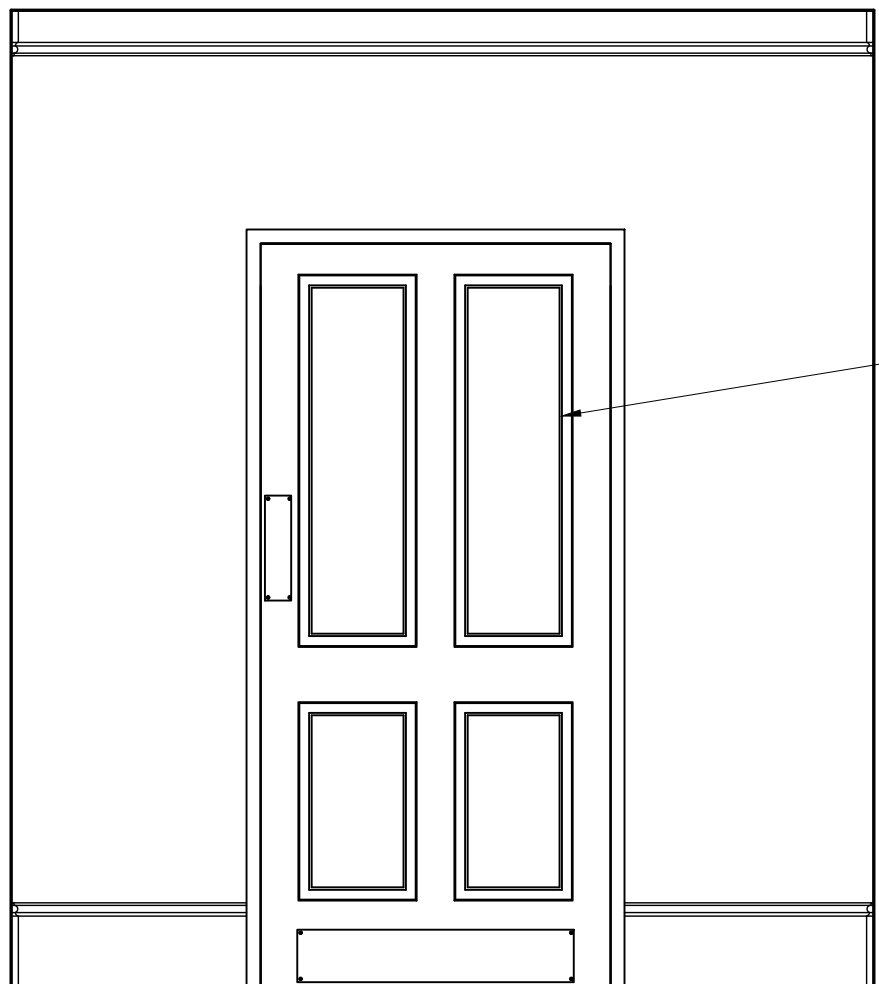


Elevation B-B
1:20 @ A1

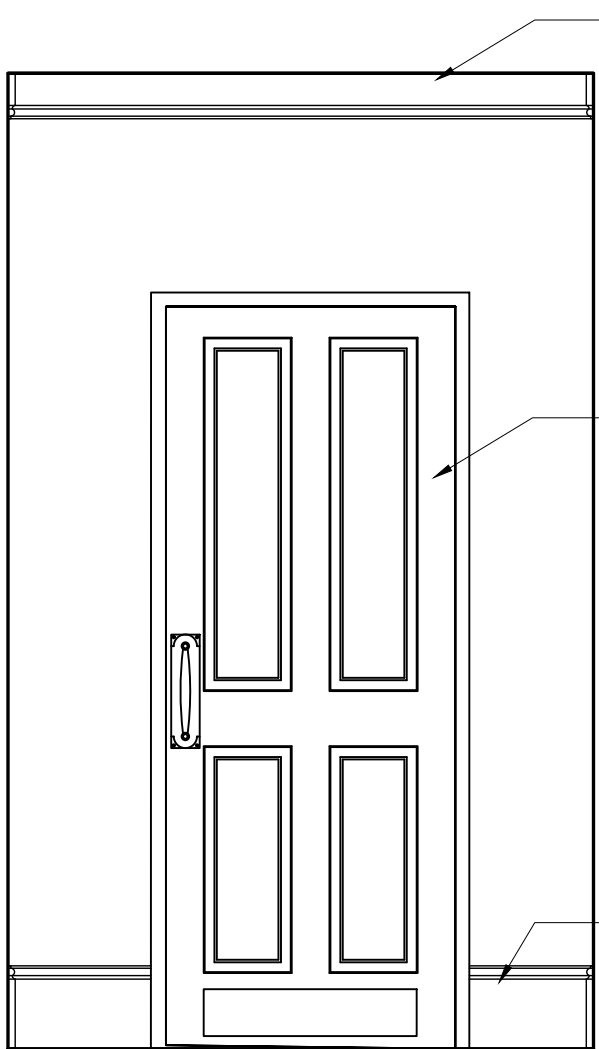
Allow for new portion wall. Make sure the existing cornice and skirting is not disturbed and all disturbed surfaces are made good. New door to service self contained staff accommodation. Allow for door design to fit within original design period. Make good of all disturbed surfaces. see drawing number 10-05 for detail Door Type 2

Allow to create opening to for new door way into existing bathroom. New door to service new pot was area. Allow for door design to fit within original design period. Make good of all disturbed surfaces. see drawing number 10-05 for detail Door Type 2



Elevation B-B
1:20 @ A1

Allow to replace exiting modern door with new door in a design to fit within original design period of building. see drawing number 10-05 for detail Door Type 2

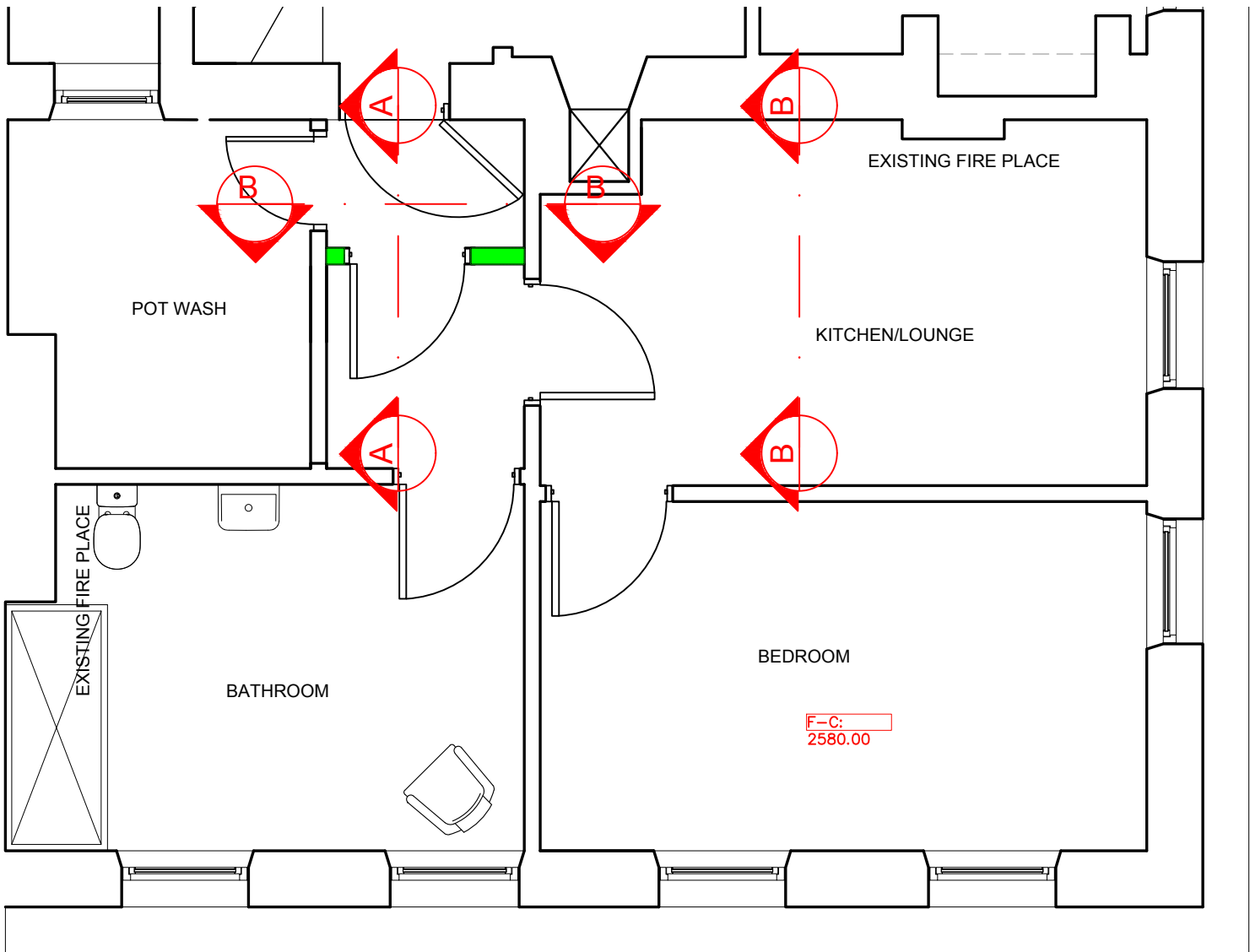


Elevation B-B
1:20 @ A1

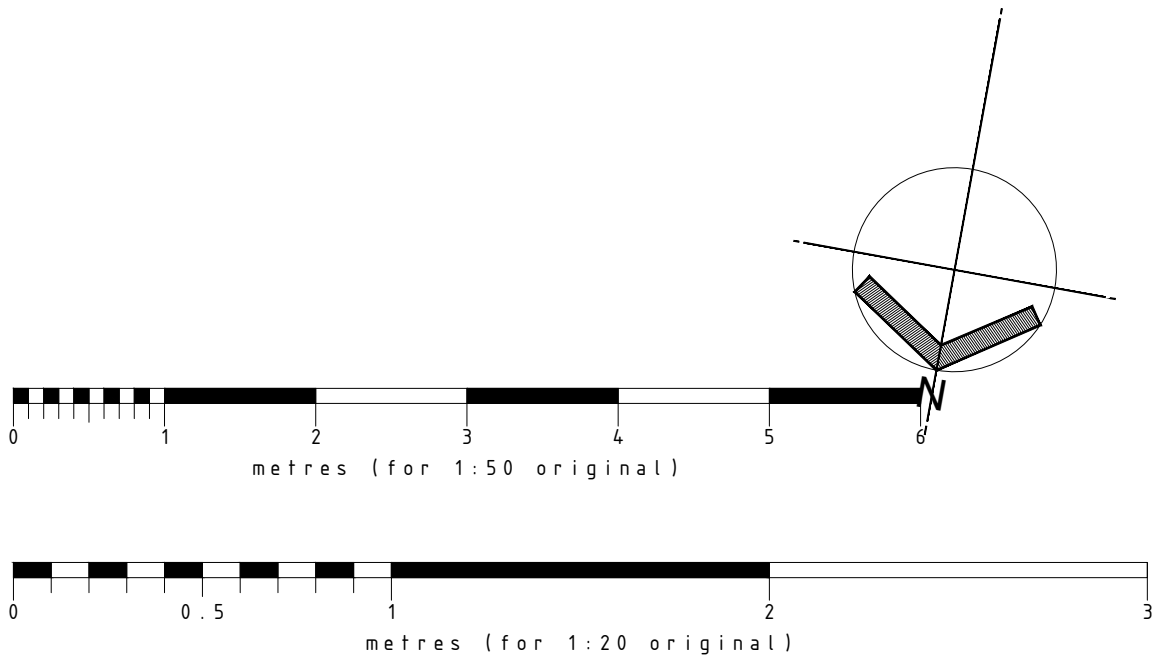
Allow for new portion wall. Make sure the existing cornice and skirting is not disturbed and all disturbed surfaces are made good. Allow for new cornice to match existing.

Allow for new door to service self contained staff accommodation. Allow for door design to fit within original design period. Make good of all disturbed surfaces. see drawing number 10-05 for detail Door Type 2

Allow for new skirting to match existing.



Plan
1:50 @ A1



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Indicates areas of new structure

Indicates wall to be removed

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Stage:

PRELIMINARY

Client: Berkeley Inns

Project address:
The Rugby Tavern
Great James Street,
Bloomsbury, WC1N
3ES

Title: DETAILS - PROPOSED SECOND FLOOR ELEVATIONS

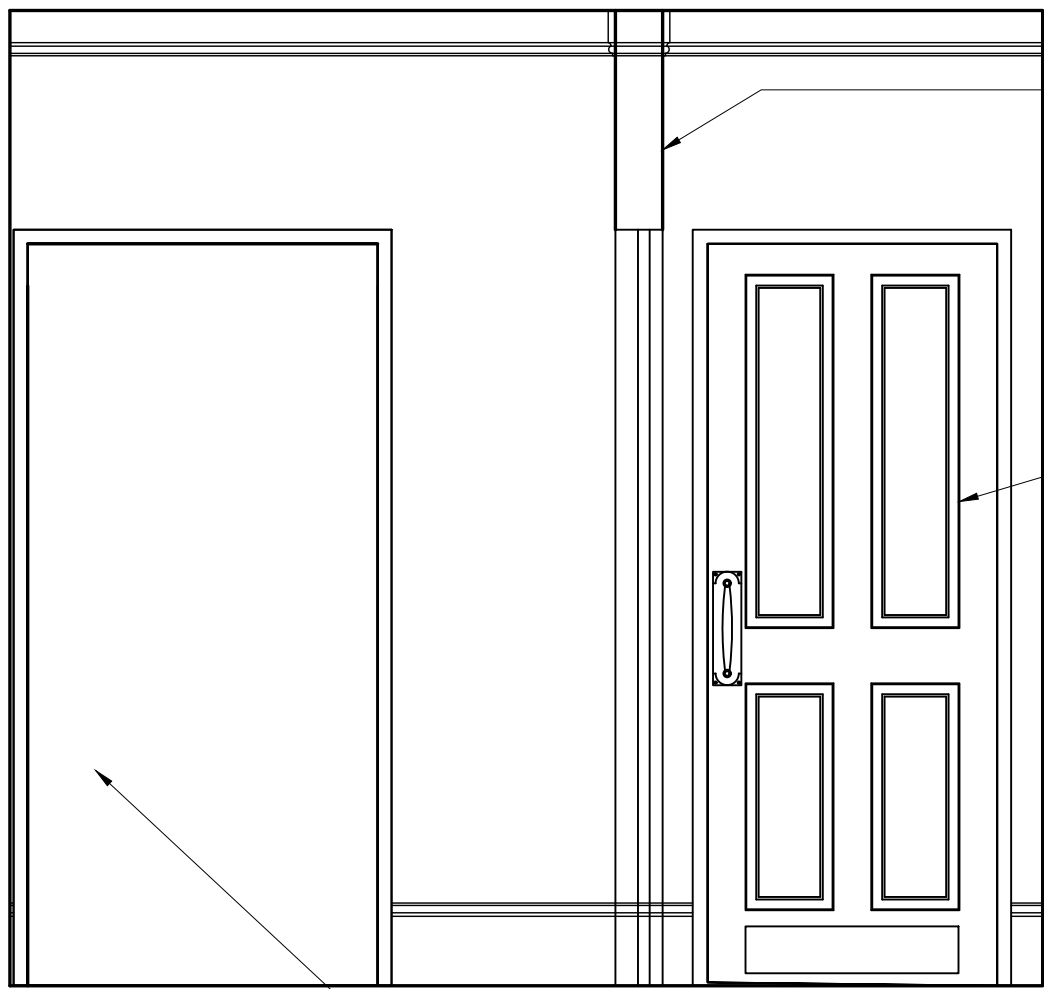
Scale:	1:20/50	Dwg size:	A1
Drawn by::	AW	Date:	JAN 23
Drawing no:	4904-10-02	Rev:	B

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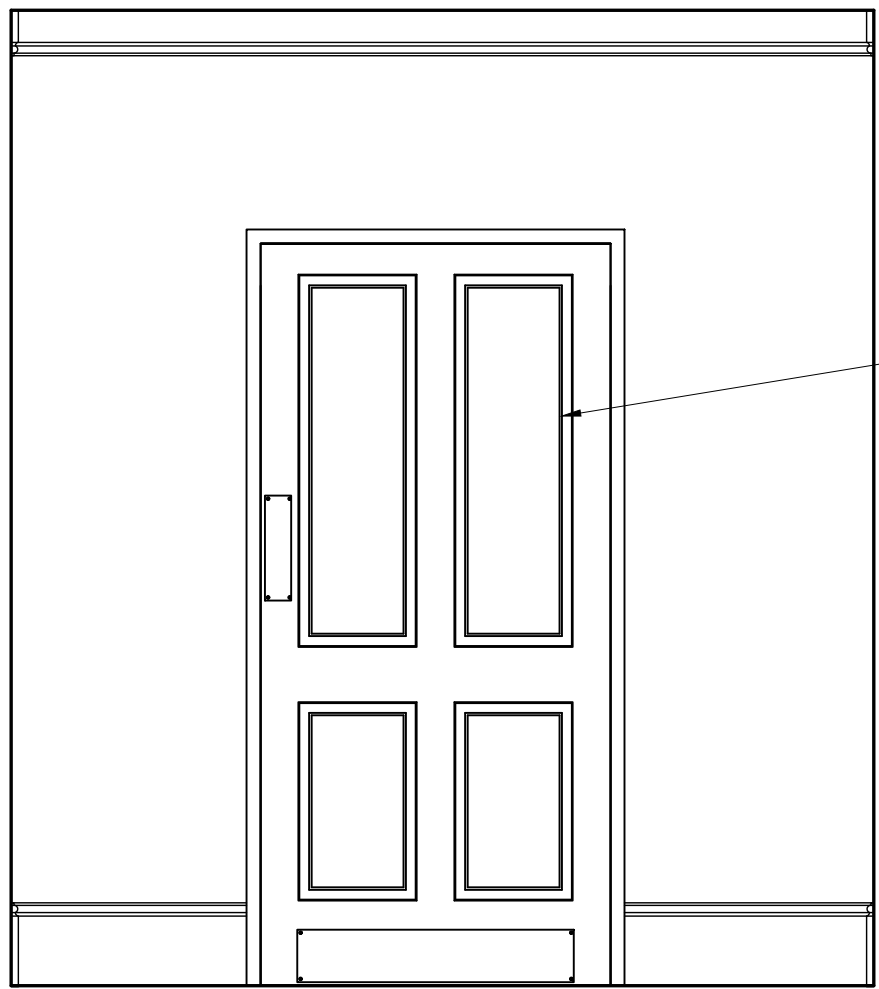


Proposed Elevation A-A
1:20 @ A1

Existing door way blocked up.
Making sure existing skirting and
architrave is not disturbed.

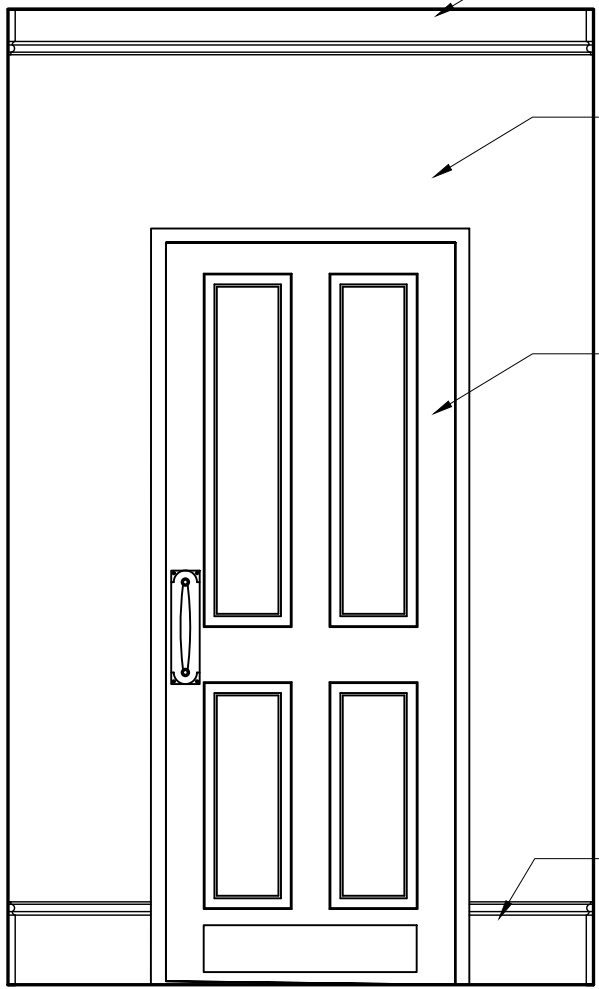
Allow for new portion wall. Make sure the existing cornice
and skirting is not disturbed and all disturbed surfaces are
made good. New door to service self contained staff
accommodation. Allow for door design to fit within original
design period. Make good of all disturbed surfaces. see
drawing number 10-05 for detail Door Type 2

Allow to create opening to for new door way into existing
bathroom. New door to service new pot was area. Allow for
door design to fit within original design period. Make good of
all disturbed surfaces. see drawing number 10-05 for detail
Door Type 2



Proposed Elevation B-B
1:20 @ A1

Allow to replace exiting modern door with new door in a
design to fit within original design period of building. see
drawing number 10-05 for detail Door Type 2



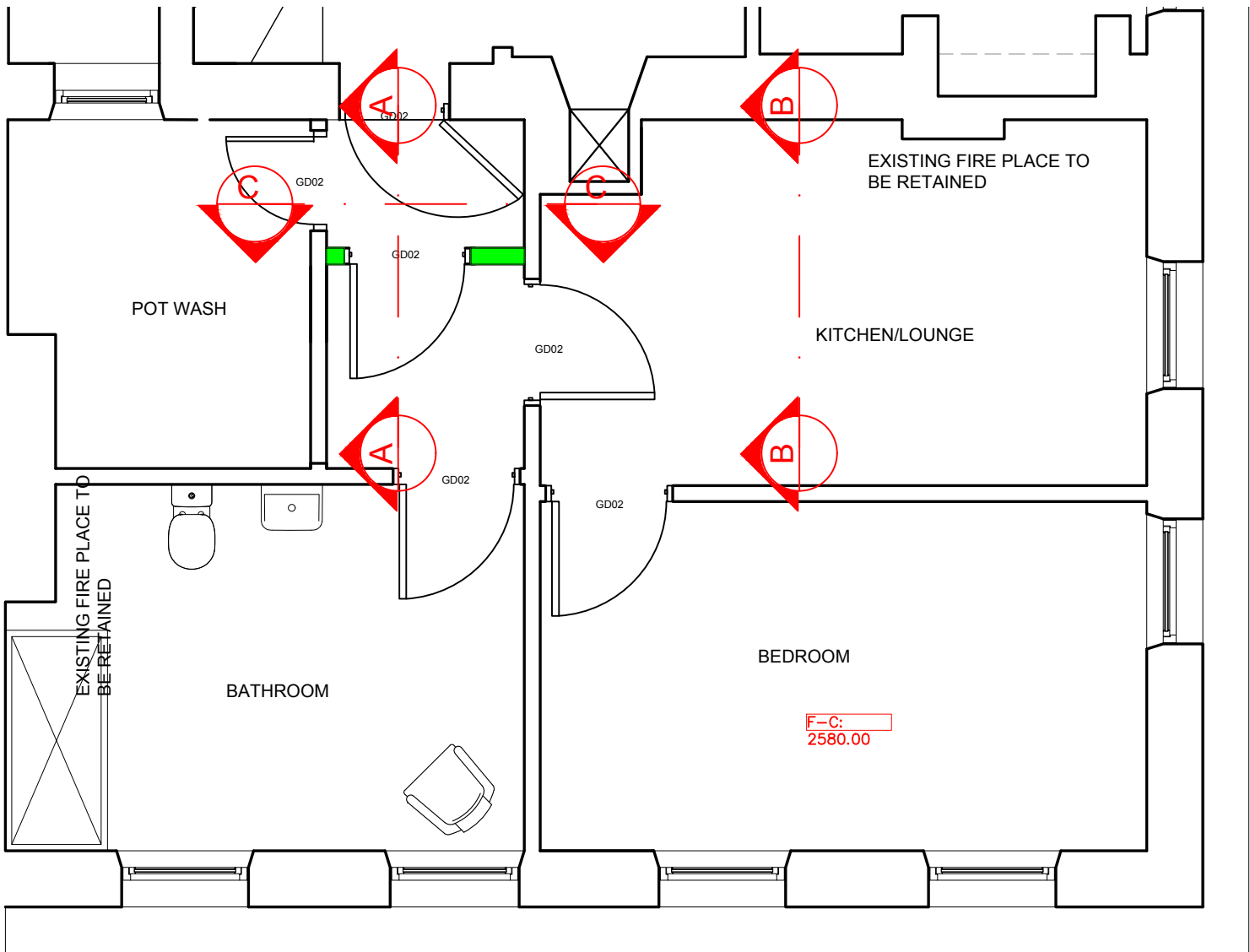
Proposed Elevation C-C
1:20 @ A1

Allow for new portion wall. Make sure the existing cornice
and skirting is not disturbed and all disturbed surfaces are
made good. Allow for new cornice to match existing.

Allow for new stud wall to service self contained staff
accommodation. Make good of all disturbed surfaces,
existing skirting and coving should not to disturbed.

Allow for new door to service self contained staff
accommodation. Allow for door design to fit within original
design period. Make good of all disturbed surfaces. see
drawing number 10-05 for detail Door Type 2

Allow for new skirting to match existing.



Plan
1:50 @ A1

F=C:

2550.00

metres (for 1:50 original)

metres (for 1:20 original)

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Indicates areas of new structure

Indicates wall to be removed

C	24/03/23	GA	amendments made to elevations	
B	06/03/23	GA	amendments made to reflect new scheme	© Copyright

Stage: PRELIMINARY

Client: Berkeley Inns

Project address:
The Rugby Tavern
Great James Street,
Bloomsbury, WC1N
3ES

Title: DETAILS - PROPOSED SECOND
FLOOR ELEVATIONS

Scale:	1:20/50	Dwg size:	A1
Drawn by::	AW	Date:	JAN 23
Drawing no:	4904-10-02	Rev:	C

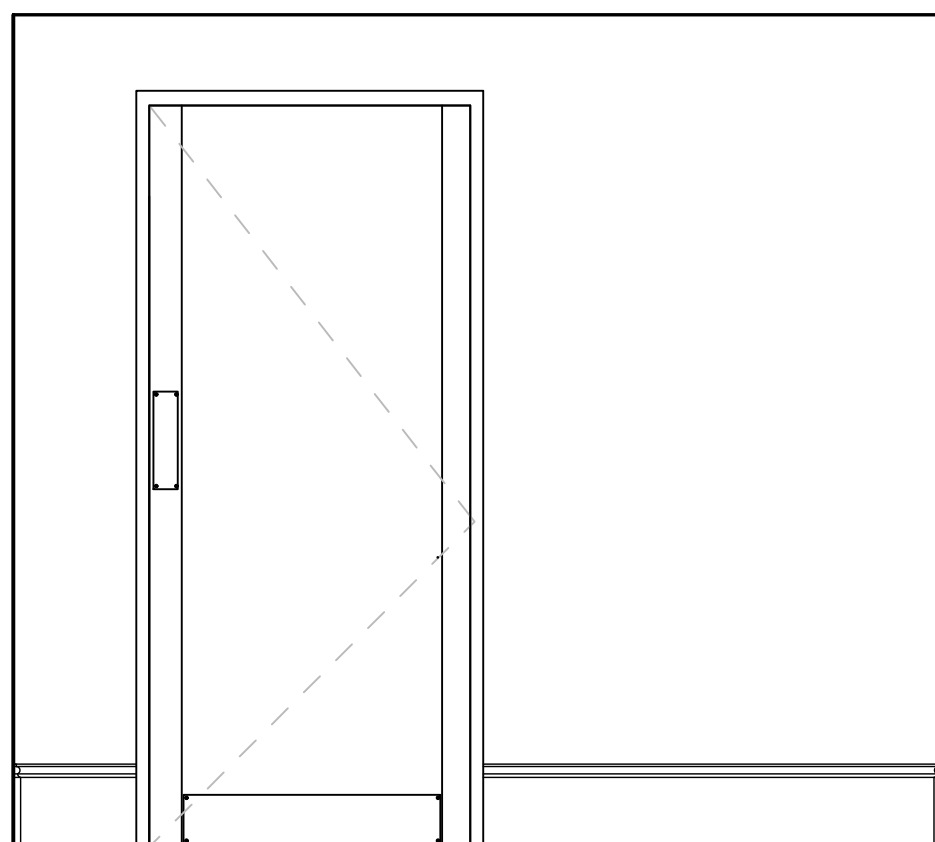
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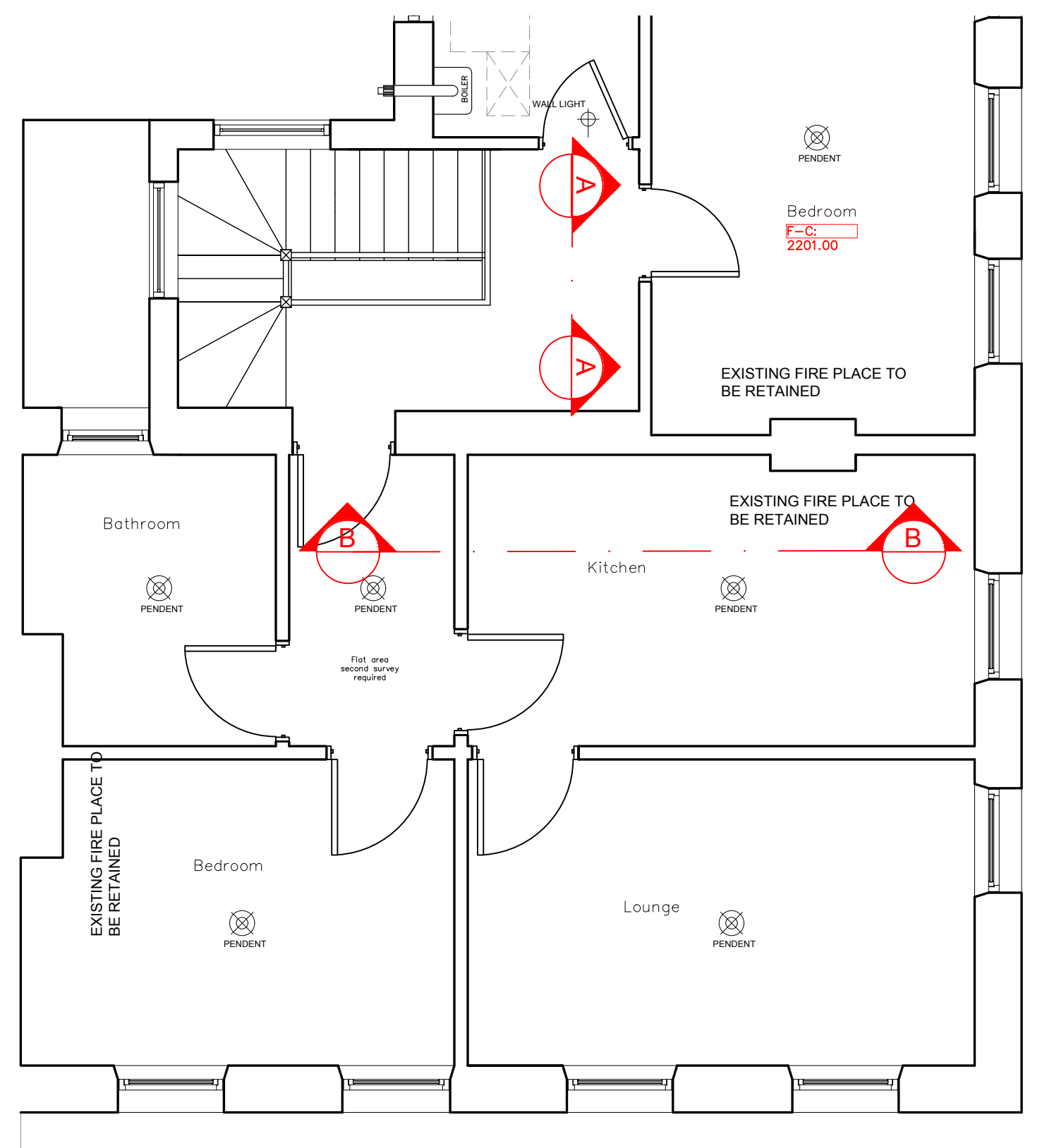
01302 361 024 concordebgw.com



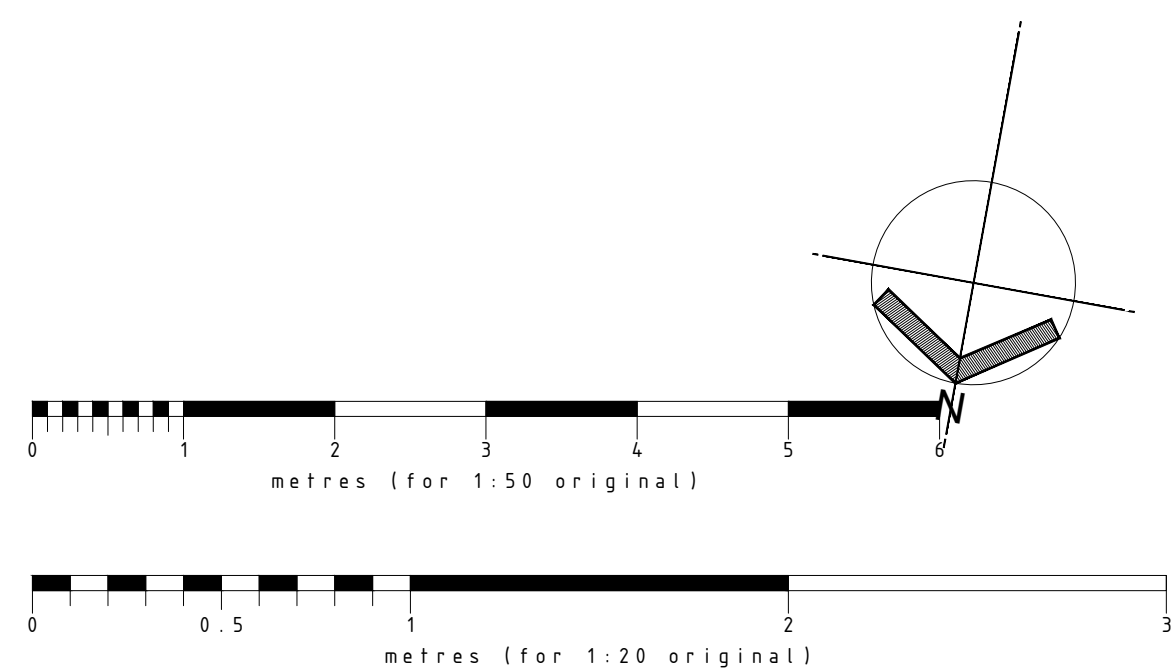
Elevation A-A
1:20 @ A1



Elevation B-B
1:20 @ A1



Plan
1:50 @ A1



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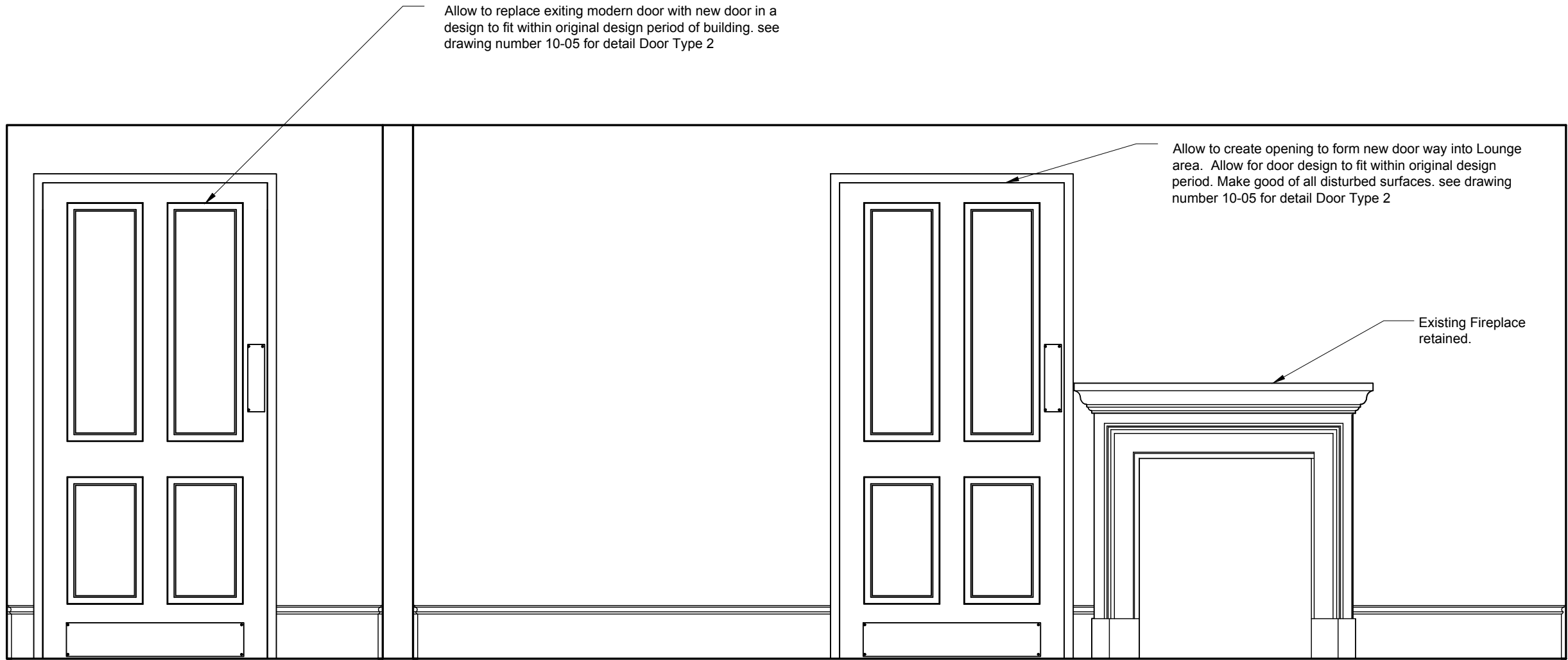
Rev:	Date:	Init:	Note:	© Copyright
Stage:		PRELIMINARY		
Client:		Berkeley Inns		
Project address:		The Rugby Tavern Great James Street, Bloomsbury, WC1N 3ES		
Title:		DETAILS - EXISTING THIRD FLOOR ELEVATIONS		
Scale:	1:20/50	Dwg size:	A1	
Drawn by:	GA	Date:	JAN 23	
Drawing no:	4904-10-03	Rev:	B	

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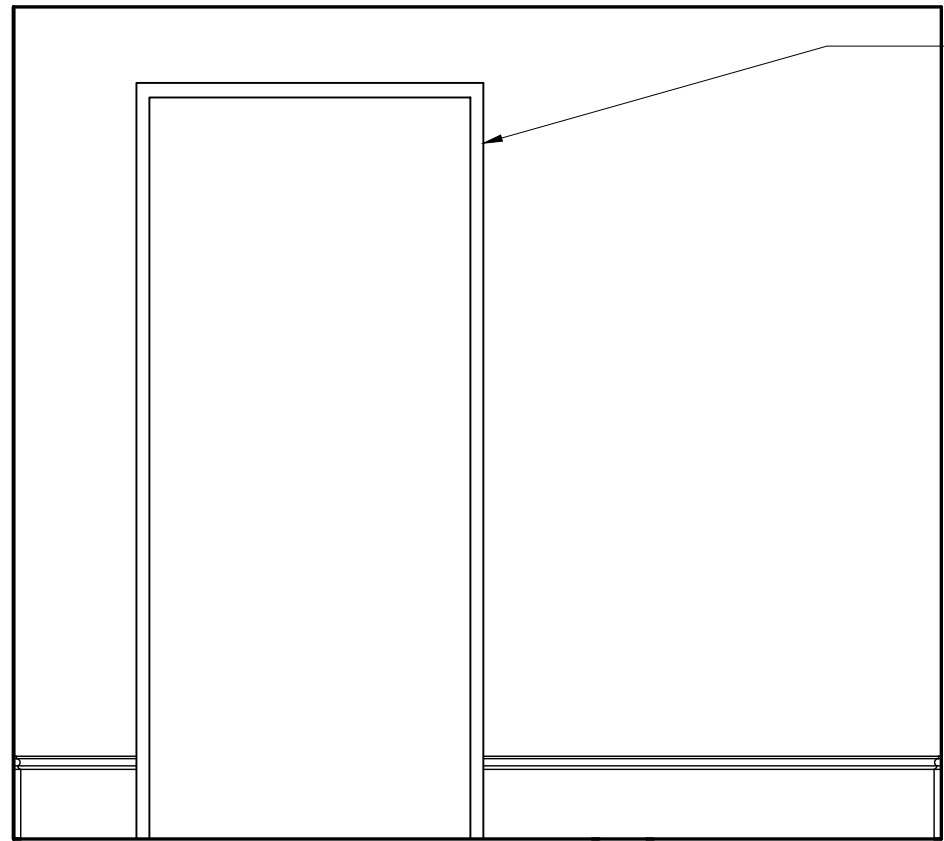
London TOG Albert House 256-260 Old Street Shoreditch, London EC1V 9DD	Doncaster Palmer Street Hyde Park Doncaster DN4 5DD	Nottingham Unit 3, The Glade Business Centre Forum Road Nottingham NG5 9RW
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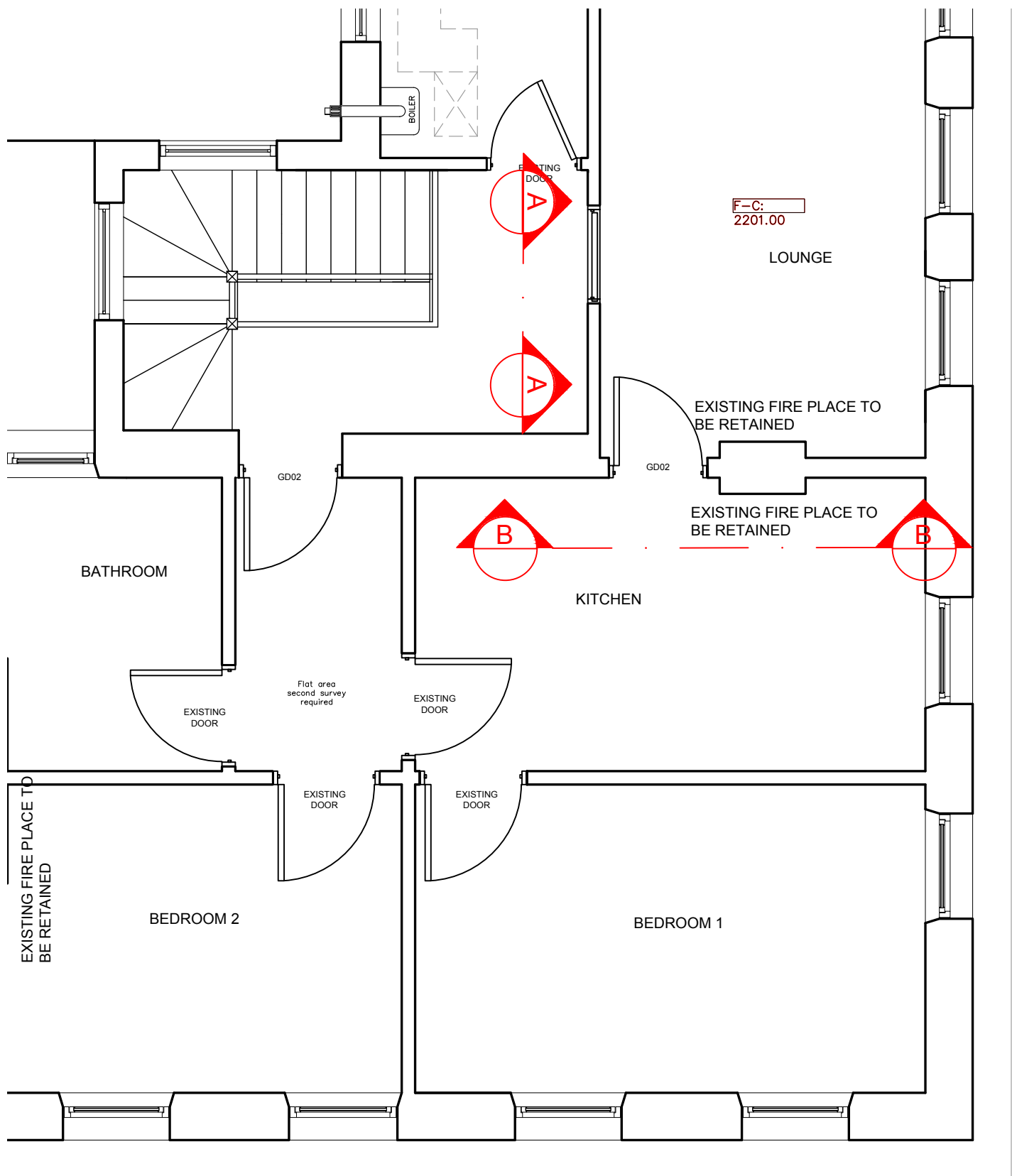
concordebgw.com



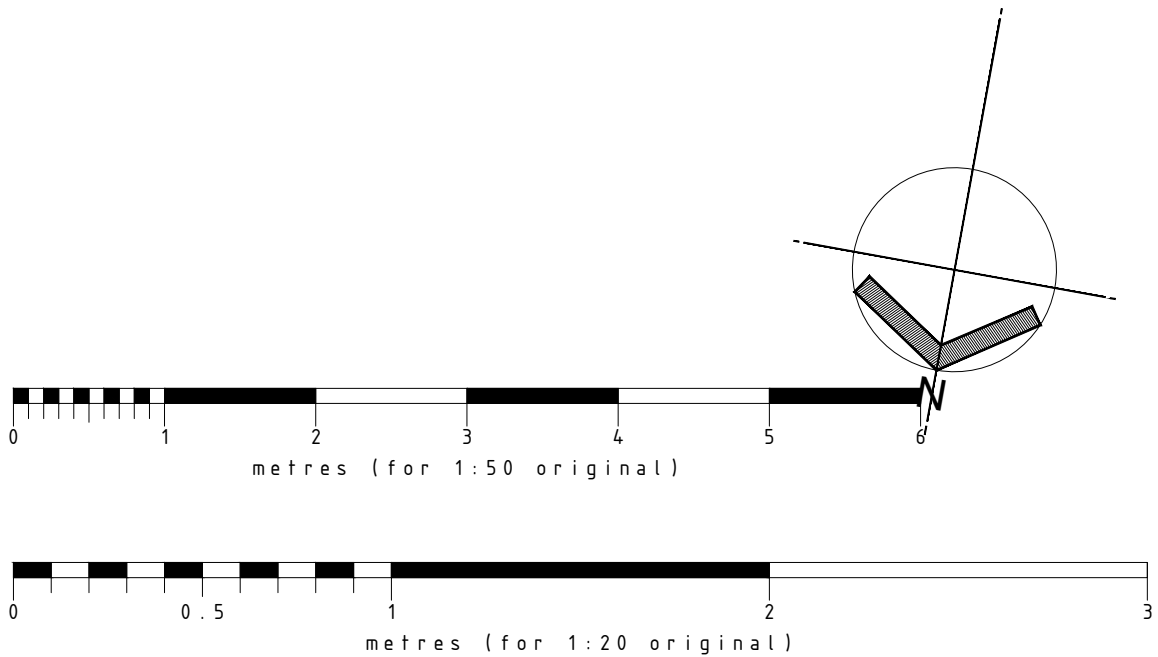
Elevation A-A
1:20 @ A1



Elevation B-B
1:20 @ A1



Plan
1:50 @ A1



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Stage: PRELIMINARY

Client: Berkeley Inns

Project address:
The Rugby Tavern
Great James Street,
Bloomsbury, WC1N
3ES

Title: DETAILS - PROPOSED THIRD FLOOR ELEVATIONS

Scale: 1:20/50 Dwg size: A1

Drawn by:: GA Date: JAN 23

Drawing no: 4904-10-04 Rev: B

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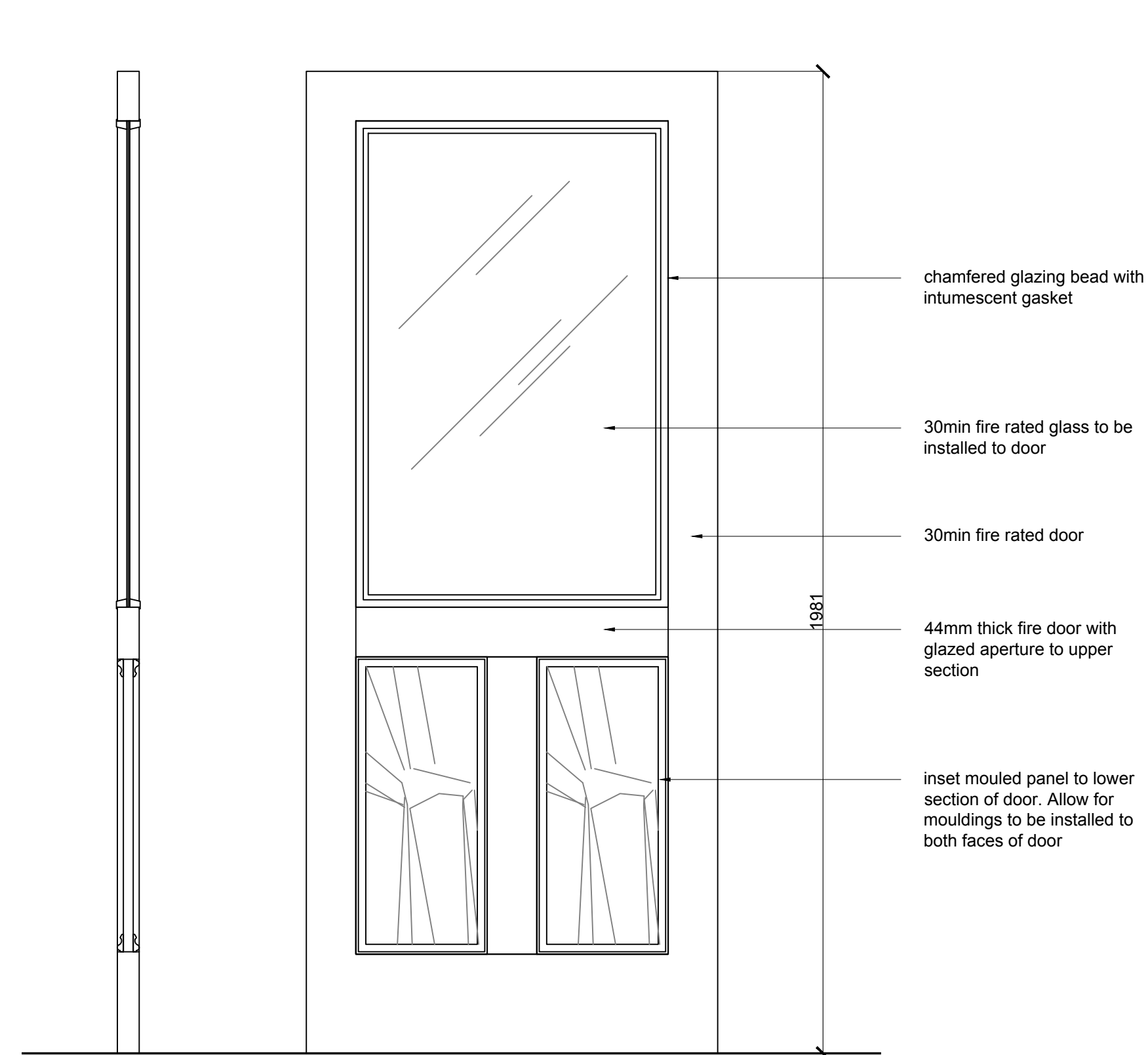
London
TOG Albert House
256-260 Old Street
Shoreditch, London
EC1V 9DD

Doncaster
Palmer Street
Hyde Park
Doncaster
DN4 5DD

Nottingham
Unit 3, The Glade
Business Centre
Forum Road
Nottingham
NG5 9RW

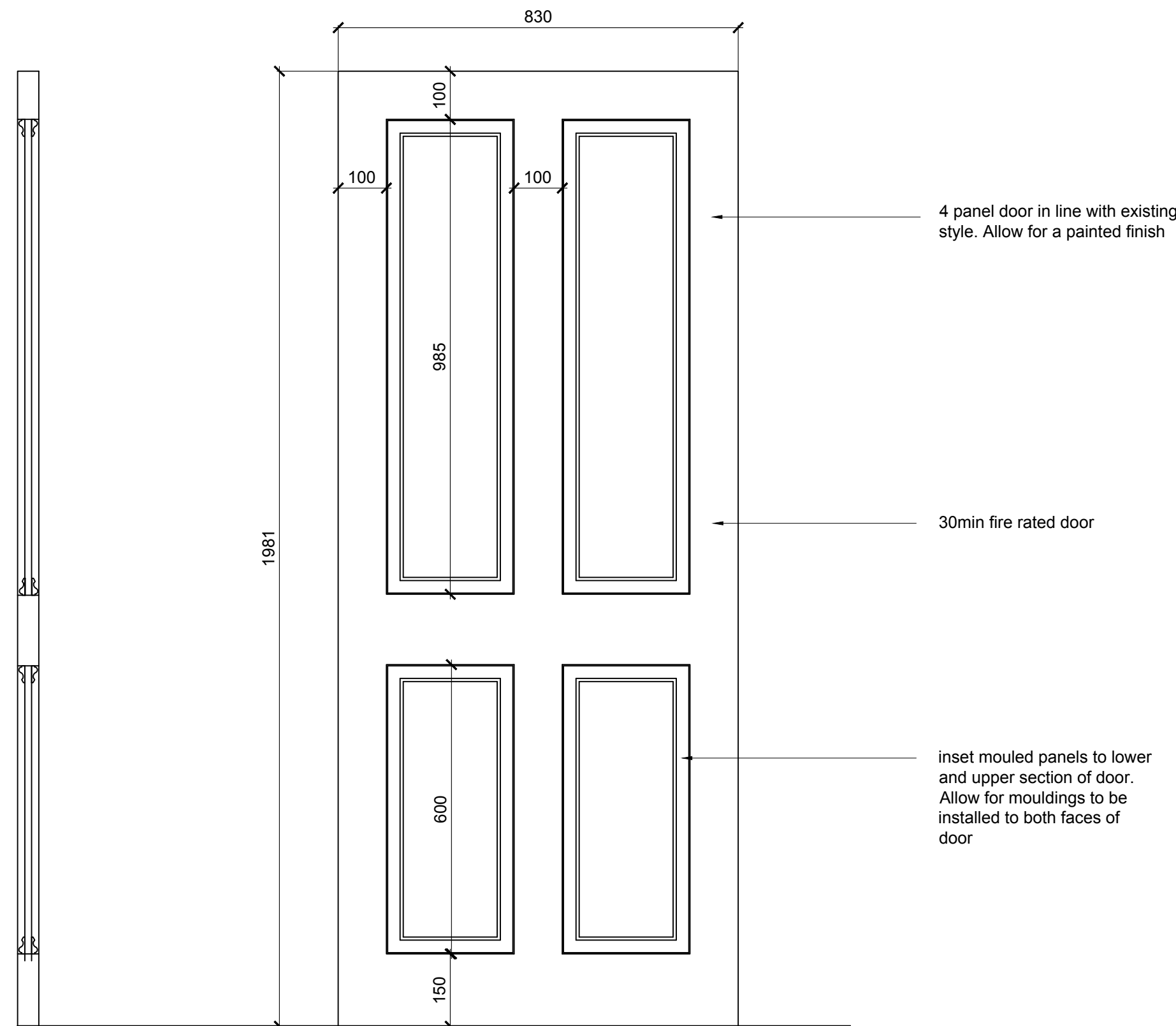
01302 361 024

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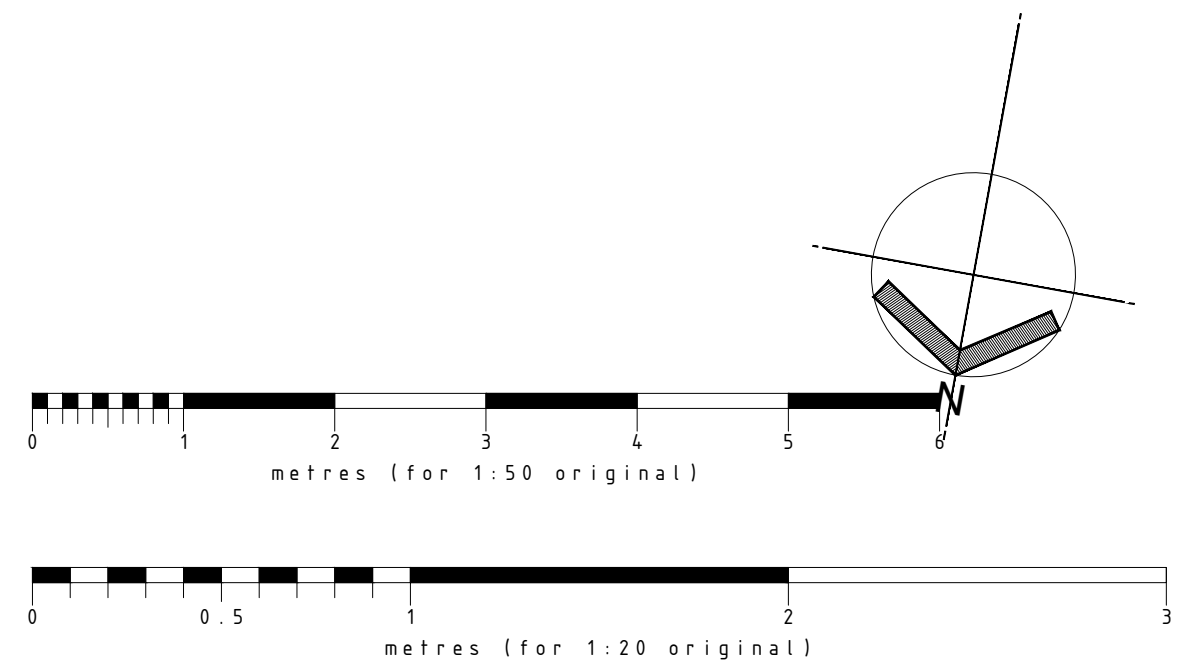


FR60 DOOR TYPE 1 GD01
scale1:10 @ A1

Glazing
All new glazing below 800mm or glazing to doors or within 300mm of a door and below 1500mm above finished floor level to be approved safety glass (to a suitable thickness) as specified in Regulation N1 and in accordance with BS6180 with the exception of all small panes of glazing not exceeding 0.5m2 and 250mm wide. All glazing in critical locations to comply with Section 5 ADK : 2013 and will break safely in accordance with BS6206 or BS EN12300



FR60 DOOR TYPE 2 GD02
scale1:10 @ A1



NOTES

While the doors at second floor level currently appear as modern, the original doors may have been panelled over. If it is found during initial investigative construction works that there are further original doors, these should be retained and restored. All original openings and architrave detail should be retained and unaltered where the new fire rated doors are inserted.

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Stage:

PRELIMINARY

Client: Berkeley Inns

Project address:
The Rugby Tavern
Great James Street,
Bloomsbury, WC1N
3ES

Title: DETAILS - TYPICAL INTERNAL DOORS

Scale:	1:10	Dwg size:	A1
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Drawn by::	GA	Date:	JAN 23
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Drawing no:	4904-10-05	Rev:	-
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