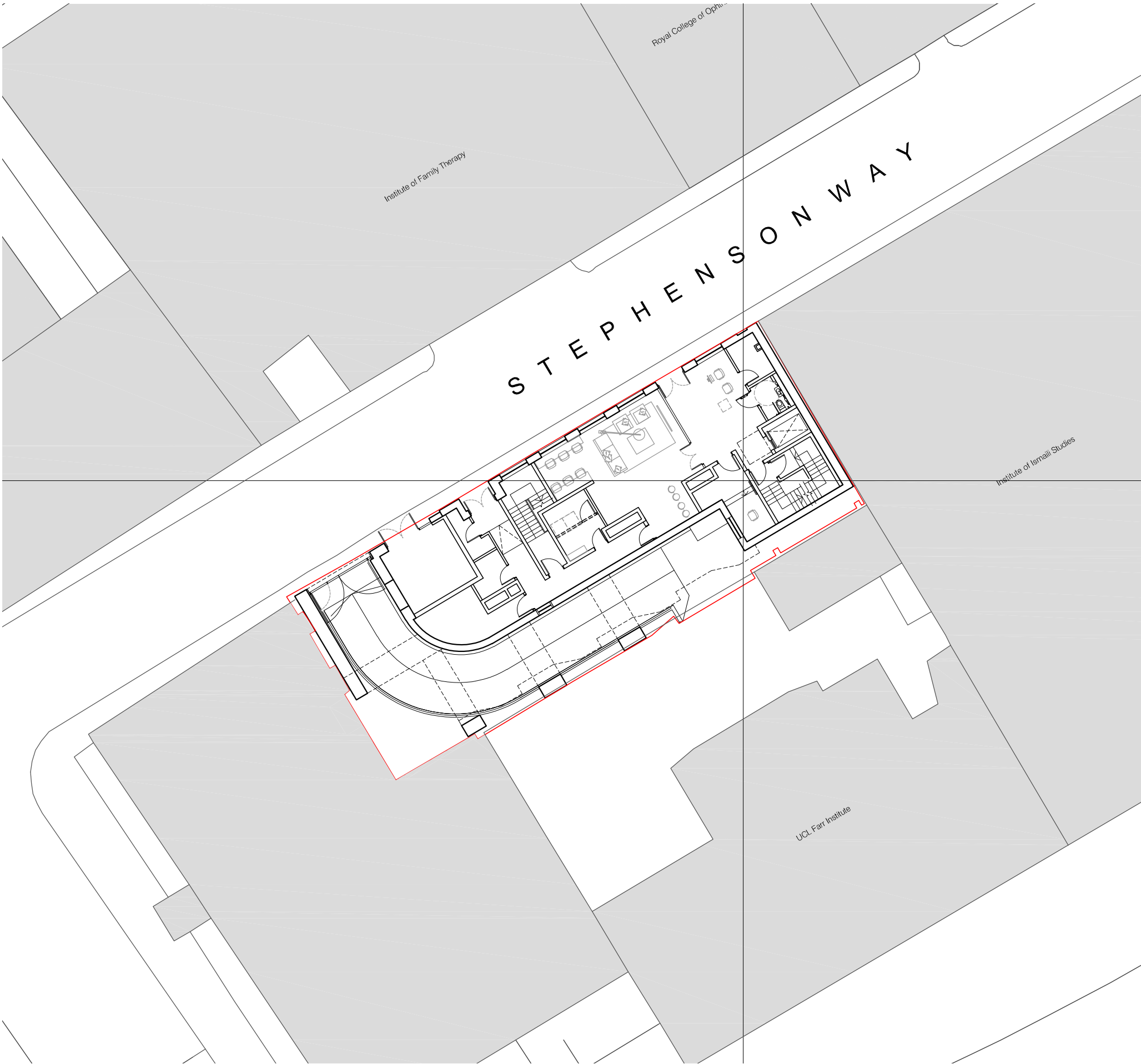
Since Planning Application 2018/2316/P was approved changes to important building safety legislation has come into place.

To ensure that the completed scheme provides safe habitation to its residence the client asked that the following design changes be included within the scheme.

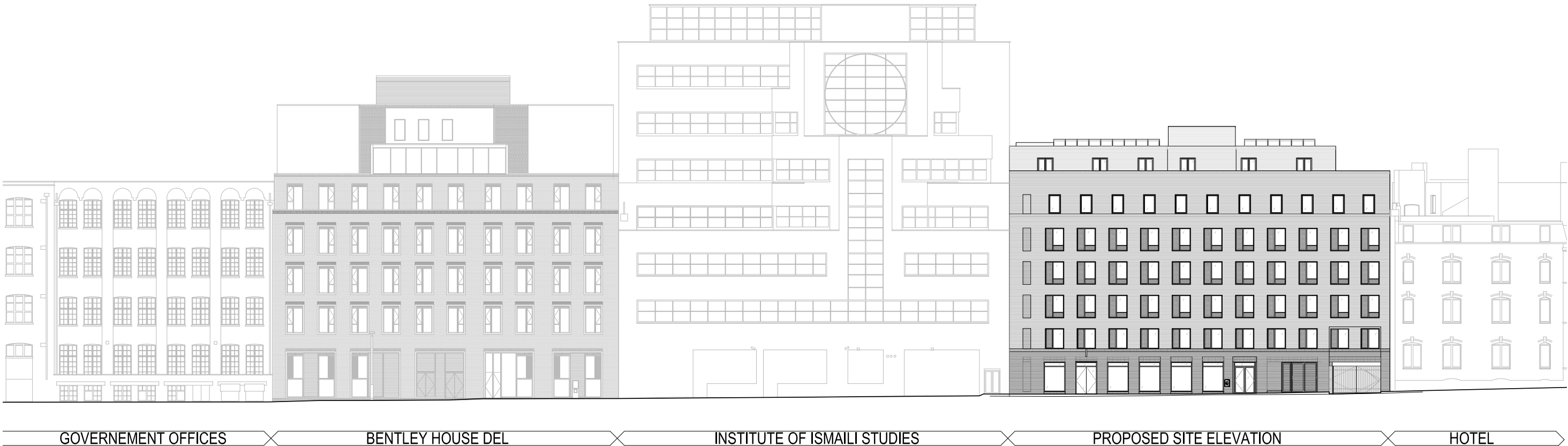
Design Changes:

1. Secondary stair core added to comply with building safety act and revised building regulations.
2. Increased plant areas and UKPN substation added to comply with revised building regulations and increased services requirements.
3. Reduction in numbers of studios from 78 to 72 rooms due to secondary stair core and removal of threedio's on the recommendations of the fire consultant as a result of revised building regulations, but still maintaining minimum room sizes required.
4. Relocation of platform lift to rear façade to allow for access to the bin store due to new stair location.
5. Minor correction to existing ground floor levels due to inaccurate original survey.
6. Minor amendments to floor levels due to detailed structural design.

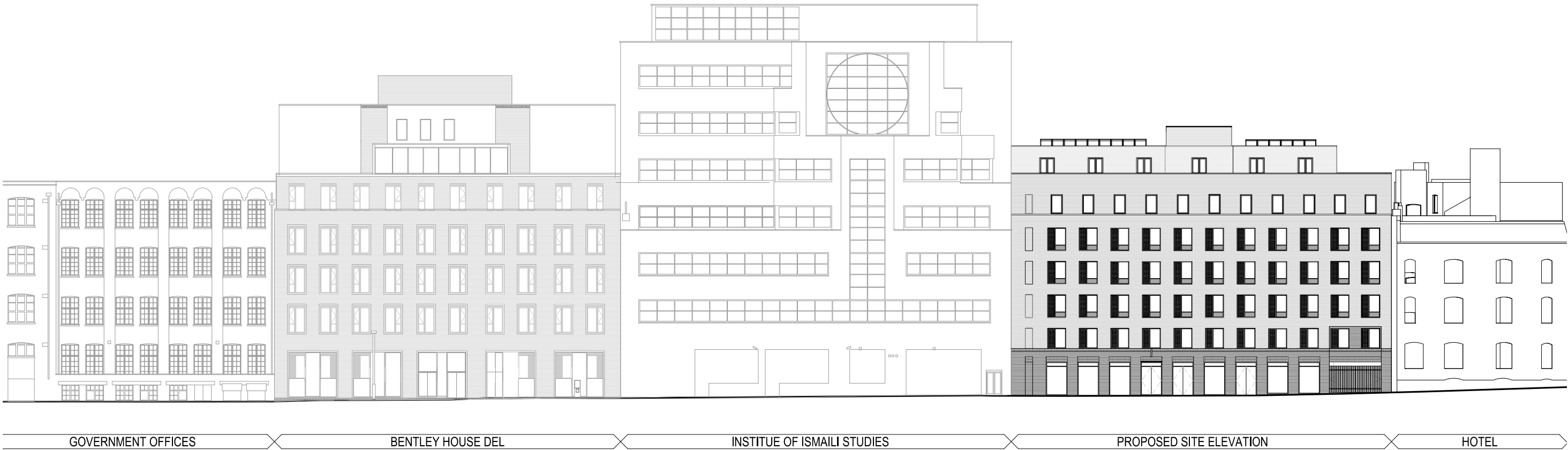
Whilst the internal layouts have been affected by the design changes listed above, the scale, mass and design of the consented scheme has been retained and only minor amendments made to suit the layout changes within.



Consented vs Proposed - Stephensons Way Street Elevation



Proposed Stephensons Way Street Elevation

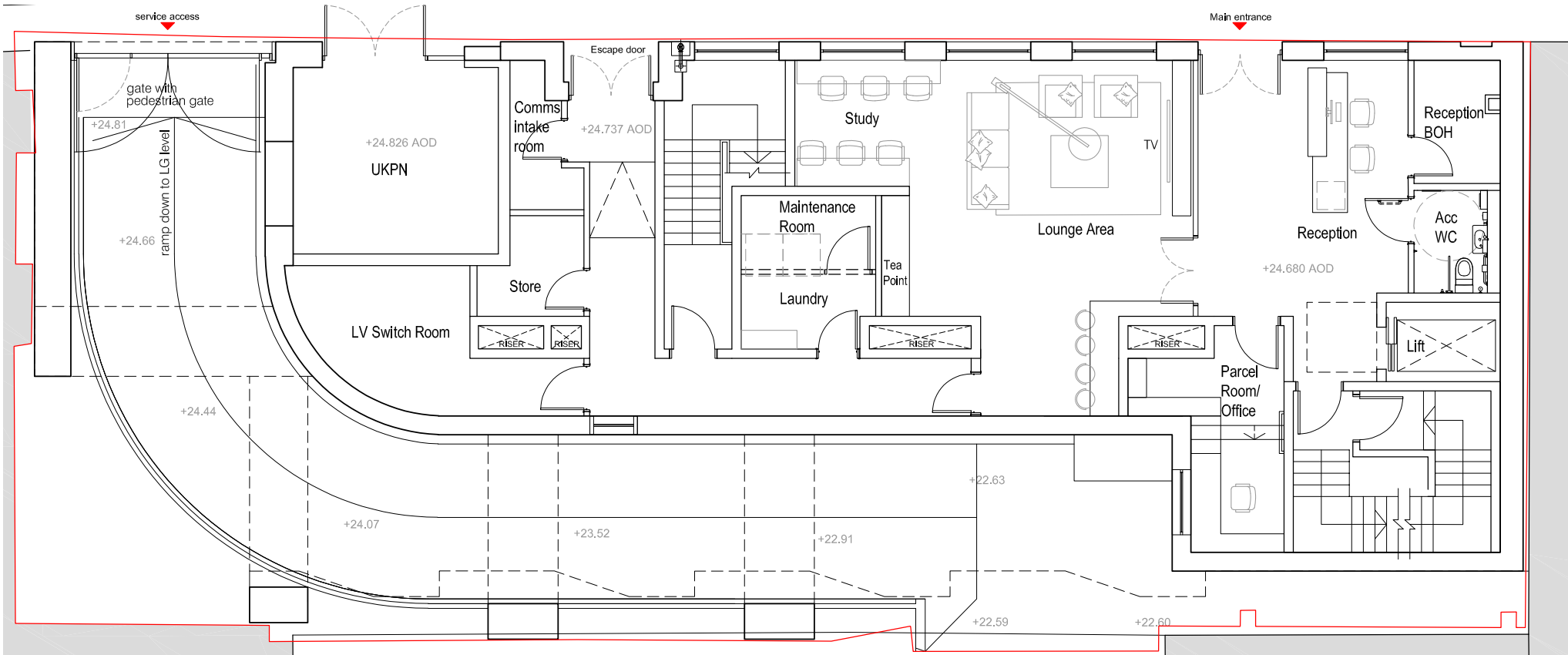


Consented Stephensons Way Street Elevation

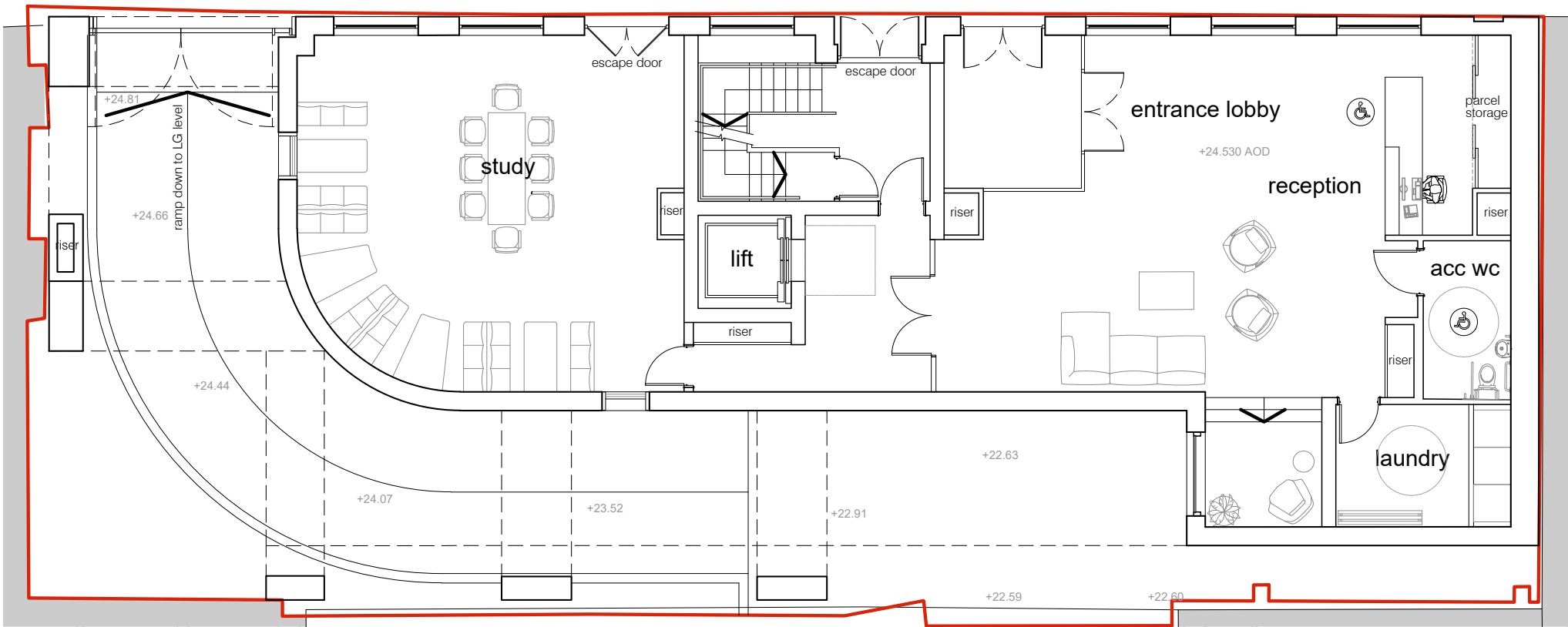
Consented vs Proposed - Ground Floor

Design Changes:

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Proposed Ground Floor

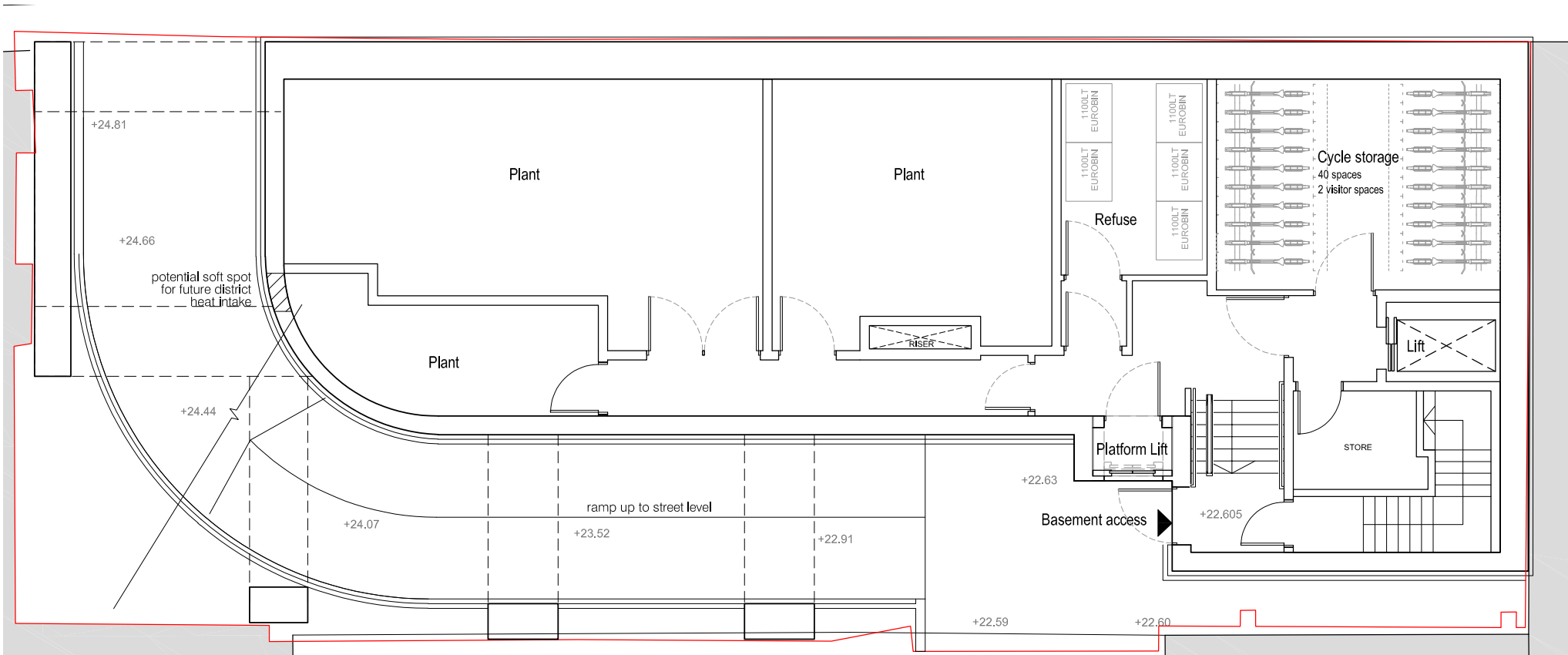


Consented Ground Floor

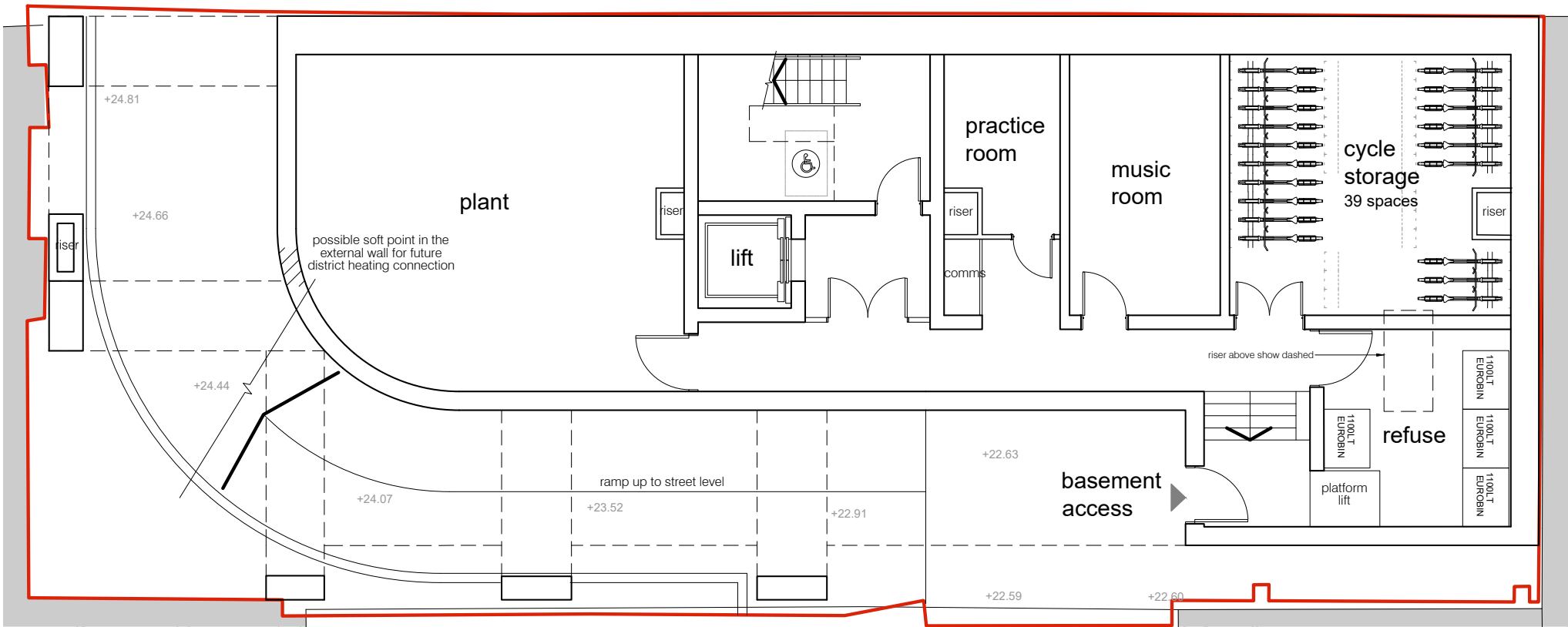
Consented vs Proposed - Basement Floor

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Proposed Basement

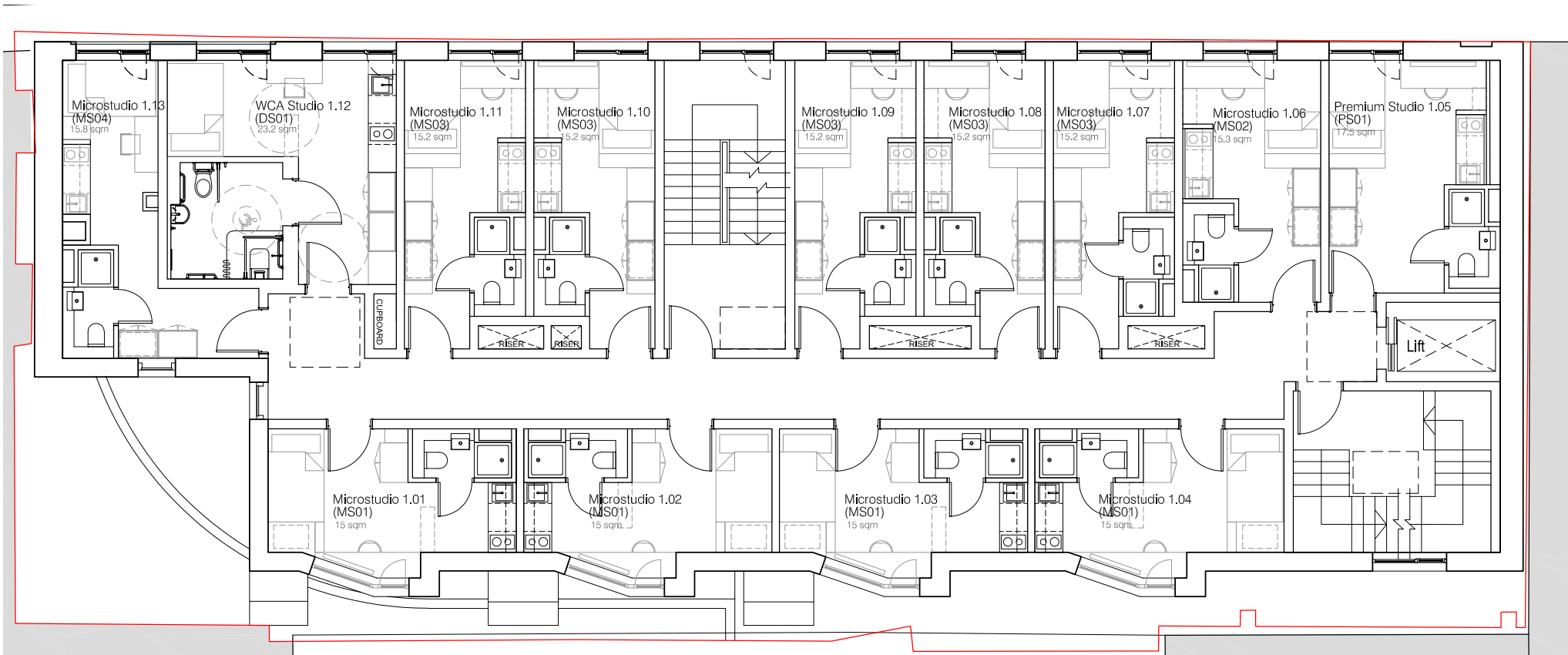


Consented Basement

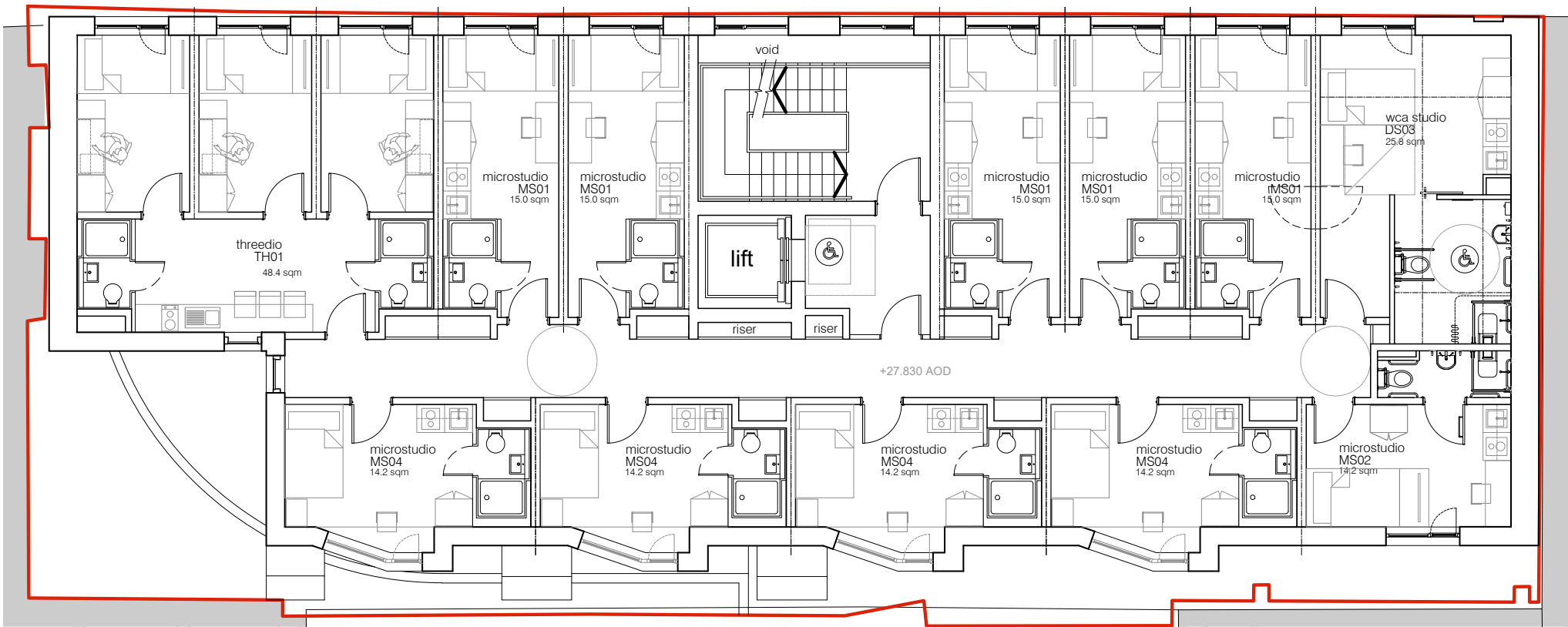
Consented vs Proposed - First Floor

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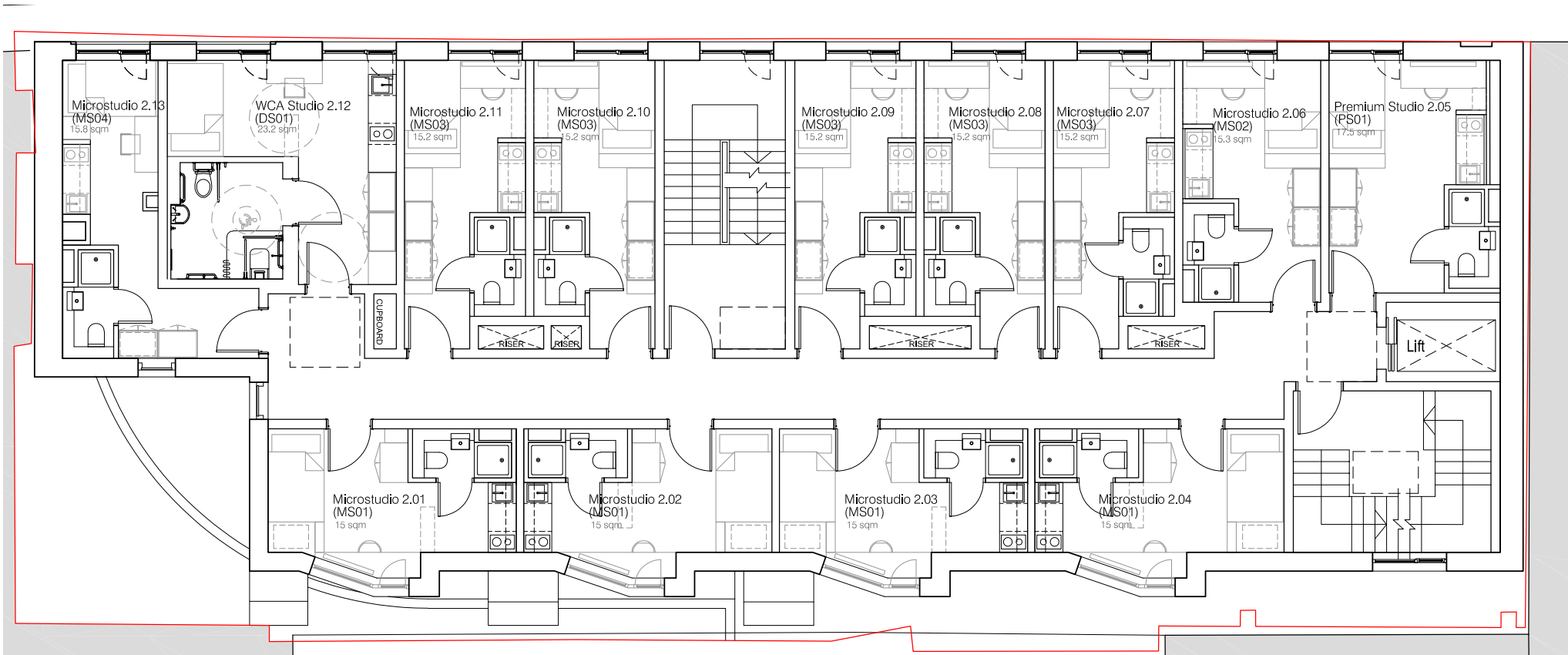


Consented First Floor

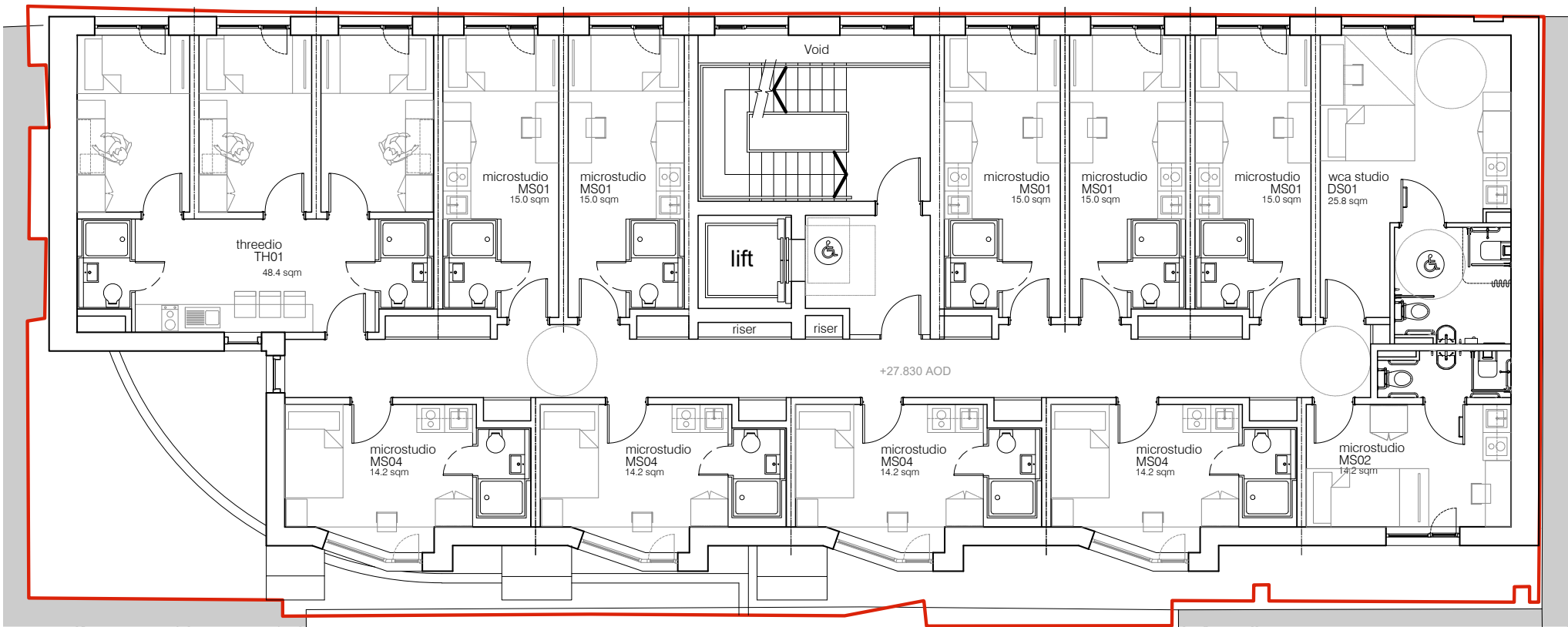
Consented vs Proposed - Second Floor

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Proposed Second Floor

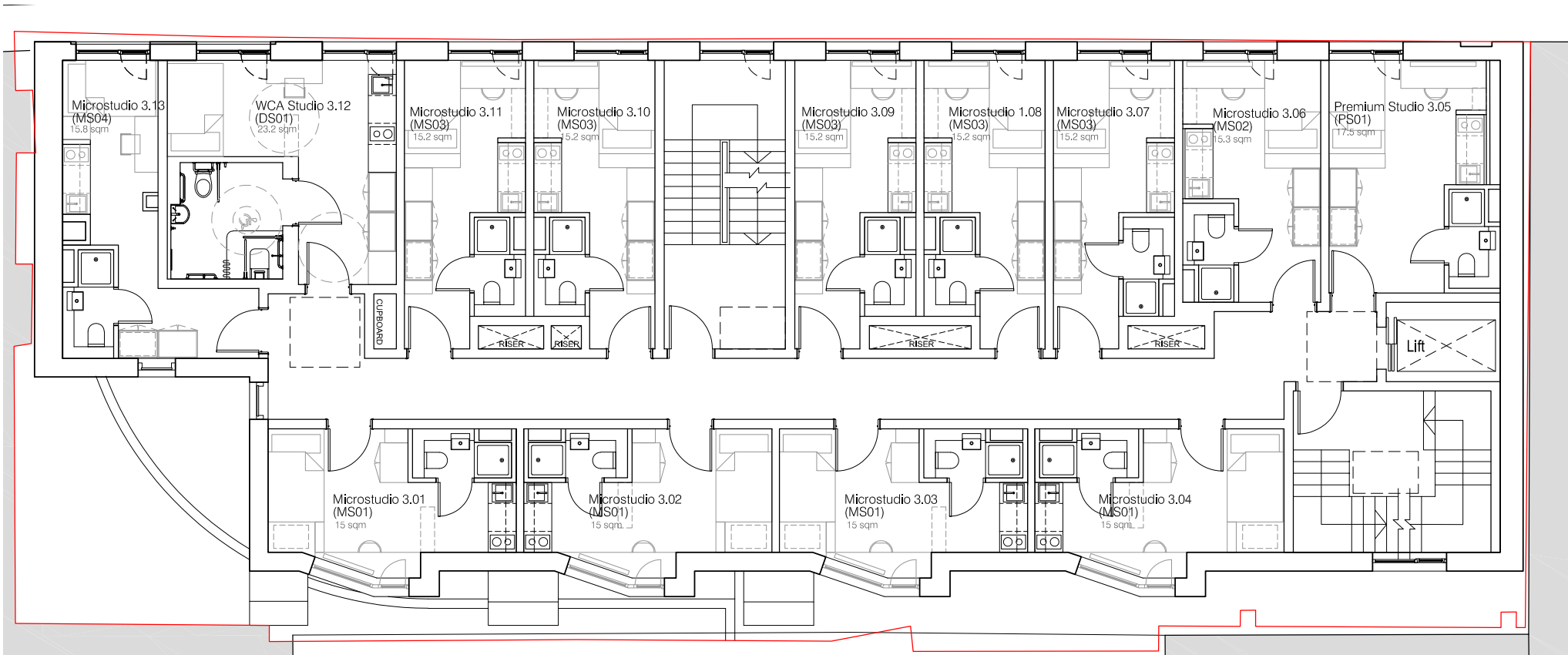


Consented Second Floor

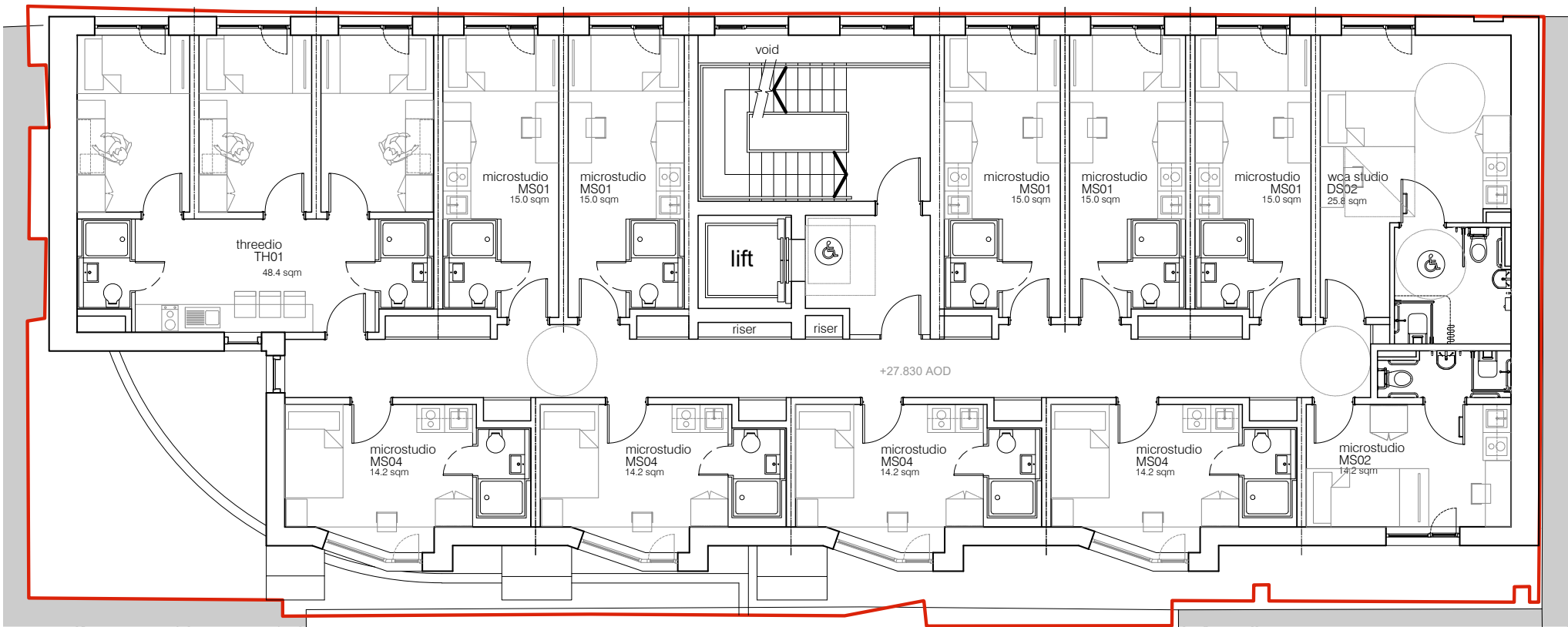
Consented vs Proposed - Third Floor

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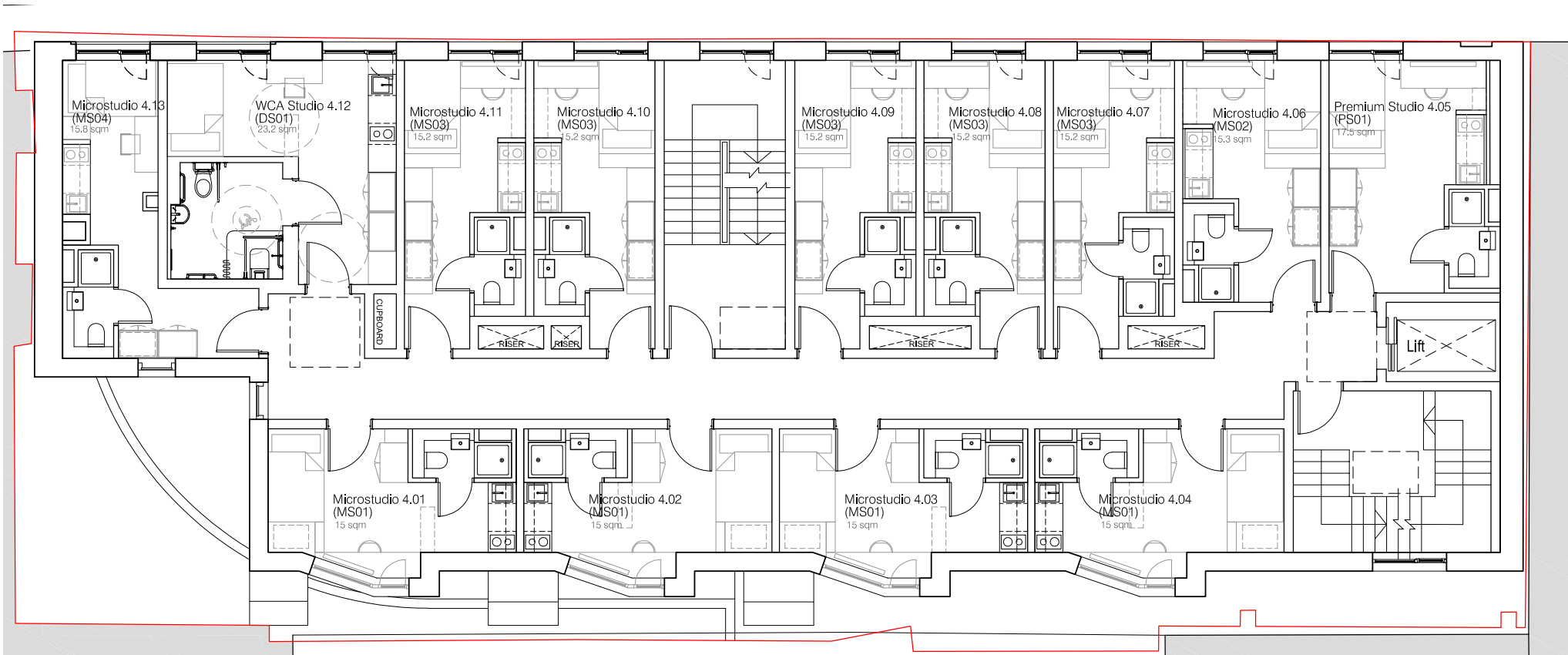


Consented Third Floor

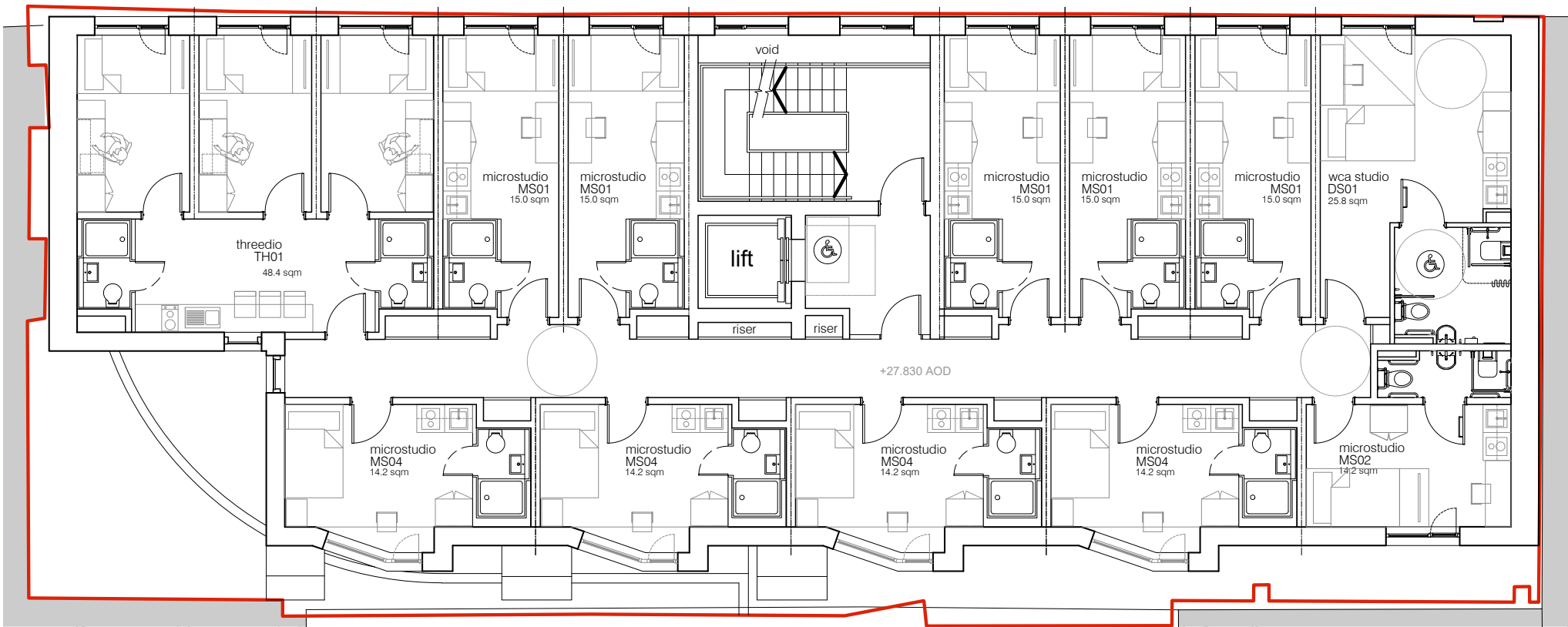
Consented vs Proposed - Fourth Floor

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Proposed Fourth Floor

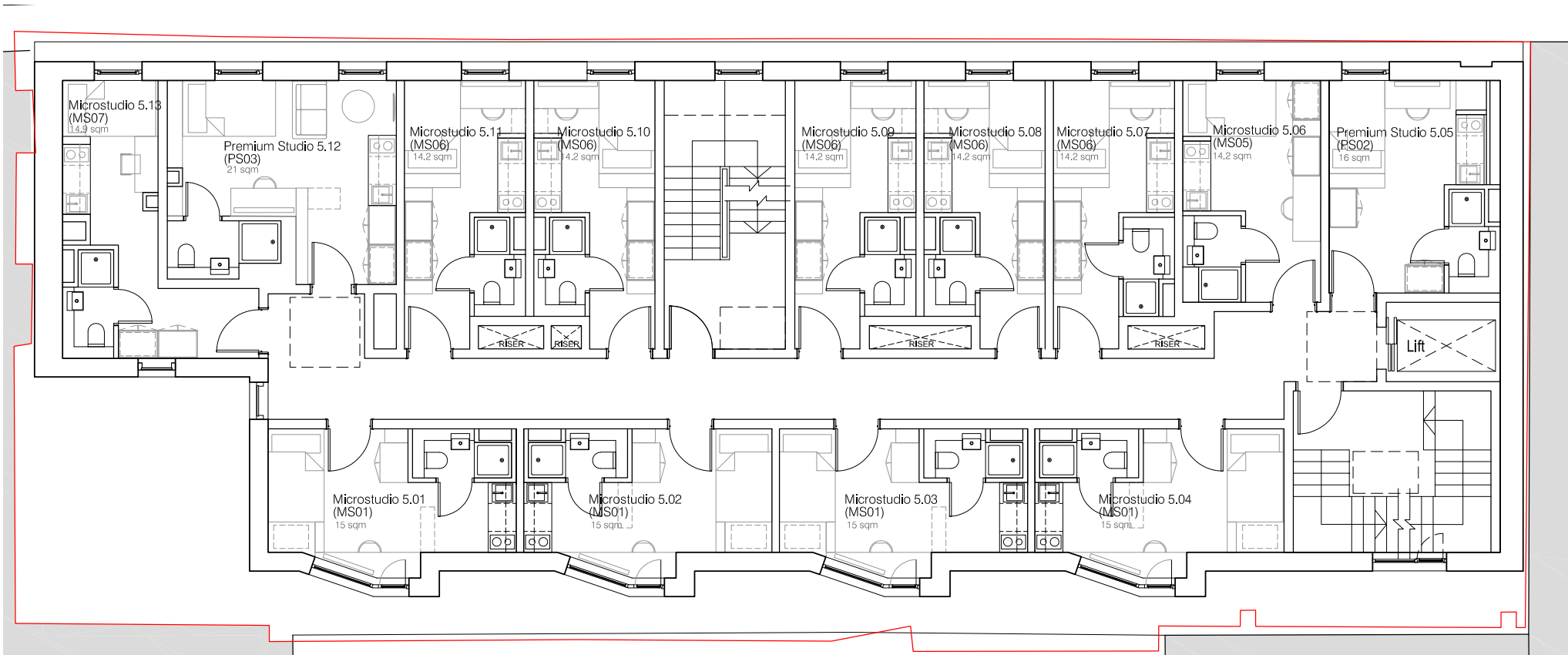


Consented Fourth Floor

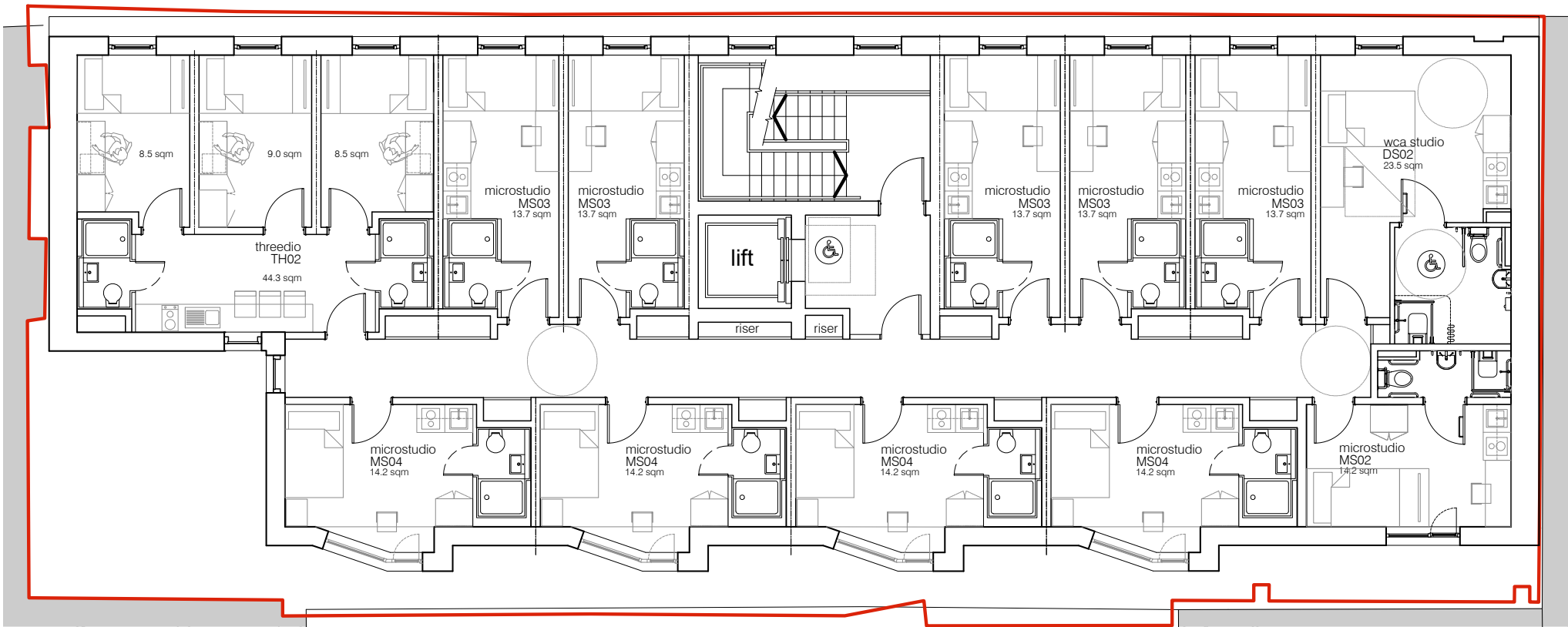
Consented vs Proposed - Fifth Floor

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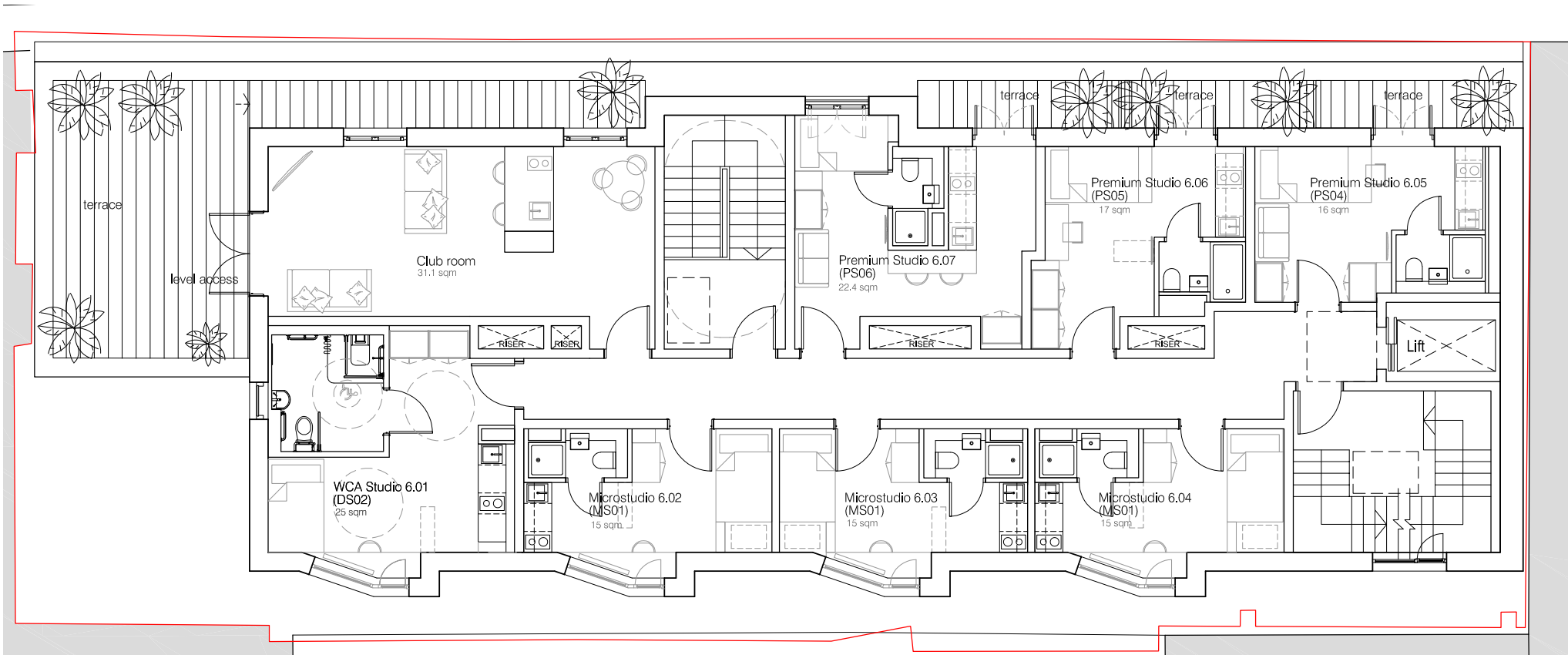


Consented Fifth Floor

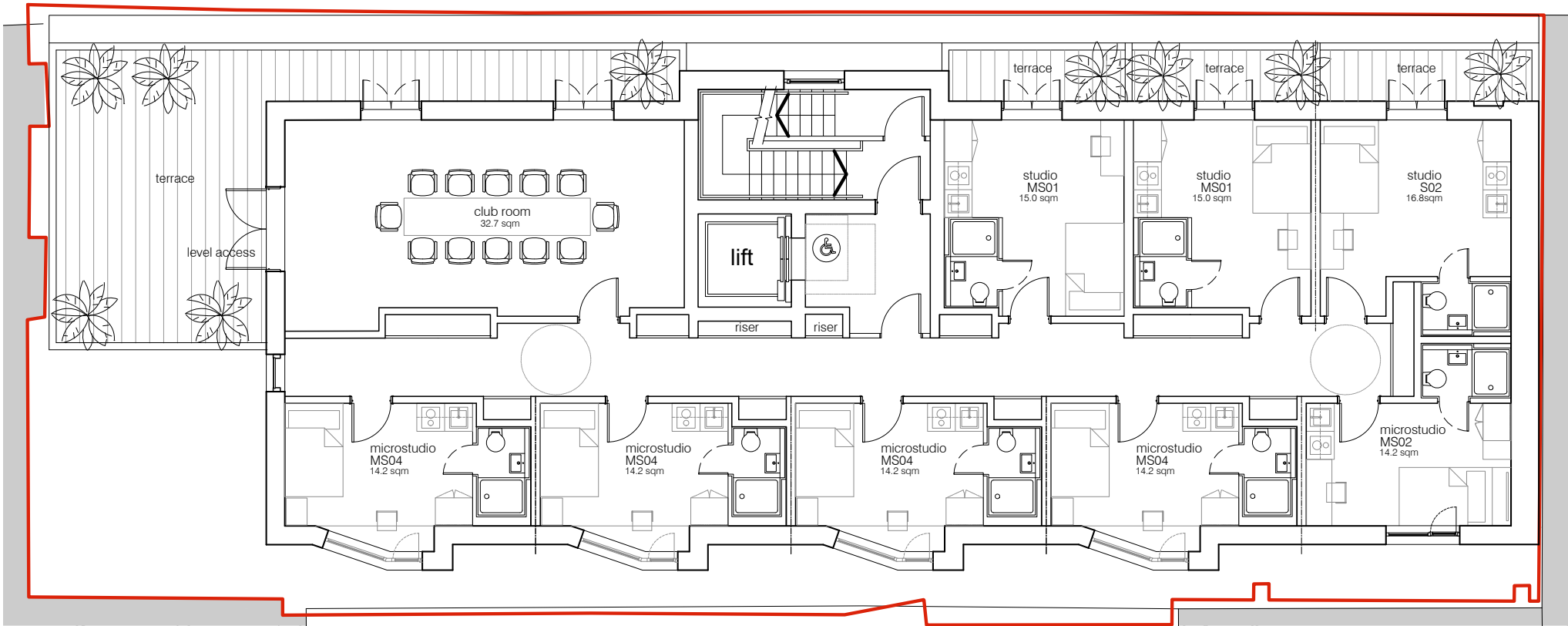
Consented vs Proposed - Sixth Floor

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Proposed Sixth Floor

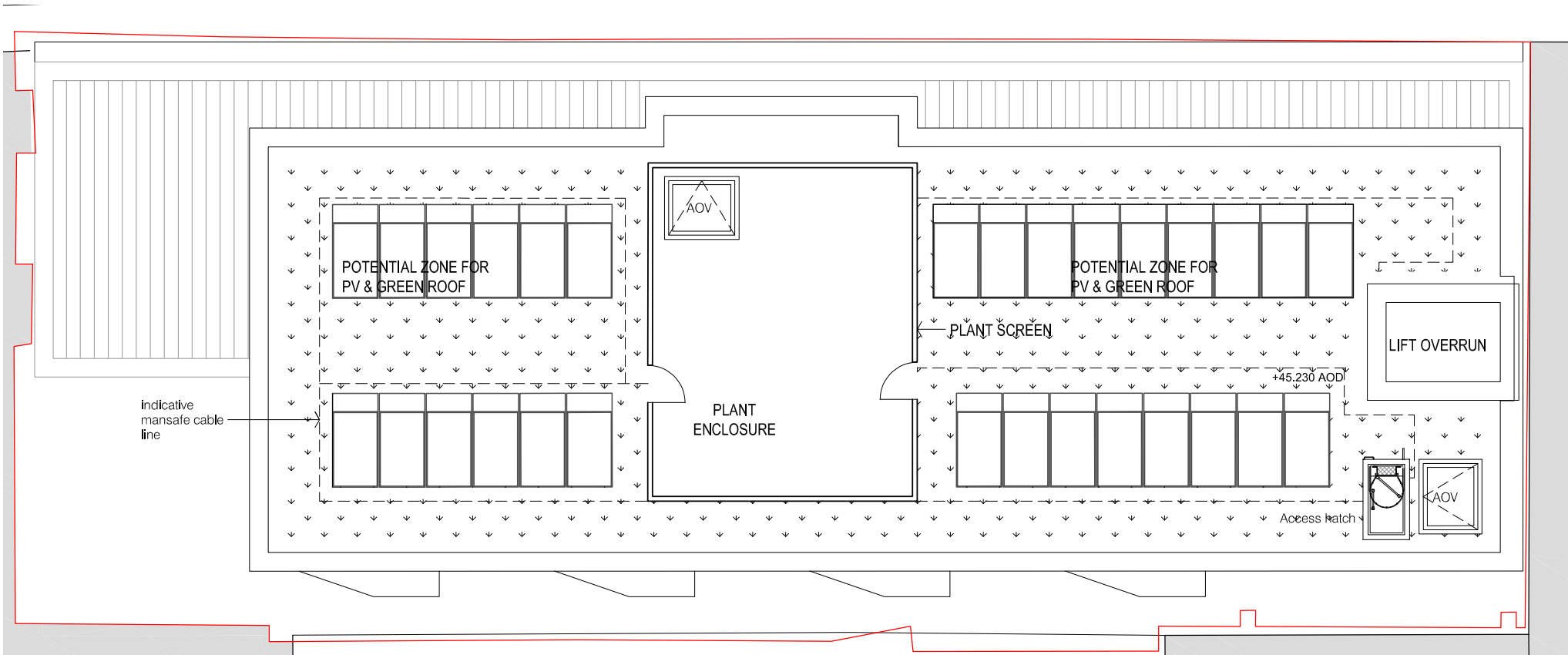


Consented Sixth Floor

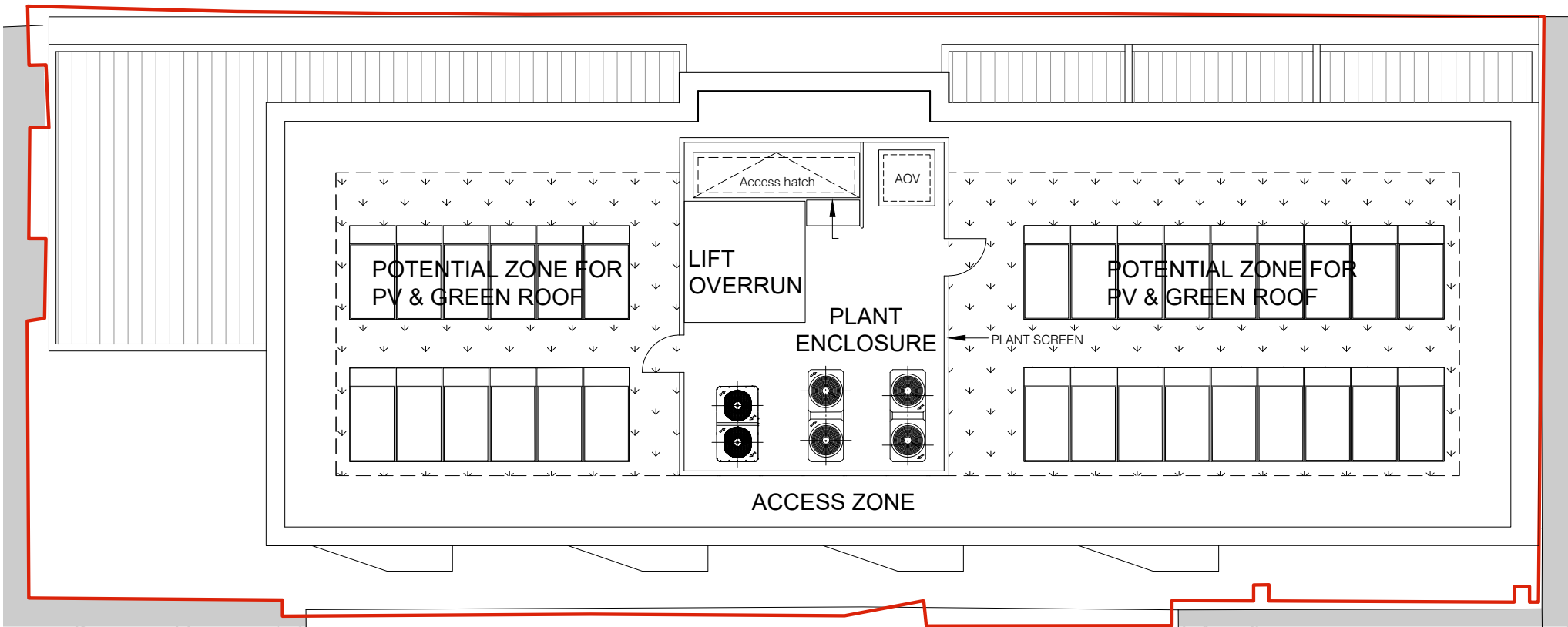
Consented vs Proposed - Roof Level

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Proposed Roof Level



Consented Roof Level

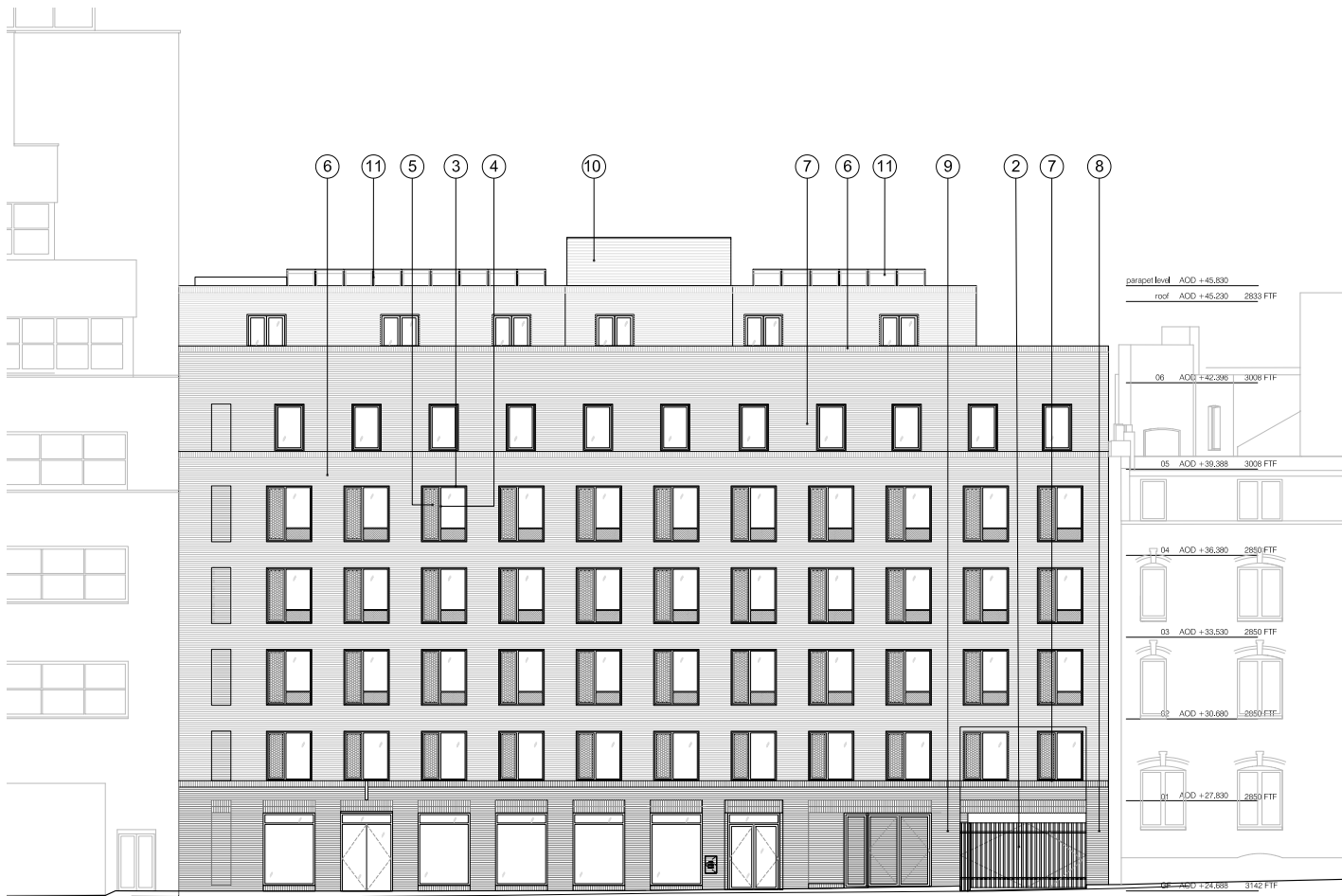
Consented vs Proposed - Front Elevation (Stephensons Way)

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Notes KEY

- 1 Coloured cement based render - colour off white or similar approved (side and rear elevations only)
- 2 Pre-finished metal pallsade car park entry gate: finish pearl gold metallic RAL 1036 or similar approved
- 3 Coloured cement based render to window reveals; colour off white or similar approved
- 4 PPC metal window surrounds and frames; pure white RAL 9010 or similar approved
- 5 Laser cut perforated metal vent screens with honeycomb hexagon cu out pattern; in pearl gold metallic RAL1036 or similar approved
- 6 Light tone 'London stock' brickwork soldier course with light/ natural grey raked mortar joints
- 7 Light tone 'London stock' brickwork with light/ natural grey raked mortar joints
- 8 Dark tone 'London stock' brickwork soldier course with black/ dark grey raked mortar joints
- 9 Dark tone 'London stock' brickwork with black/ dark grey raked mortar joints
- 10 Plant screen in pearl gold metallic RAL 1036 or RAL 9010 similar approved
- 11 Indicative Photo Voltaic layout



Proposed

Consented

Consented vs Proposed - Rear Elevation

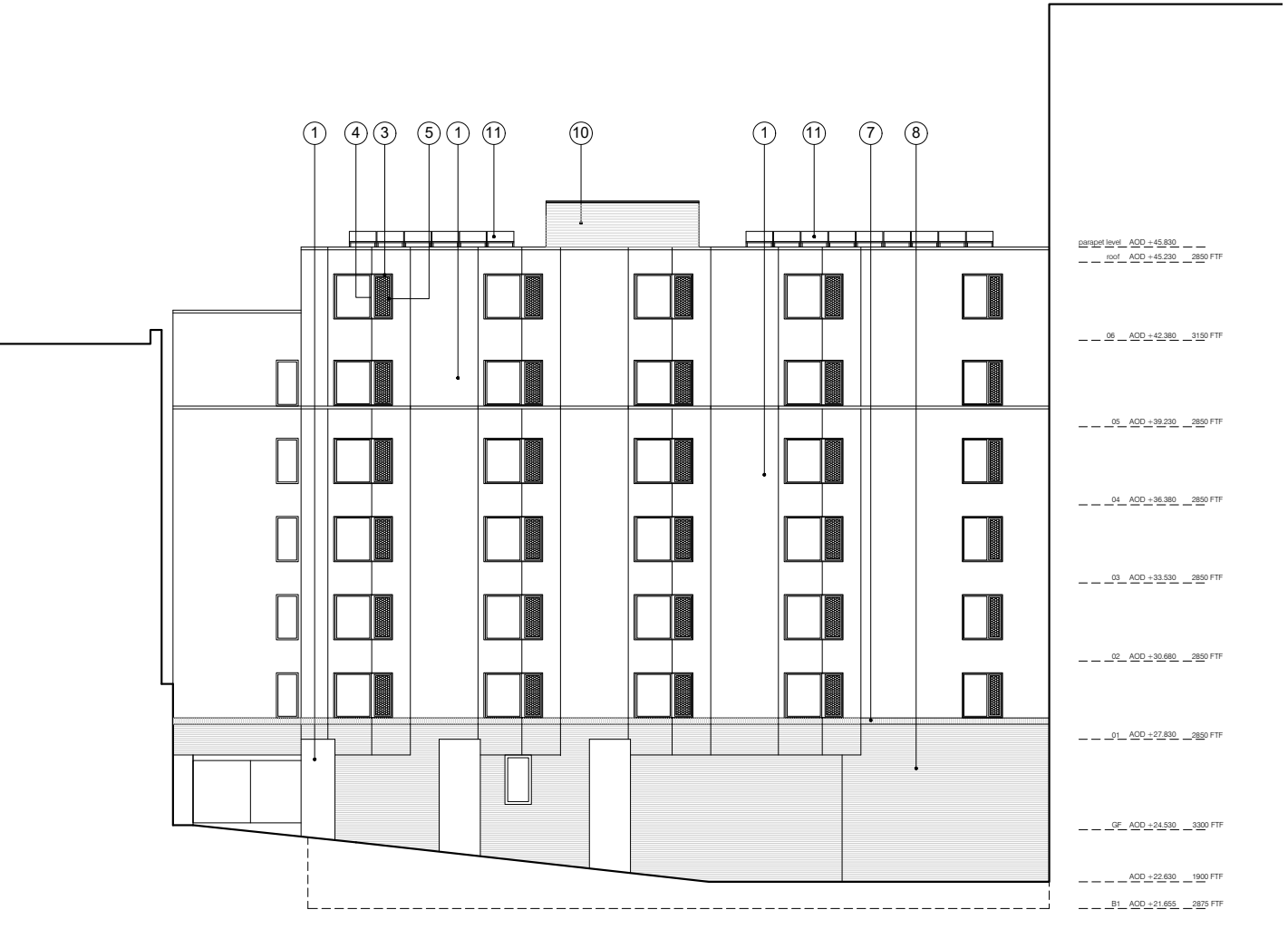
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Proposed

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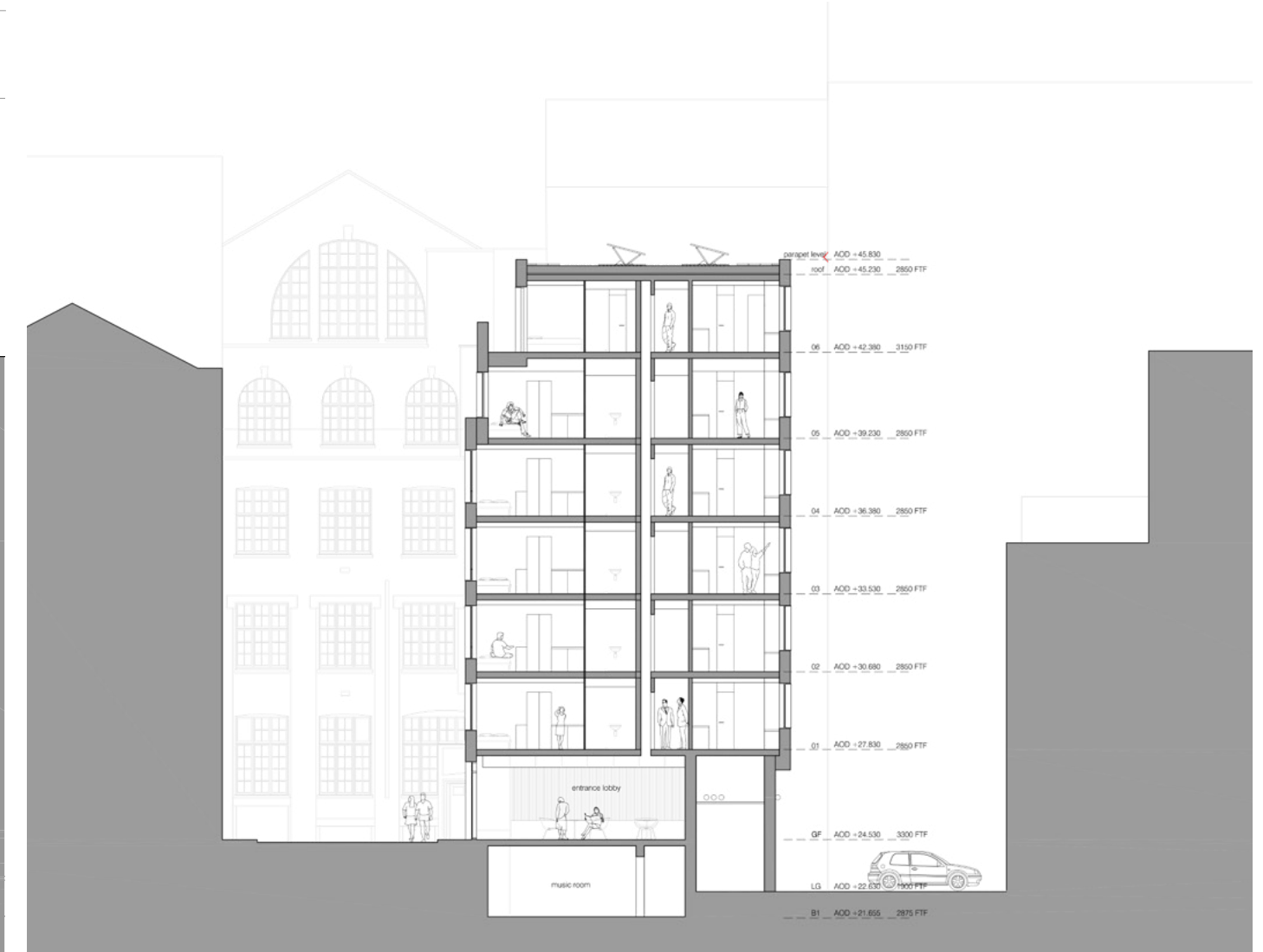
Consented vs Proposed - Section AA

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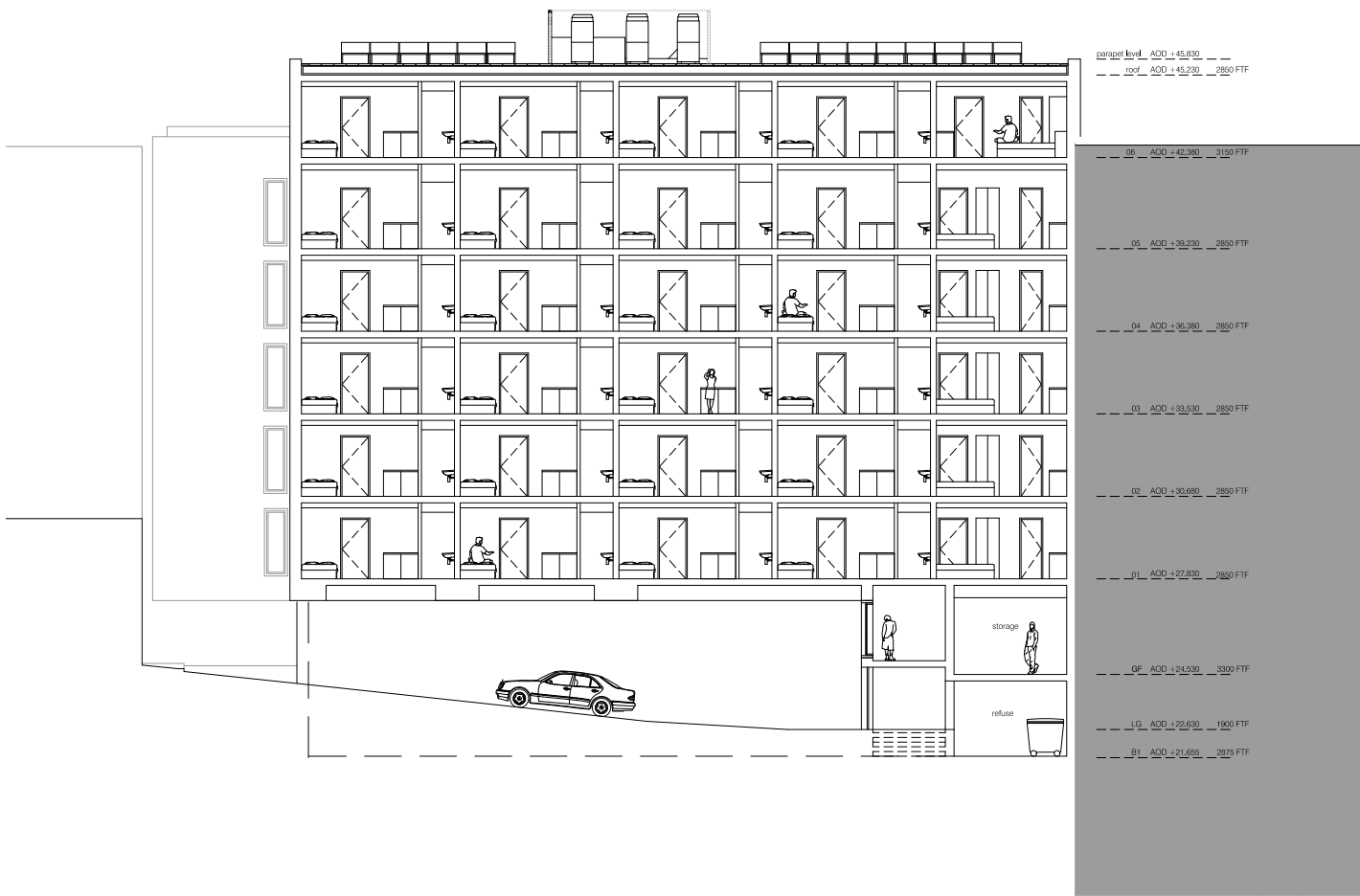
Consented vs Proposed - Section BB

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DARLING ASSOCIATES ARCHITECTS

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