



Arboricultural Implications Assessment

Proposed restoration and refurbishment works

4-6 Bedford Place

London

WC1B 5JD

Client: SAV Group

Date: March 2023

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1. Introduction

1.1 Scope of report

- 1.1.1 This report details the arboricultural implications of the proposed restoration and refurbishment of an existing hotel at 4-6 Bedford Place, London WC1B 5JD. It has been drawn up to comply with the planning requirements of the Local Planning Authority ('LPA'), the London Borough of Camden, which specify that an arboricultural implications assessment ('AIA') is submitted to accompany planning applications affecting sites where trees are present or are in the immediate vicinity. This is in line with the recommendations of British Standard BS 5837: 2012, *Trees in relation to design, demolition and construction – Recommendations* ('BS 5837').

1.2 Site description and proposals

- 1.2.1 The site comprises an existing hotel formed of three adjoining properties within a terrace block on the north-east side of Bedford Place, Mayfair. Each of the three units has a modest rear garden area, bounded to their sides by substantial brick boundary walls, and to the rear by a lower brick wall topped with a wrought iron palisade fence. Two of the garden areas are mostly paved, with steps down to lower ground/basement level, and with various raised brick planters and small plant borders, whilst the third is more overgrown. To the rear of the gardens, there is a communal garden/amenity area.
- 1.2.2 The proposed restoration and refurbishment works include internal reconfiguration, with ground and lower ground floor rear extensions; repairs and replacement of the roof; a new lift overrun; alterations to the front and rear facades; and the installation of plant and landscaping works to the rear garden.

1.3 Tree survey

- 1.3.1 The trees on the site were surveyed by Michael Roberts Dip Arb L4 on the 14th July 2022. Their details are set out in the tree schedule at **Appendix 1** to this report.
- 1.3.2 Since the date of the survey, approval was granted by Camden Council on the 8th August 2022 for the removal of the Tree of Heaven (*Ailanthus altissima*) in the rear garden of 6 Bedford Place which was recorded as tree 1 within the survey, following the submission of a Section 211 Notification of intended tree works within a Conservation Area, under reference 2022/2051/T.
- 1.3.3 Tree 7 within the survey, a Leyland Cypress (*X Cupressocyparis leylandii*) within the rear garden area of 4 Bedford Place, is currently the subject of a S211 Notification of its intended removal, under reference 2023/0784/T, submitted on the 23rd February 2023. The six-week notification period is due to expire on the 6th April 2023.

- 1.3.4 Trees 2 to 5 within the survey comprise four small Cabbage Palms (*Cordyline australis*), three of which are within raised brick planters close to the rear elevation of the building, and one of which is adjacent to the rear boundary wall and fencing. The tallest of these (tree 2) is 6m in height, the others being between 3m to 4m only. Tree 6 is another Leyland Cypress, also in the rear of 4 Bedford Place, but considerably smaller than tree 7, and suppressed by its larger neighbour.
- 1.3.5 Due to their small sizes, indifferent quality, and limited public visibility or landscape value, all the trees recorded were assigned a category 'C' grading under the BS 5837 categorisation system.

1.4 Statutory protection

- 1.4.1 We understand that no trees within the site are the subject of a Tree Preservation Order ('TPO'), but that the site is within a Conservation Area.

2. Arboricultural implications assessment (AIA)

2.1 Basis of assessment

- 2.1.1 The tree removals plan ('TRP') at **Appendix 2** shows the ground floor plan of the finalized proposals overlaid onto the tree locations and constraints plan derived from the tree survey, and shows the implications of the scheme for the trees surveyed. The assessment below reflects this drawing.

2.2 Tree removals

- 2.2.1 The proposals will result in the removal of the remaining trees in the survey, as listed in *Table 1* below.

Tree no.	Species	Height	BS category	Work required	Reason for work
2	Cabbage Palm	6m	C	Remove	Provision of lightwell to lower ground/basement floor
3	Cabbage Palm	3m	C	Remove	Locations of air-source heat pumps
4-5	Cabbage Palm	3m-4m	C	Remove	Provision of lightwell to lower ground/basement floor
6-7	Leyland Cypress	11m & 16m	C	Remove	Locations of air-source heat pumps

Table 1 – Tree removals

- 2.2.2 As noted above, the Cabbage Palms are small specimens of low quality and limited visual importance, and thus readily capable of being replaced with tree species designed to provide a more attractive landscape setting and contribution. Similarly, the Leyland Cypressess are of indifferent quality, and in the case of tree 7, has effectively outgrown the relatively confined rear garden space where it is growing and over-dominates it; these

considerations indeed underlying the decision to seek its removal, independently of the restoration and refurbishment proposals, via the S211 Notification process.

2.3 Mitigation and replacement planting

- 2.3.1 The proposals are accompanied by a landscape master plan by Wright Landscape and Arboriculture Ltd., which envisages the planting of a total of ten replacement trees and tree-like larger shrubs, comprising 3no pleached Hornbeams in the rear garden of No. 6, 3no. Birches in the rear garden of No. 5, and a Judas Tree and 2no. Table Dogwood, together with a further Birch, in the rear garden of No. 4. To ensure adequate soil volumes for the planted trees, planting will be within a system of underground soil cells, thereby providing support to the proposed paved areas above.
- 2.3.2 The proposed trees and larger shrubs will enhance and complement the proposed outdoor spaces and seating areas, and provide a stronger element of seasonal visual interest over the planting which presently exists. The number of proposed trees exceeds those to be removed, and the replacement trees can be expected to make an effective contribution to their setting in the medium and longer term.

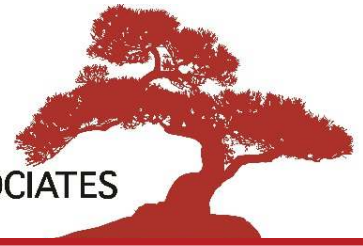
3. Summary and conclusion

3.1 Arboricultural implications – summary

- 3.1.1 The trees within the site have been surveyed in accordance with BS 5837, and the implications of the proposal have been assessed in relation to its findings.
- 3.1.2 As detailed above, whilst the proposals will require the removal of the trees currently remaining within the site, in our opinion this will not have any significant impacts on the amenity of the locality, or on the quality of the local landscape or of the Conservation Area.
- 3.1.3 The proposals are accompanied by a landscape master plan which provides for the planting of a number of more suitable trees and large tree-like shrubs which exceeds the number of trees to be removed, and which will enhance and complement the outside spaces to the rear of the restored and refurbished hotel to a greater extent than is presently the case.
- 3.1.4 This report has been prepared on the basis of the details of the proposal provided to us at the time of its preparation. Should these be amended or revised at any stage during the planning process, the amended details should be referred to us to determine whether any of the findings of this report require revision in the light of the changes.

David Archer Associates

March 2023



APPENDIX 1 – Tree schedule

Notes for the Tree Schedule

This schedule is based on an inspection carried out by Michael Roberts on Thursday the 14th July 2022. Weather conditions at the time were clear, dry and bright. Deciduous trees were in leaf.

The information contained in this schedule reflects the conditions of those specimens at the time of inspection. They were inspected from the ground only; they were not climbed and no internal investigations were undertaken, thus no guarantee may be given as to their structural integrity.

As trees are dynamic organisms and subject to continual change no dimensions expressed in this schedule may be relied upon for development purposes for more than 24 months from the date of survey. Estimated dimensions are marked 'est'.

1. **No:** Expressed in sequential order starting from number 1 – woodlands, groups & hedges are prefixed as W, G, & H respectively.
2. **Con. Area:** Trees and Tree Groups standing within the (Bloomsbury) Conservation Area; all trees are protected from removal or pruning without prior notification to, the local planning authority.
3. **Species:** The common name as given in "Collins Tree Guide", Johnson & More (2004).
4. **Height:** Estimated with the aid of a 'Disto' laser range finder and expressed in metres.
5. **Trunk Diameter:** Measured at 1.5m above ground level and expressed in millimetres to the nearest 10mm; where multiple stems are present they are measured individually and a cumulative total calculated in accordance with BS5837 (2012).
6. **Radial Crown Spread:** Distance in metres from the centre of the trunk to each cardinal point of the compass and rounded up to the nearest half metre.
7. **Crown Clearance:** Mean height from adjacent ground level to the lowest point of the crown.
8. **Height to First Branch:** Height, in metres, of the first significant branch (100mm) or to crown break from ground level.
9. **Life Stage:** Young, Semi mature, Mature, Veteran/ Ancient.
10. **Physiology:** Health and condition of the tree in comparison to a typical specimen of species and age: Good, Average, Below Average, Poor, Dead.
11. **Structure:** The structural condition of the tree based on an assessment of any visible roots, trunk and crown, noting the presence of any defects or decay: Good, Moderate, Indifferent, Poor, Hazardous.
12. **Landscape Value:** Reflecting the importance of the tree in the local landscape. High, Moderate, Low, Nil.
13. **Estimated Years:** Estimate of remaining contribution expressed in years <10, 10-20, 20-40, 40+.
14. **Comments:** Notes relating to health and condition, structure and form, estimated life expectancy and importance within the local landscape.
15. **Category:** - A rating given to individual trees based on Table 1 in the British Standard, BS5837 (2012) "*Trees in relation to design, demolition and construction - Recommendations*".

Category 'U' - Trees in such a condition that any existing value would be lost within 10 years and which should, in the current context, be removed for reasons of sound arboriculture management.

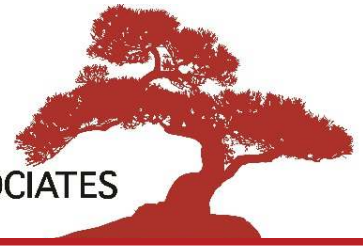
Category 'A' - Trees of high quality and value; in such a condition as to be able to make a substantial contribution (Normally a minimum of 40 years).

Category 'B' - Trees of moderate quality and value; those in such a condition as to make a significant contribution (Normally a minimum of 20 years).

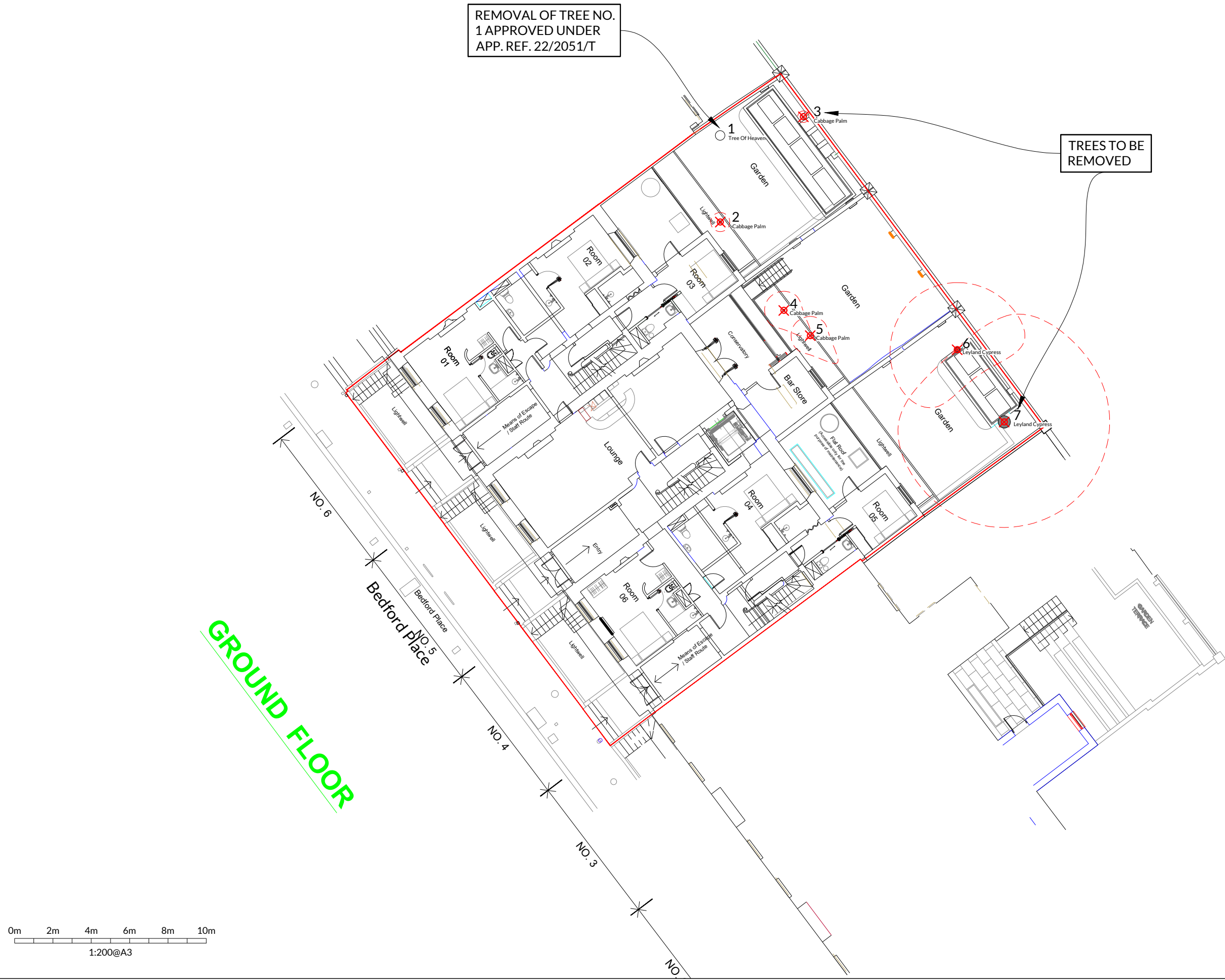
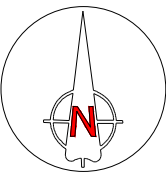
Category 'C' - Trees of low quality and value; currently in adequate condition to remain until new planting could be established (Normally a minimum of 10 years), or young trees with a stem diameter below 150mm.

Sub-categories (where appropriate); 1 – Mainly arboricultural qualities: 2 – Mainly landscape qualities: 3 – Mainly cultural values, including conservation.

No.	CA.	Species	Height	Trunk Dia.	Radial Crown Spread	Crown Clearance	Height to 1st Branch	Life Stage	Physiology	Structure	Landscape Value	Est. Years	Comments	Category
1	CA	Tree of Heaven	Approved for removal under ref. 2022/2051/T											
2	CA	Cabbage Palm	6m	130mm	0.5m	2m	2.5m	Semi-mature	Average	Average	Low	20-40	Of moderate quality, but currently of low value due to small size.	C (12)
3	CA	Cabbage Palm	3m	70mm	0.3m	1.5m	1.5m	Semi-mature	Average	Below average	Nil	10-20	Historic wound at base; of limited potential; only visible from inside courtyard.	C (12)
4-5	CA	Cabbage Palm	T4 4m T5 3m	#T4 110mm 70mm #T5 80mm	N1m E1m SE2m S1m W1m	1m	1.5m	Semi-mature	Below average	Average	Low	10-20	Situated in a raised planter; significant dieback at branch tips; of limited potential.	C (12)
6	CA	Leyland Cypress	11m	230mm	N3.5m E3.5m SE1.5m S3.5m W3.5m	2m	2m SE	Semi-mature	Below average	Average	Moderate	20-40	Slightly leaning trunk; browning of foliage; asymmetrical crown as suppressed by adjacent specimens; no significant structural defects found at time of survey; of limited potential due to current size and location.	C (12)
7	CA	Leyland Cypress	16m	630mm	N5.5m E5.5m S5.5m W5.5m	2m	2.5m	Semi-mature	Below average	Average	Moderate	10-20	Slightly leaning trunk; slightly sparsely foliated; no significant structural defects found at time of survey; of limited potential due to current size and location.	C (12)



APPENDIX 2 – Tree removals plan



ARBORICULTURE | ECOLOGY | LANDSCAPE

Project: 4-6 Bedford Place
Mayfair
London
WC1B 5JA

Client:
SAV Group

Drawing:
TREE REMOVALS PLAN

Based on:
Proposed Site Plan

Drawing No: TRP 01 Rev:

Date: Mar 2023 Scale: 1:200 @ A3 Drawn: MR

Tree nos.:	● 1	Canopies of trees:	○	Trees to be removed:	✖
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