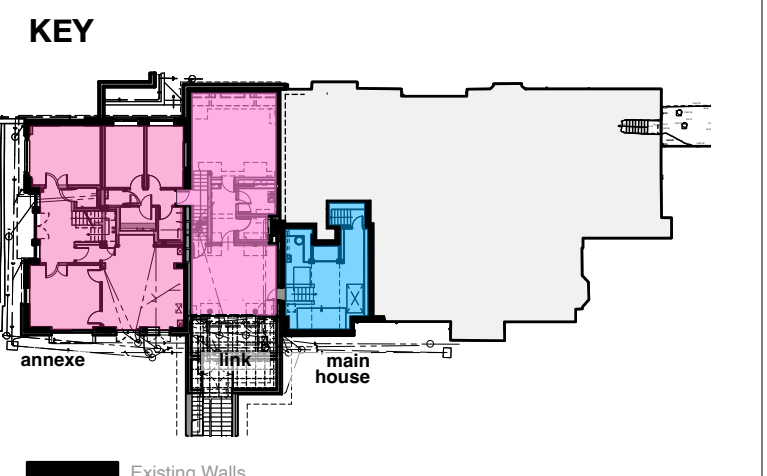
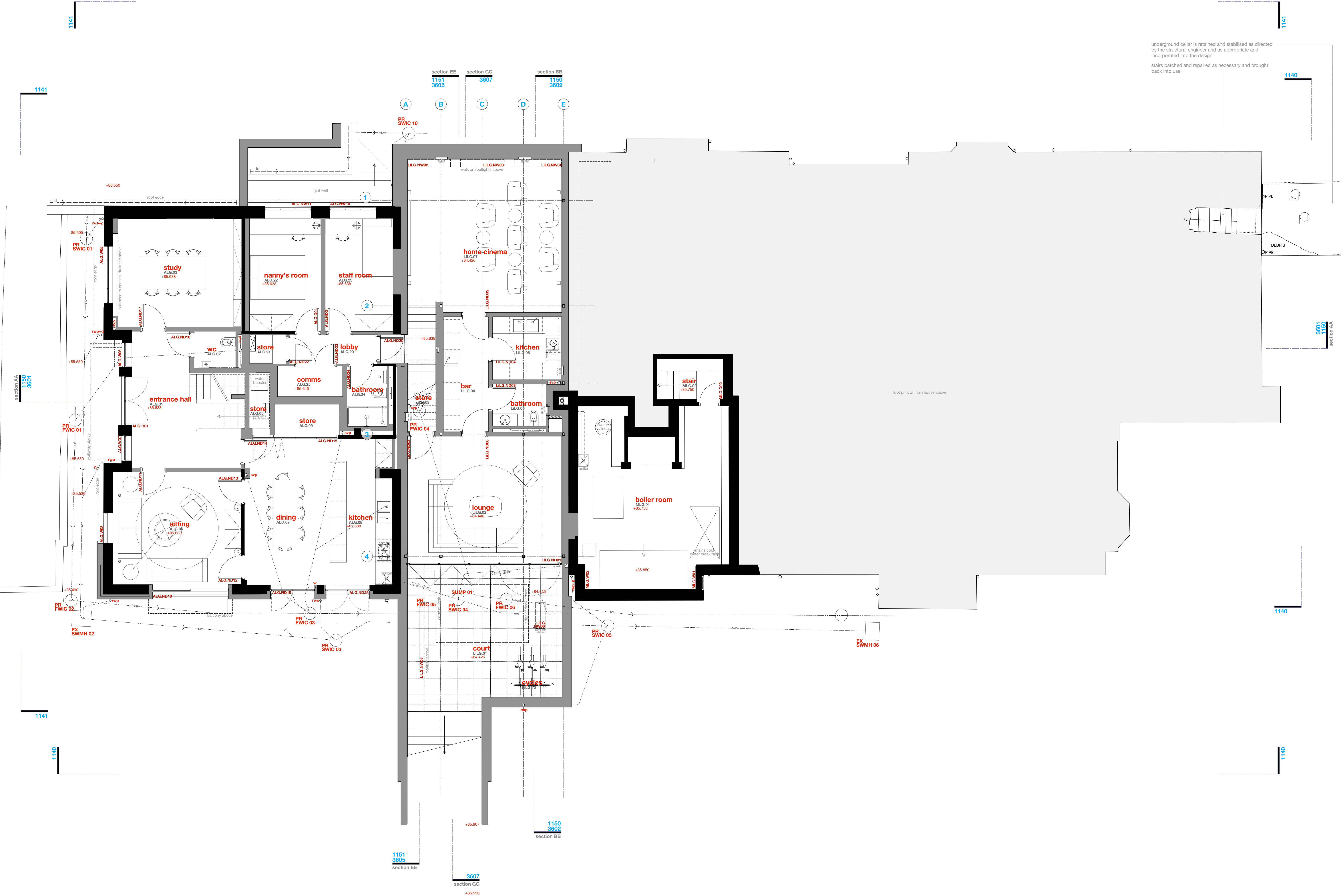


■ BOWKER SADLER PARTNERSHIP LIMITED  
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INSTRUMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS.  
 ■ BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN.  
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.  
 ■ CHECK ALL DIMENSIONS ON SITE.  
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS.

Survey drawings are kindly provided by Hathom Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



- Features**
- windows**
- lhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vss vertical sliding sash timber window
  - fl fixed light timber window
  - rl roof light (flat roof)
  - vtl velux style roof light (gabled roof)
  - ort conservation style roof light (pitched roof)
- ventilation and flues**
- f wall / roof mounted flue to gas boiler / gas fire, terracotta colour to black
  - ab1 air brick wall terminal air extract to bathrooms, kitchens etc, anemone only, standard WLB weather boards, various sizes, in powder coated aluminium, colour to suit brickwork
  - ab2 air brick wall terminal air extract to bathrooms, kitchens etc, main house and lodge, 250x225mm bespoke fit and miss vent with vertical slots in powder coated aluminium, colour to black as ab2, with flyscreen removed for greater ventilation rate
  - ab3 air brick wall terminal air extract to bathrooms, kitchens etc, main house and lodge, 250x225mm bespoke fit and miss vent with vertical slots in powder coated aluminium, colour to black as ab2, with flyscreen removed for greater ventilation rate
  - ab4 air brick wall terminal air extract to bathrooms, kitchens etc, main house and lodge, 250x225mm bespoke fit and miss vent with vertical slots in powder coated aluminium, colour to black as ab2, with flyscreen removed for greater ventilation rate
  - vtl low profile ventilated roof tile, colour and size matched to existing
  - vth hooded ventilated roof tile, colour and size matched to existing
  - vs ventilation stack, black
  - svs ventilation stack, polished stainless steel
- drainage services and landscape**
- eth Existing manhole
  - ic Existing inspection chamber
  - wic Existing water service inspection chamber
  - FWIC 01 Inspection chamber collecting foul water drainage
  - swp Soil vent pipe and underground foul water drainage
  - w Waste pipe from washbasin/shower to foul water drainage
  - rwp Rainwater pipe, gully and underground surface water drainage
  - rwhr Rainwater hopper draining into rainwater hopper
  - sp Rainwater spout
  - e Rainwater outlet
- mechanical heating**
- g gas fire boiler and wall mounted flue
  - o unvented cylinder



underground cellar is retained and stabilised as directed by the structural engineer and as appropriate and incorporated into the design  
 stairs patched and repaired as necessary and brought back into use

- REV F 09 Mar 2022 GMLG The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments; the amendments included mostly rationalise the alterations at Rev E  
 REV E 08 Sep 2021 GMLG The previously approved scheme (scheme 2) is altered to include a number of small amendments.  
 REV D 15 Jan 2021 GMLG Planning Application further revised, in response to planning and conservation officers comments.  
 REV B 10 Aug 2020 GMLG Revised Planning Application marked at Revision B  
 REV A 05 Dec 2019 GMLG Original Planning Application marked at Revision A

REV	DATE	DRN	CHKD
PROJECT	The Hoo: Scheme 3 17 Lyndhurst Gardens, Hampstead, London		
CLIENT	Mr and Mrs Yu REPRESENTED BY JAGA Developments (London)		
DRAWING	Lower Ground Floor Layout as Proposed		
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A4	GMLG	
			DATE
			May 2020

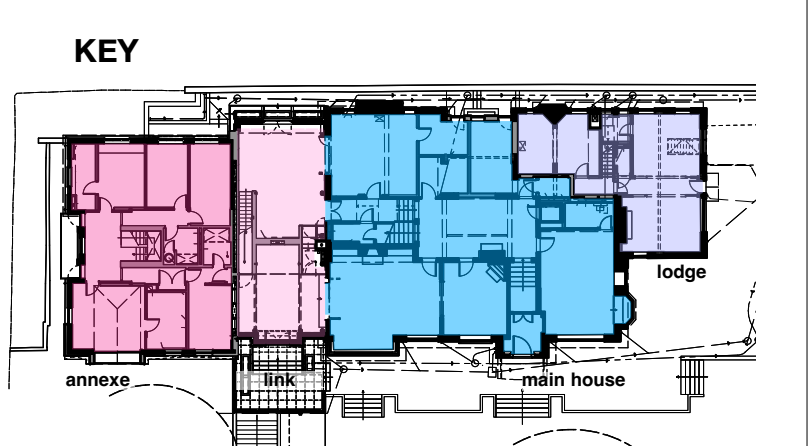
**BOWKER SADLER ARCHITECTURE**  
 A: Hatherlow House, Hatherlow, Romley, Stockport SK9 3DY  
 T: 0161 408 7333  
 E: info@bowker-sadler.co.uk  
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
19013	1120	F
STATUS		
PLANNING		



BOWKER SADLER PARTNERSHIP LIMITED  
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, IN WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS.  
 BOWKER SADLER PARTNERSHIP LIMITED ASSURES ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN.  
 REPORT ERRORS & OMISSIONS TO ARCHITECT  
 CHECK ALL DIMENSIONS ON SITE  
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Sunny drawings are kindly provided by Maxam Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



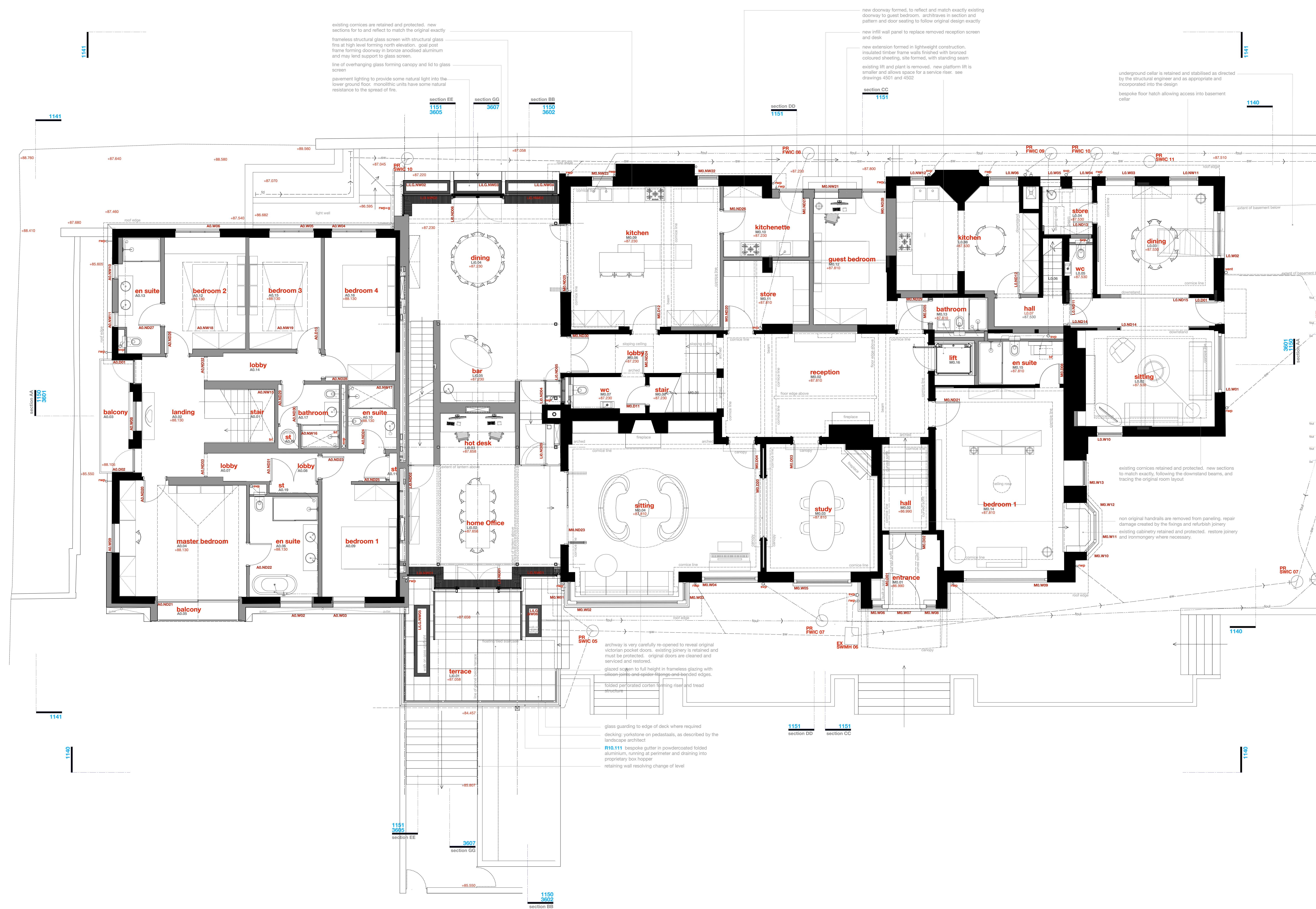
- Features**
- windows**
    - bhc bottom hung timber casement window
    - shc top hung timber casement window
    - sho side hung casement window
    - vss vertical sliding sash timber window
    - fl fixed light timber window
    - nl roof light (flat roof)
    - vtl velux style roof light (pitched roof)
    - ort conservation style roof light (pitched roof)
    - h hatching hatch
    - fd floor hatch
    - sd sliding door
    - std sliding sliding door
  - ventilation and flues**
    - f wall / roof mounted flue to gas boiler / gas fire, terrazzo colour or black
    - ab1 air brick wall terminal as extract to bathrooms, kitchens etc, terrazzo only, standard W30 weather louvre, various sizes, in powder coated aluminium, colour to suit brickwork
    - ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main houses and lodges, 225x225mm bespoke hi and miss vent with vertical slots in powder coated aluminium, colour to black as ab2, with flyscreen removed for greater ventilation rate
    - re-use existing terracotta extract
    - vt new profile ventilated roof tile, colour and size matched to existing SWIC 08
    - vh hooked ventilated roof tile, colour and size matched to existing SWIC 08
    - vs ventilation stack, black
    - svs ventilation stack, polished stainless steel
  - drainage services and landscape**
    - mh existing manhole
    - ic existing inspection chamber
    - wic existing water service inspection chamber
    - FWIC 01 inspection chamber collecting foul water drainage
    - stp soil vent pipe and underground foul water drainage
    - wp waste pipe from washbasin/bowser to foul water drainage
    - rwp rainwater pipe, gully and underground surface water drainage
    - rwhp rainwater hopper draining into rainwater hopper
    - sp rainwater spout
    - o rainwater outlet
  - mechanical heating**
    - g gas fired boiler and wall mounted flue
    - uc unvented cylinder

- REV G 16 Mar 2023 GMAG  
 Further amendments are removed from the annex and replaced with new partitions  
 REV F 09 Mar 2022 GMAG  
 The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments. The amendments included mostly relate to the alterations at the E  
 REV E 08 Sep 2021 GMAG  
 The previously approved scheme (scheme 2) is altered to include a number of small amendments.  
 REV D none  
 REV C 15 Jan 2021 GMAG  
 Planning Application further revised, in response to planning and conservation officers comments  
 REV B 10 Aug 2020 GMAG  
 Revised Planning Application marked at Revision B  
 REV A 05 Dec 2019 GMAG  
 Original Planning Application marked at Revision A

PROJECT  
**The Hoo: Scheme 3**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Resuming A Grand Victorian House To Private Domestic Accommodation  
**NW3 3HU**  
 CLIENT  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**  
 DRAWING  
**Ground Floor Layout**  
**as Proposed**  
 SCALE 1:50 SHEET SIZE @ A0 DRAWN GMAG CHECKED DATE May 2023

**BOWKER SADLER ARCHITECTURE**  
 A: Hatheflow House, Hatheflow, Romley, Stockport SK9 3DY  
 T: 0161 436 7333  
 E: info@bowker-sadler.co.uk  
 W: www.bowker-sadler.co.uk

JOB No	19013	DRAWING No	1121	REVISION	G
STATUS	PLANNING				





© BOWKER SADLER PARTNERSHIP LIMITED  
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INSTRUMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS.  
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN.  
 REPORT ERRORS & OMISSIONS TO ARCHITECT  
 CHECK ALL DIMENSIONS ON SITE  
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

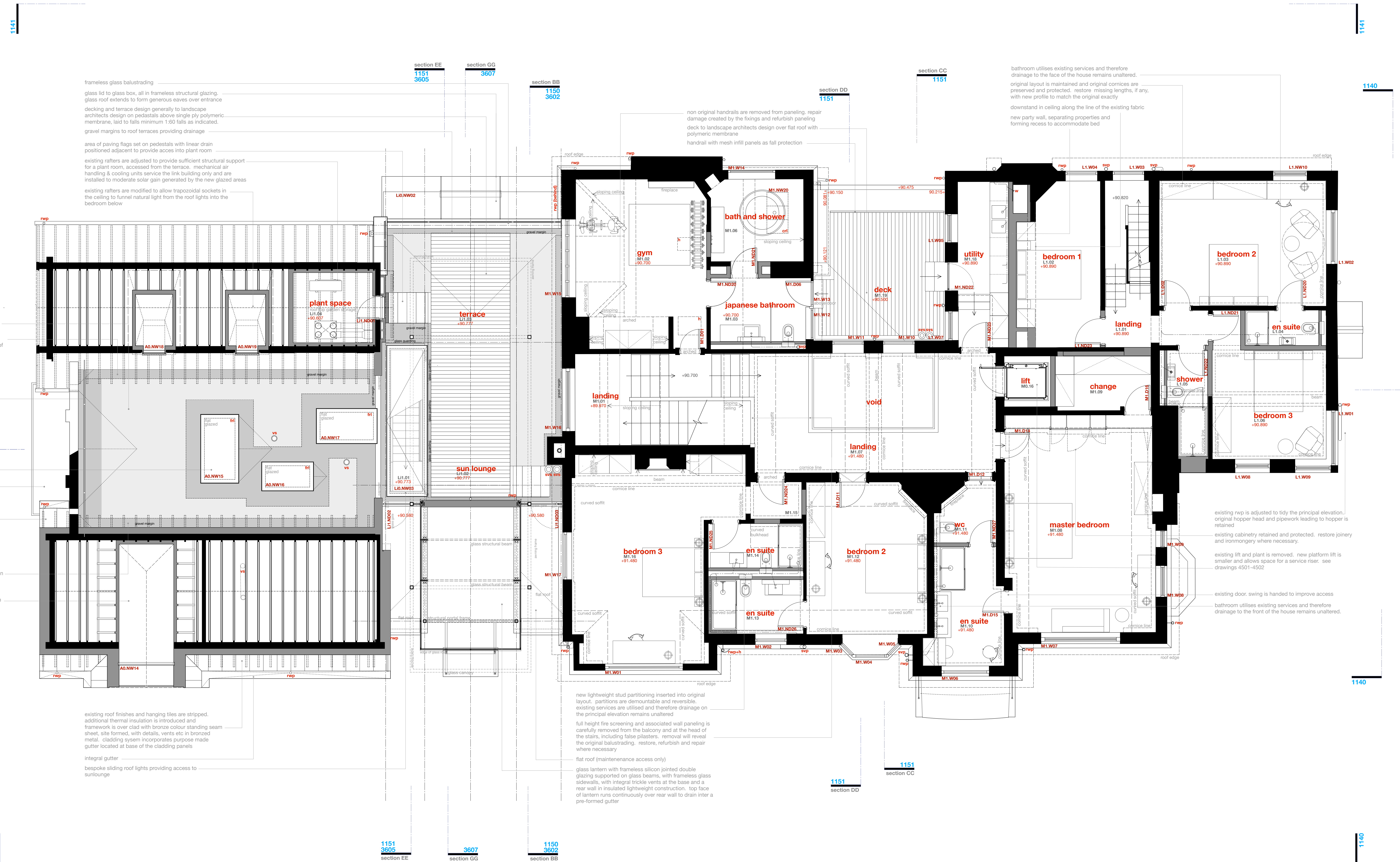
Some drawings are kindly provided by relevant Highways Local Councils and are assumed to accurately describe the existing buildings, services and external spaces.



**Existing Walls**  
**New walls to be inserted**

**Features**

- windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vss vertical sliding sash timber window
  - ss fixed light timber window
  - rt roof light (flat roof)
  - vtl velux style roof light (pitched roof)
  - ertl conversion style roof light (pitched roof)
  - ccg ceiling hatch
  - hf floor hatch
  - sd sliding door
  - stdf sliding folding door
- ventilation and flues**
- f wall / roof mounted flue to gas boiler / gas fire, terminal colour is black
  - ab1 air brick wall terminal as extract to bathrooms, kitchens etc, grille only, standard V10, weather towel, service able, in powder coated aluminium, colour to suit brookwood
  - ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main house and ridge, 200x220mm baffle top and mesh vent with vertical slots in powder coated aluminium, colour is black
  - ab3 as ab2, with flyscreen removed for greater ventilation rate
  - ab4 re-use existing terracotta airbrick
  - vt low profile ventilated roof tile, colour and size matched to existing
  - vth hooded ventilated roof tile, colour and size matched to existing
  - vs ventilation stack, black
  - svs ventilation stack, polished stainless steel
- drainage services and landscape**
- mh Existing manhole
  - ic Existing inspection chamber
  - wic Existing water service inspection chamber
- FWIC 01**
- ic Inspection chamber collecting foul water drainage
  - ppp Soil vent pipe and underground foul water drainage
  - w Waste pipe from washbasin/shower to foul water drainage
  - rwp Rainwater pipe, gully and underground surface water drainage
  - rwpsh Rainwater hopper draining into rainwater hopper
  - rs Rainwater outlet
  - o Rainwater outlet
- mechanical heating**
- g gas fired boiler and wall mounted flue
  - u unvented cylinder



frameless glass balustrading  
 glass lid to glass box, all in frameless structural glazing.  
 glass roof extends to form generous eaves over entrance  
 decking and terrace design generally to landscape architects design on pedestals above single ply polymeric membrane, laid to falls minimum 1:80 falls as indicated.  
 gravel margins to roof terraces providing drainage  
 area of paving flags set on pedestals with linear drain positioned adjacent to provide access into plant room  
 existing rafters are adjusted to provide sufficient structural support for a plant room, accessed from the terrace. mechanical air handling & cooling units service the link building only and are installed to moderate solar gain generated by the new glazed areas  
 existing rafters are modified to allow trapezoidal sockets in the ceiling to funnel natural light from the roof lights into the bedroom below

non original handrails are removed from panelling, repair damage created by the fixings and refurbish panelling deck to landscape architects design over flat roof with polymeric membrane  
 handrail with mesh infill panels as fall protection

bathroom utilises existing services and therefore drainage to the face of the house remains unaltered.  
 original layout is maintained and original corbices are preserved and protected, restore missing lengths, if any, with new profile to match the original exactly  
 downstand in ceiling along the line of the existing fabric  
 new party wall, separating properties and forming recess to accommodate bed

flat roof, maintenance access only, accessed from main roof terrace via lockable glass gate, adjacent to main stair gravel margin for drainage and to resolve level between main roof spaces and junction with pitched roofs. design of roof to landscape architects design

glass gaurding as edge protection against falling

new flush glazed rooflights inserted into flat roof above staircase and bathrooms  
 new balcony below

existing roof is overlaid with bronzed coloured standing seam sheet system with integrated formed gutter at the base

gravel margin for drainage and to resolve level between main grassed roof spaces and junction with pitched roofs  
 existing roof trusses are modified to create an attic roof above the double bedroom. ceiling shape is extruded from the profile of the south facing gable ANW14

existing roof finishes and hanging tiles are stripped, additional thermal insulation is introduced and framework is over clad with bronze colour standing seam sheet, site formed, with details, vents etc in bronzed metal. cladding system incorporates purpose made gutter located at base of the cladding panels  
 integral gutter  
 bespoke sliding roof lights providing access to sunlounge

new lightweight stud partitioning inserted into original layout, partitions are demountable and reversible, existing services are utilised and therefore drainage on the principal elevation remains unaltered  
 full height fire screening and associated wall paneling is carefully removed from the balcony and at the head of the stairs, including false plaster. removal will reveal the original balustrading, restore, refurbish and repair where necessary

flat roof (maintenance access only)  
 glass lantern with frameless silicon jointed double glazing supported on glass beams, with frameless glass side walls, with integral trickle vents at the base and a rear wall in insulated lightweight construction. top face of lantern runs continuously over rear wall to drain into a pre-formed gutter

REV F 09 Mar 2020 GM/G The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments. The amendments included mostly rationalise the alterations at Rev E

REV E 06 Sep 2021 GM/G The previously approved scheme (scheme 2) is altered to include a number of small amendments.

REV D score

REV C 15 Jan 2021 GM/G Planning Application further reviewed, in response to planning and conservation officers comments

REV B 10 Aug 2020 GM/G Revised Planning Application marked at Revision B

REV A 05 Dec 2019 GM/G Original Planning Application marked at Revision A

PROJECT  
**The Hood: Scheme 3**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Planning & Consent: Victorian House To Private Domestic Accommodation, NWS3 SNU

CLIENT  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

DRAWING  
**First Floor Layout**  
 as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A3	GM/G	GM/G	May 2021

**BOWKER SADLER ARCHITECTURE**  
 A: Hathelrow House, Hathelrow, Ramsey, Stockport SK6 3DY  
 T: 0161 406 7333  
 E: info@bowker-sadler.co.uk  
 W: www.bowker-sadler.co.uk

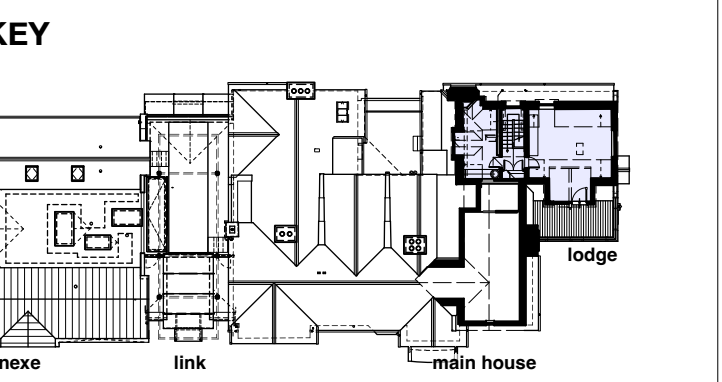
JOB NO.	DRAWING NO.	REVISION
19013	1122	F

STAGE: PLANNING



BOWKER SADLER PARTNERSHIP LIMITED  
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INSTRUMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS.  
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN.  
 REPORT ERRORS & OMISSIONS TO ARCHITECT.  
 CHECK ALL DIMENSIONS ON SITE.  
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS.

Survey drawings are kindly provided by Mutton Hughes Land Survey Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



Existing Walls  
 New walls to be inserted

**Features**

**windows**

- bhc bottom hung timber casement window
- thc top hung timber casement window
- shc side hung casement
- vss vertical sliding sash timber window
- fl fixed light timber window
- rl roof light (flat roof)
- vtl velux style roof light (pitched roof)
- ortl conservation style roof light (pitched roof)
- h ceiling hatch
- M floor hatch
- sd sliding door
- sfd sliding folding door

**ventilation and flues**

- f wall / roof mounted flue to gas boiler / gas fire, terminal colour is black
- ab1 air brick wall terminal as extract to bathroom, kitchen etc, enamel only, standard M28 weather beuz, various sizes, in powder coated aluminium, colour to suit brickwork
- ab2 air brick wall terminal as extract to bathroom, kitchen etc, enamel house and ridge, 225x225mm (specify H4 and cross vent with vertical slots in powder coated aluminium, colour is black as ab2, with flyscreen removed for greater ventilation rate
- ab3 re-use existing terracotta airbrick
- vt low profile ventilated roof tile, colour and size matched to existing
- vth hooded ventilated roof tile, colour and size matched to existing
- vs ventilation stack, black
- svs ventilation stack, polished stainless steel

**drainage services and landscape**

- mh Existing manhole
- ic Existing inspection chamber
- wic Existing water service inspection chamber
- FWIC 01 Inspection chamber collecting foul water drainage
- twr Soil vent pipe and underground foul water drainage
- wp Waste pipe from wet basin/shower to foul water drainage
- rwp Rainwater pipe, gully and underground surface water drainage
- rwp-h Rainwater hopper draining into rainwater hopper
- sp Rainwater spout
- o Rainwater outlet

**mechanical: heating**

- gas fired boiler and wall mounted flue
- unvented cylinder

- REV F 09 Mar 2022 GM:G  
 The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments. The amendments included mostly rationalise the alterations at Rev E.  
 REV E 06 Sep 2021 GM:G  
 The previously approved scheme (scheme 2) is altered to include a number of small amendments.  
 REV D 20/08/2021 GM:G  
 REV C 15 Jan 2021 GM:G  
 Planning Application further revised, in response to planning and conservation officers comments.  
 REV B 10 Aug 2020 GM:G  
 Revised Planning Application marked at Revision B.  
 REV A 05 Dec 2019 GM:G  
 Original Planning Application marked at Revision A.

REV	DATE	DRN	CHKD

**PROJECT**  
**The Hoo, Scheme 3**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Returning A Grand Victorian House to Private Domestic Accommodation NW3 SNU

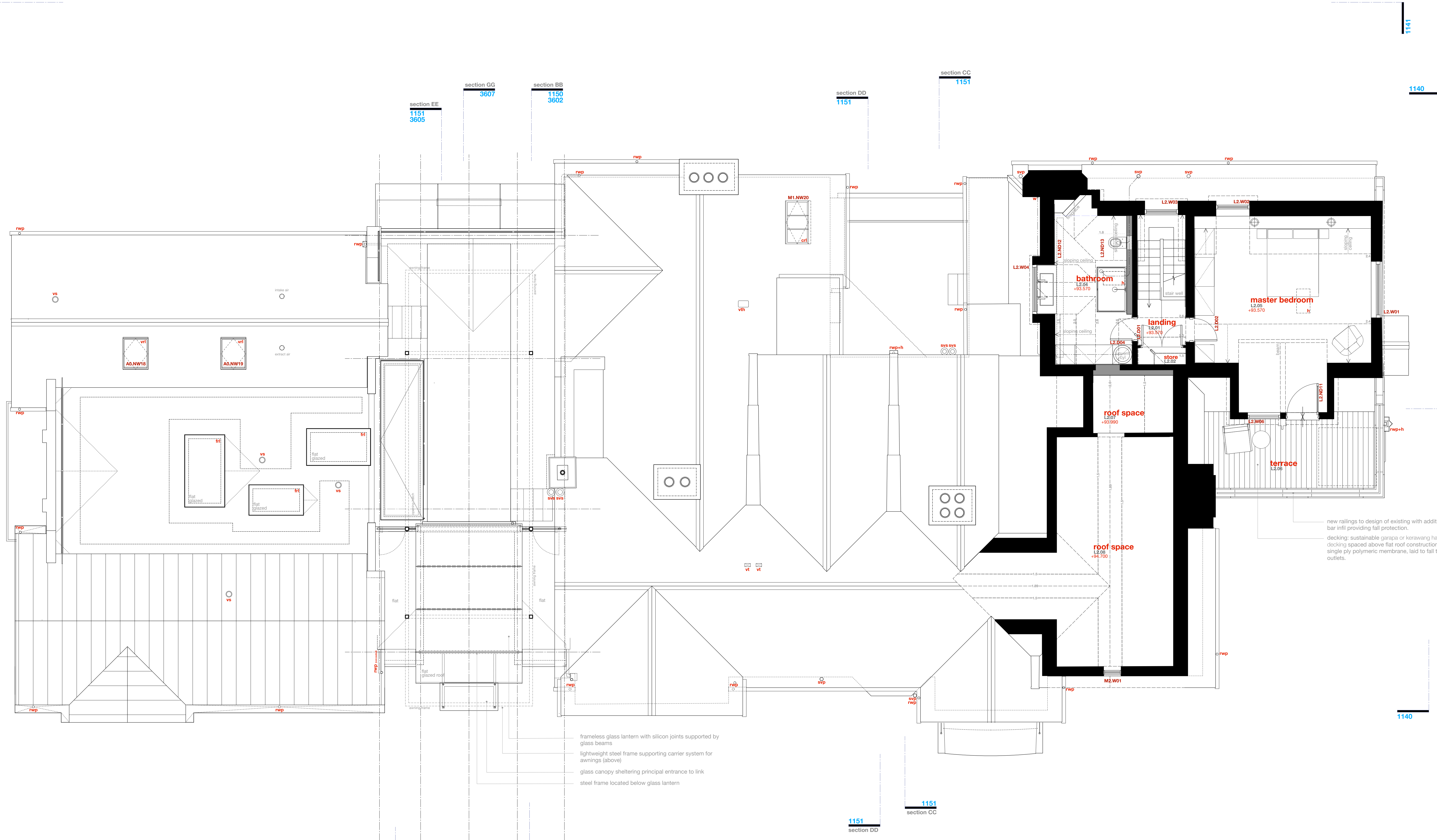
**CLIENT**  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

**DRAWING**  
**Second Floor Layout**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM:G		May 2020

**BOWKER SADLER ARCHITECTURE**  
 A: Hatherlow House, Hatherlow, Romley, Stockport SK9 3DY  
 T: 0161 406 7333  
 E: info@bowker-sadler.co.uk  
 W: www.bowker-sadler.co.uk

JOB NO	DRAWING NO	REVISION
19013	1123	F
STATUS	PLANNING	



frameless glass lantern with silicon joints supported by glass beams  
 lightweight steel frame supporting carrier system for awnings (above)  
 glass canopy sheltering principal entrance to link  
 steel frame located below glass lantern

new railings to design of existing with additional vertical bar infill providing fall protection.  
 decking: sustainable garapa or kerawing hardwood  
 cladding spaced above flat roof construction, renew felt single ply polymeric membrane, laid to fall to existing outlets.

section AA 1150 3601  
 1141  
 1140  
 1151  
 section DD 1151  
 section CC 1151  
 section BB 1150 3602  
 section GG 3607  
 section EE 1151 3605  
 1140  
 3601 1150 1150 section AA  
 1140  
 1141



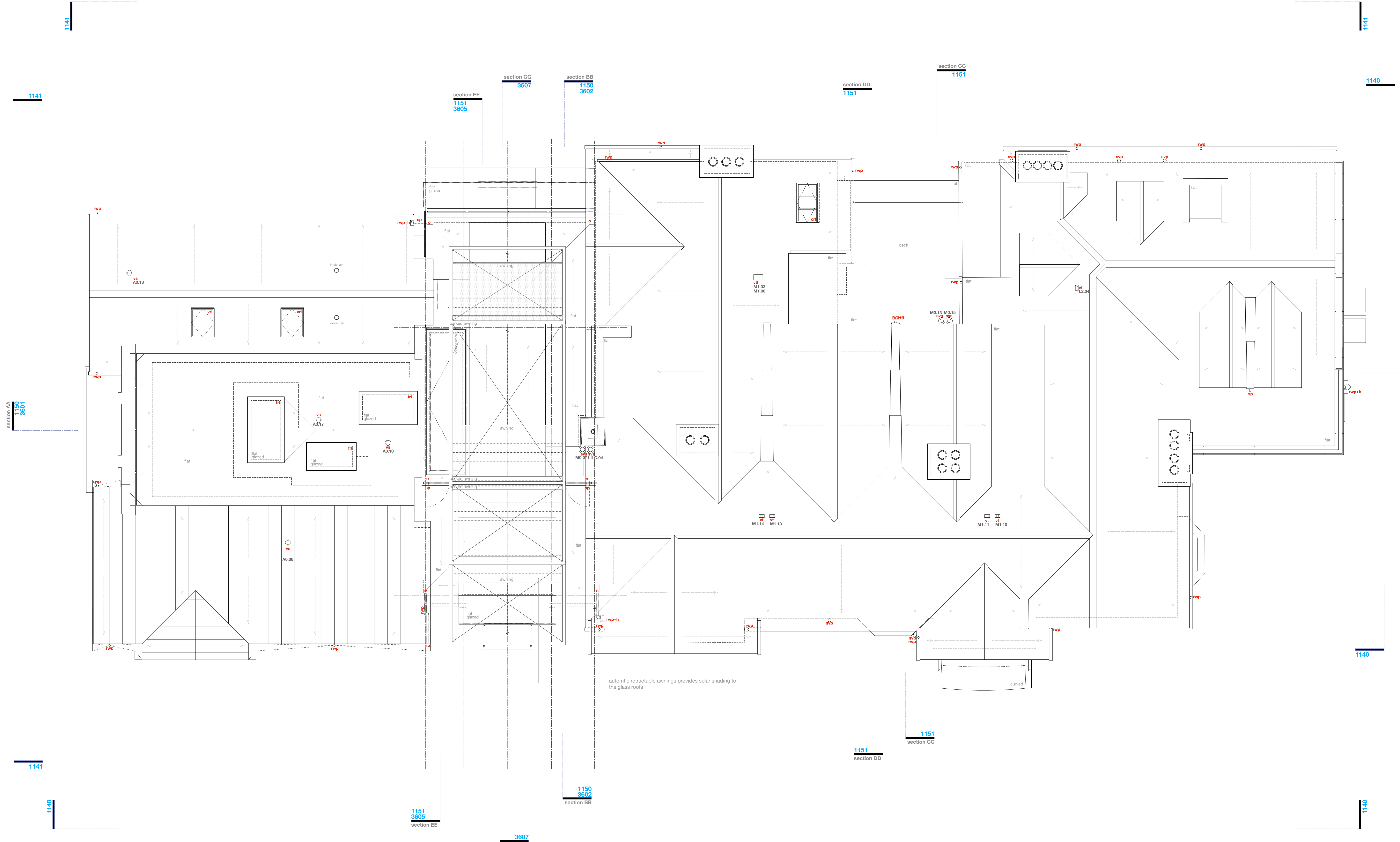


© BOWKER SADLER PARTNERSHIP LIMITED  
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INSTRUMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS.  
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN.  
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.  
 ■ CHECK ALL DIMENSIONS ON SITE.  
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS.

Survey drawings are kindly provided by Mutton Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

**KEY**  
 Existing Walls  
 New walls to be inserted

- Features**
- windows**  
 bhc bottom hung timber casement window  
 thc top hung timber casement window  
 shc side hung casement  
 vsh vertical sliding sash timber window  
 fl fixed light timber window  
 fl roof light (flat roof)  
 vrl velux style roof light (gabled roof)  
 csl conservation style roof light (gabled roof)  
 h ceiling hatch  
 fh floor hatch  
 sd sliding door  
 sld sliding folding door
- ventilation and flues**  
 f wall / roof mounted flue to gas boiler / gas fire, terracotta colour or black  
 ab1 air brick wall terminal as extract to bathrooms, kitchens etc, arched only, standard WLB weather bunn, various sizes, in powder coated aluminium, colour to suit brikwork  
 ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge, 225x225mm (bosphate hi and miss vent with vertical slots in powder coated aluminium, colour to black as ab2, with flyscreen removed for greater ventilation rate  
 ab3 re-use existing terracotta airbrick  
 vt low profile ventilated roof tile, colour and size matched to existing  
 vth hooded ventilated roof tile, colour and size matched to existing  
 vs ventilation stack, black  
 vss ventilation stack, polished stainless steel
- drainage services and landscape**  
 mh Existing manhole  
 ic Existing inspection chamber  
 wic Existing water service inspection chamber  
 FWIC 01 inspection chamber collecting foul water drainage  
 swp Soil vent pipe and underground foul water drainage  
 w Waste pipe from washbasin/shower to foul water drainage  
 rwp Rainwater pipe, gully and underground surface water drainage  
 rwp-h Rainwater hopper draining into rainwater hopper  
 sp Rainwater spout  
 o Rainwater outlet
- mechanical; heating**  
 gas fired boiler and wall mounted flue  
 unvented cylinder



automatic retractable awnings provides solar shading to the glass roofs

- REV F 09 Mar 2022 GMLG  
 The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments. The amendments included mostly rationalise the alterations at Rev E.  
 REV E 06 Sep 2021 GMLG  
 The previously approved scheme (scheme 2) is altered to include a number of small amendments.  
 REV D none  
 REV C 06 Oct 2020 GMLG  
 Gridlines re-adjusted to agree with adjustments to the structure on lower floors. Rooflights above awnings are amended to incorporate off-the-shelf sizes available.  
 REV B 10 Aug 2020 GMLG  
 Proposed Planning Application marked at Revision B.  
 REV A 05 Dec 2019 GMLG  
 Original Planning Application marked at Revision A.

REV	DATE	DRN	CHKD
F	09 Mar 2022	GMLG	
E	06 Sep 2021	GMLG	
D	none		
C	06 Oct 2020	GMLG	
B	10 Aug 2020	GMLG	
A	05 Dec 2019	GMLG	

**PROJECT**  
 The Hoo, Scheme 3  
 17 Lyndhurst Gardens,  
 Hampstead, London  
 Returning a Grand Victorian House to Private Domestic Accommodation  
 NW3 SNU

**CLIENT**  
 Mr and Mrs Yu  
 REPRESENTED BY  
 JAGA Developments (London)

**DRAWING**  
 Roof Layout  
 as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GMLG		May 2020

**BOWKER SADLER ARCHITECTURE**  
 A: Hatherlow House, Hatherlow, Romley, Stockport SK9 3DY  
 T: 0161 408 7333  
 E: info@bowker-sadler.co.uk  
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
19013	1124	F
STATUS	PLANNING	



**BOWKER SADLER PARTNERSHIP LIMITED**  
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH RESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFRINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY ANY MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS.  
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN.  
 REPORT ERRORS & OMISSIONS TO ARCHITECT  
 CHECK ALL DIMENSIONS ON SITE  
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Survey drawings are kindly provided by Mason Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

**KEY**

**Features**

**windows**

- bhc bottom hung timber casement window
- thc top hung timber casement window
- shc side hung casement
- vt vertical sliding sash timber window
- tt tilt and turn window
- fl fixed light timber window
- nl roof light (flat roof)
- vtf valua style roof light (pitched roof)
- oh conservation style roof light (pitched roof)
- h ceiling hatch
- sd sliding door
- pd pivot door

**ventilation and flues**

- f wall / roof mounted flue to gas boiler / gas fire, terminate colour to brick
- ab1 air brick wall terminal as extract to bathrooms, kitchens etc, airwex only, standard VUL38 weather kum, unisex 40mm, in powder coated aluminium, colour to suit brickwork
- ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge, 203x225mm bespoke 70 and 100 series with vertical slots in powder coated aluminium, colour to brick as ab2, with flyscreen removed for greater ventilation rate
- ab3 air use existing terracotta airbrick
- ab4 low profile ventilated roof tile, colour and size matched to existing
- vh hooded ventilated roof tile, colour and size matched to existing
- vs ventilation stack, black
- svs ventilation stack, polished stainless steel

**note:** existing windows are generally timber frames with leaded glazing (large glazed and the painted metal sashes). some metalwork has been replaced with painted timber to mimic the original sash.  
 on the north and the west elevations of the main house the windows are simpler with single glazing and painted timber frames. there are a pair of painted metal frame windows on the north elevation.  
 the timber casement windows found on the airwex will be replaced by low profile double glazed units with an anodised bronze aluminium frame.  
 Existing building fabric and structure, including roofs, sills, masonry, window, and rainwater goods to be maintained and repaired/retained where necessary. The conditions survey will form the basis from which the maintenance works will be scheduled and agreed.



Principal Elevation: South

DATUM 63.000



Principal Elevation: East

DATUM 63.000

REV F 09 Mar 2022 GMS/G  
 The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments. The amendments included mostly rationalise the alterations at Rev E

REV E 08 Sep 2021 GMS/G  
 The previously approved scheme (scheme 2) is altered to include a number of small amendments.

REV D  
 s/n

REV C 15 Jan 2021 GMS/G  
 Planning Application further revised, in response to planning and conservation officers comments

REV B 10 Aug 2020 GMS/G  
 Revised Planning Application marked at Revision B

REV A 01 Dec 2019 GMS/G  
 Original Planning Application marked at Revision A

PROJECT  
 The Hoo, Scheme 3  
 17 Lyndhurst Gardens,  
 Hampstead, London  
 Returning A Grand Victorian House To Private Domestic Accommodation  
 NW3 5NU

CLIENT  
 Mr and Mrs Yu  
 REPRESENTED BY  
 JAGA Developments (London)

DRAWING  
 South and East Elevations  
 as Proposed

SCALE 1:50 SHEET SIZE @ A0 DRAWN GMS/G CHECKED DATE Oct 2019

**BOWKER SADLER ARCHITECTURE**  
 A: Hatherlow House, Hatherlow, Romley, Stockport SK6 3DY  
 T: 0161 406 7333  
 E: info@bowker-sadler.co.uk  
 W: www.bowker-sadler.co.uk

JOB No 19013 DRAWING No 1140 REVISION F  
 STATUS PLANNING



© BOWKER SADLER PARTNERSHIP LIMITED  
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INSTRUMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS.  
 BOWKER SADLER PARTNERSHIP LIMITED ASSUMES ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN.

REPORT ERRORS & OMISSIONS TO ARCHITECT  
 CHECK ALL DIMENSIONS ON SITE  
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS

Survey drawings are kindly provided by Moom Hughes Land Survey Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

**KEY**

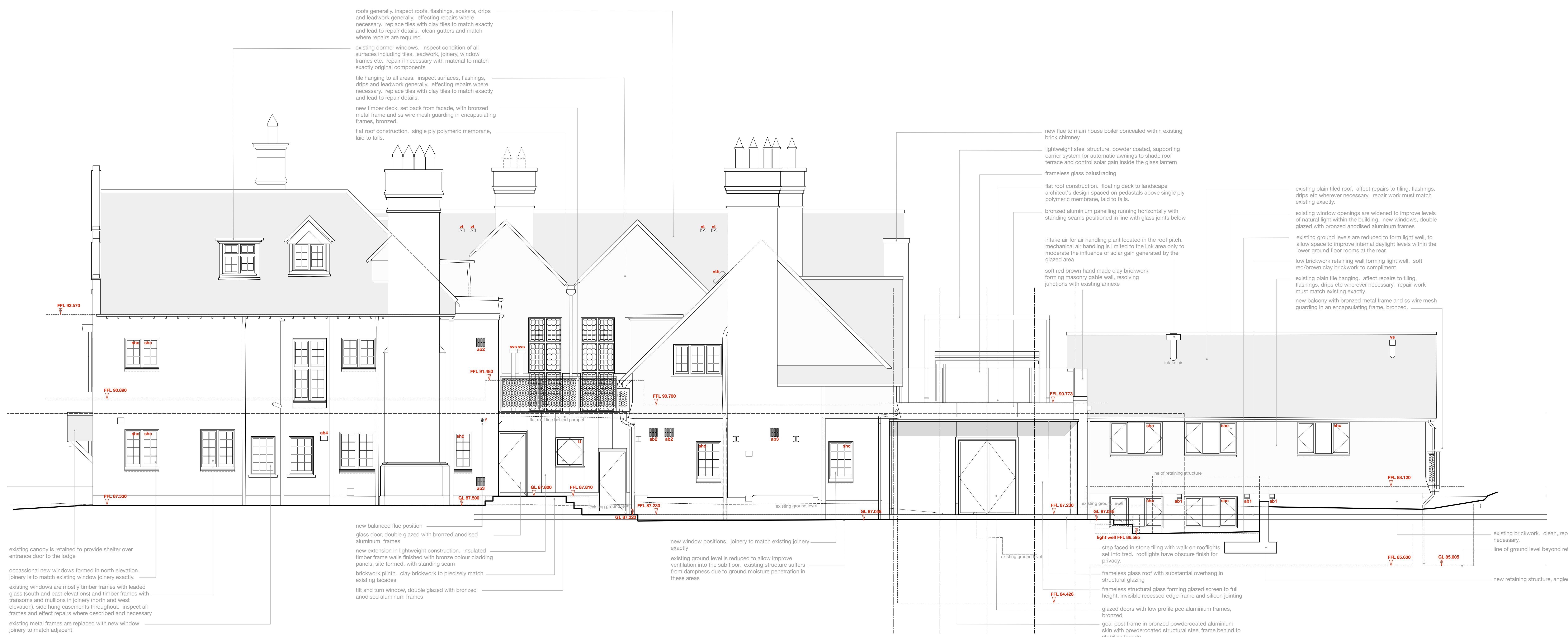
**Windows**

bhc bottom hung timber casement window  
 shc top hung timber casement window  
 shs side hung casement  
 vss vertical sliding sash timber window  
 tt tilt and turn window  
 fl fixed light timber window  
 rl roof light (flat roof)  
 vt velux style roof light (pitched roof)  
 ch conservation style roof light (pitched roof)  
 h hatching  
 ad skirting door  
 pd pivot door

**ventilation and flues**

f wall / roof mounted flue to gas boiler / gas fire, terminal colour is black  
 ab1 air brick wall terminal as noted to bathrooms, kitchens etc, annexe only, standard WJ38 weather boots, various sizes, in powder coated aluminium, colour to suit brickwork  
 ab2 air brick wall terminal as noted to bathrooms, kitchens etc, main house and lodge, 225x225mm bespoke hit and miss vent with vertical slots in powder coated aluminium, colour a black  
 ab3 as ab2, with flyscreen removed for greater ventilation rate  
 ab4 m-use existing terracotta airbrick  
 vt low profile ventilated roof tile, colour and size matched to existing  
 vh hooded ventilated roof tile, colour and size matched to existing  
 vs ventilation stack, black  
 evs ventilation stack, polished stainless steel

note: existing windows are generally timber frames with leaded glazing (single glazed) and five painted metal sashes, some metalwork has been replaced with painted timber to match the original sash.  
 on the north and the west elevations of the main house the windows are simpler with single glazing and painted timber frames. There are a pair of painted metal frame windows on the north elevation.  
 the timber casement windows found on the annexe will be replaced by low profile double glazed units with an anodised bronze aluminium frame.  
 Existing building fabric and structure, including roof, tiling, masonry, windows, and rainwater goods are to be maintained and repaired/remanufactured where necessary. The condition survey will form the basis from which the maintenance works will be scheduled and agreed.



Principal Elevation: North

DATUM 83.000



Principal Elevation: West

DATUM 83.000

REV F 08 Mar 2022 GMcG  
 The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments. The amendments included mostly reiterate the alterations at the E.  
 REV E 08 Sep 2021 GMcG  
 The previously approved scheme (scheme 2) is altered to include a number of small amendments.  
 REV D spare  
 REV C 15 Jun 2021 GMcG  
 Planning Application further revised, in response to planning and conservation officers comments.  
 REV B 10 Aug 2020 GMcG  
 Revised Planning Application marked at Revision B.  
 REV A 05 Dec 2019 GMcG  
 Original Planning Application marked at Revision A.

PROJECT

**The Hood, Scheme 3**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**

Residential Ground Victorian House To Private Domestic Accommodation  
 NWS SNU

CLIENT

**Mr and Mrs Yu**  
 REPRESENTED BY  
**J&A Developments (London)**

DRAWING

**North and West Elevations**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GMcG		Oct 2019

**BOWKER SADLER ARCHITECTURE**

A: Hatherlow House, Hatherlow, Romley, Stockport SK6 3DY  
 T: 0161 450 7333  
 E: info@bowker-sadler.co.uk  
 W: www.bowker-sadler.co.uk

DRAWING No.	DRAWING No.	REVISION
19013	1141	F
STATUS	PLANNING	

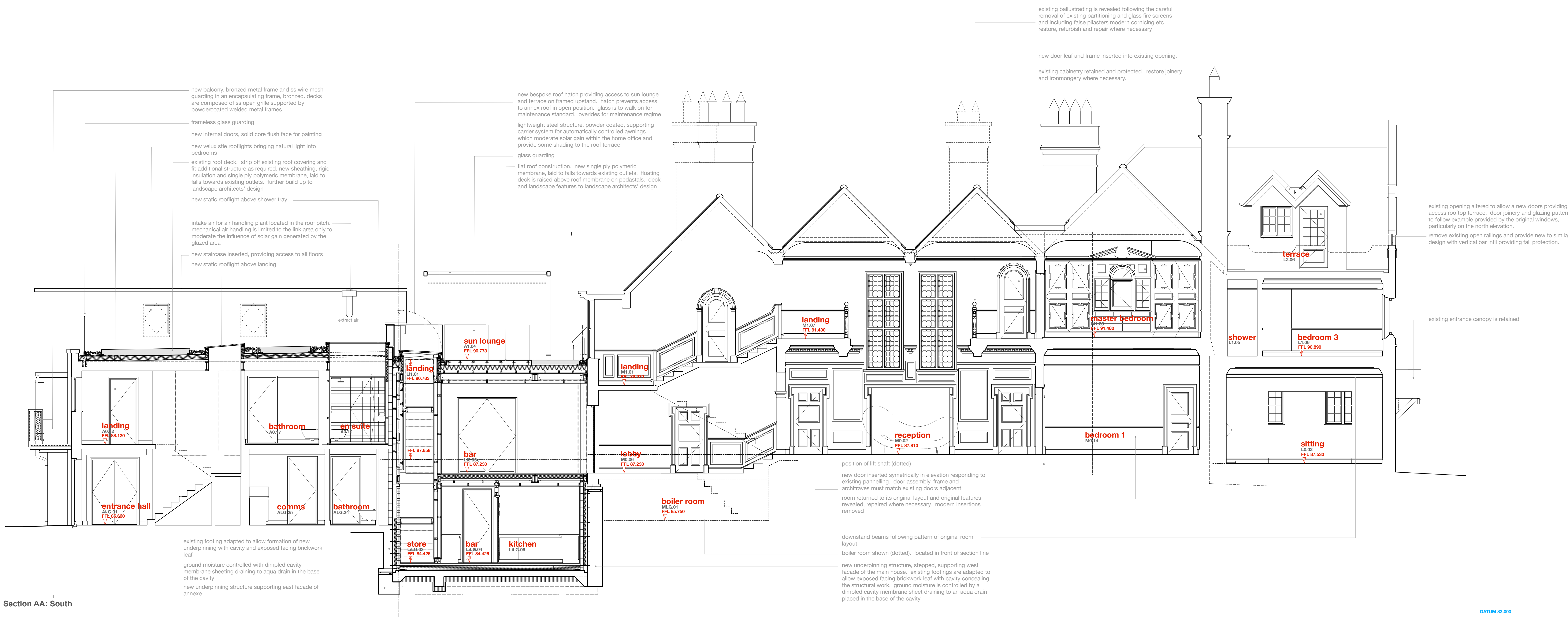


© BOWKER SADLER PARTNERSHIP LIMITED  
 ■ THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN INFINGEMENT OF COPYRIGHT TO REPRODUCE THIS DRAWING, BY WHATEVER MEANS, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS.  
 BOWKER SADLER PARTNERSHIP LIMITED ASSERTS ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN.  
 ■ REPORT ERRORS & OMISSIONS TO ARCHITECT.  
 ■ CHECK ALL DIMENSIONS ON SITE.  
 ■ DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS.

Survey drawings are kindly provided by Abdon Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

**KEY**  
**windows**  
**bhc** bottom hung timber casement window  
**tlc** top hung timber casement window  
**shc** side hung casement  
**vs** vertical sliding sash timber window  
**tt** tilt and turn window  
**tl** fixed light timber window  
**rl** roof light flat roof  
**vt** vitux style roof light glazed roof  
**ort** conservation style roof light pitched roof  
**h** ceiling hatch  
**sd** sliding door  
**pd** pivot door  
**ventilation and flues**  
**f** wall / roof mounted flue to gas boiler / gas fire. terminal colour to black  
**ab1** air brick wall terminal as extract to bathrooms, kitchens etc. anovex only. standard W30 weather flange, various sizes, in powder coated aluminium, colour to suit brickwork.  
**ab2** air brick wall terminal as extract to bathrooms, kitchens etc. main house and lodge. 25x425mm bespoke fit and in rose vent with vertical slots in powder coated aluminium, colour to black.  
**ab3** air ab2, with flyscreen removed for greater ventilation rate.  
**ab4** re-use existing terracotta airbrick  
**vt** low profile ventilated roof tile, colour and size matched to existing.  
**vh** hooded ventilated roof tile, colour and size matched to existing.  
**vs** ventilation stack. black.  
**svs** ventilation stack. polished stainless steel.

**note:** existing windows are generally timber frames with leaded glazing (single glazed) and fire painted metal sashes. some mullionwork has been removed with painted timber to mimic the original sash.  
 on the north and the west elevations of the main house the windows are simpler with single glazing and pair foot timber frames. there are a pair of painted metal frame windows on the north elevation.  
 the timber casement windows found on the annex will be replaced by low profile double glazed units with an anodised bronze aluminium frame.  
 Existing building fabric and structure, including roofs, tiling, masonry, windows, and plasterwork are to be maintained and repaired/replaced where necessary. the conditions survey will form the basis from which the maintenance works will be scheduled and agreed.



Section AA: South

DATUM RL000



Section BB West

DATUM RL000

REV F 09 Mar 2023 GM/G  
 The previously approved scheme (scheme 2) is altered to include a number of minor material amendments. the amendments included mostly rationalise the alterations at Rev E

REV E 08 Sep 2021 GM/G  
 The previously approved scheme (scheme 2) is altered to include a number of small amendments

REV D  
 score

REV C 10 Jan 2021 GM/G  
 Planning Application further revised. in response to planning and conservation officers comments

REV B 10 Aug 2020 GM/G  
 Revised Planning Application marked at Revision B

REV A 03 Dec 2019 GM/G  
 Original Planning Application marked at Revision A

PROJECT	CLIENT
<b>The Hoo, Scheme 3</b> <b>17 Lyndhurst Gardens,</b> <b>Hamstead, London</b>	<b>Mr and Mrs Yu</b> REPRESENTED BY <b>JAGA Developments (London)</b>
DRAWING	STATUS
<b>Sections AA and BB</b> <b>as Proposed</b>	<b>F</b>
SCALE	SHEET SIZE
1:50	A0
DRAWN	CHECKED
GM/G	GM/G
DATE	DATE
Oct 2019	Oct 2019

**BOWKER SADLER ARCHITECTURE**  
 A: Hathor House, Hathorlew, Romley, Stockport SK9 3DY  
 T: 0161 408 7333  
 E: info@bowker-sadler.co.uk  
 W: www.bowker-sadler.co.uk

JOB No: **19013** DRAWING No: **1150** REVISION: **F**  
 STATUS: **PLANNING**



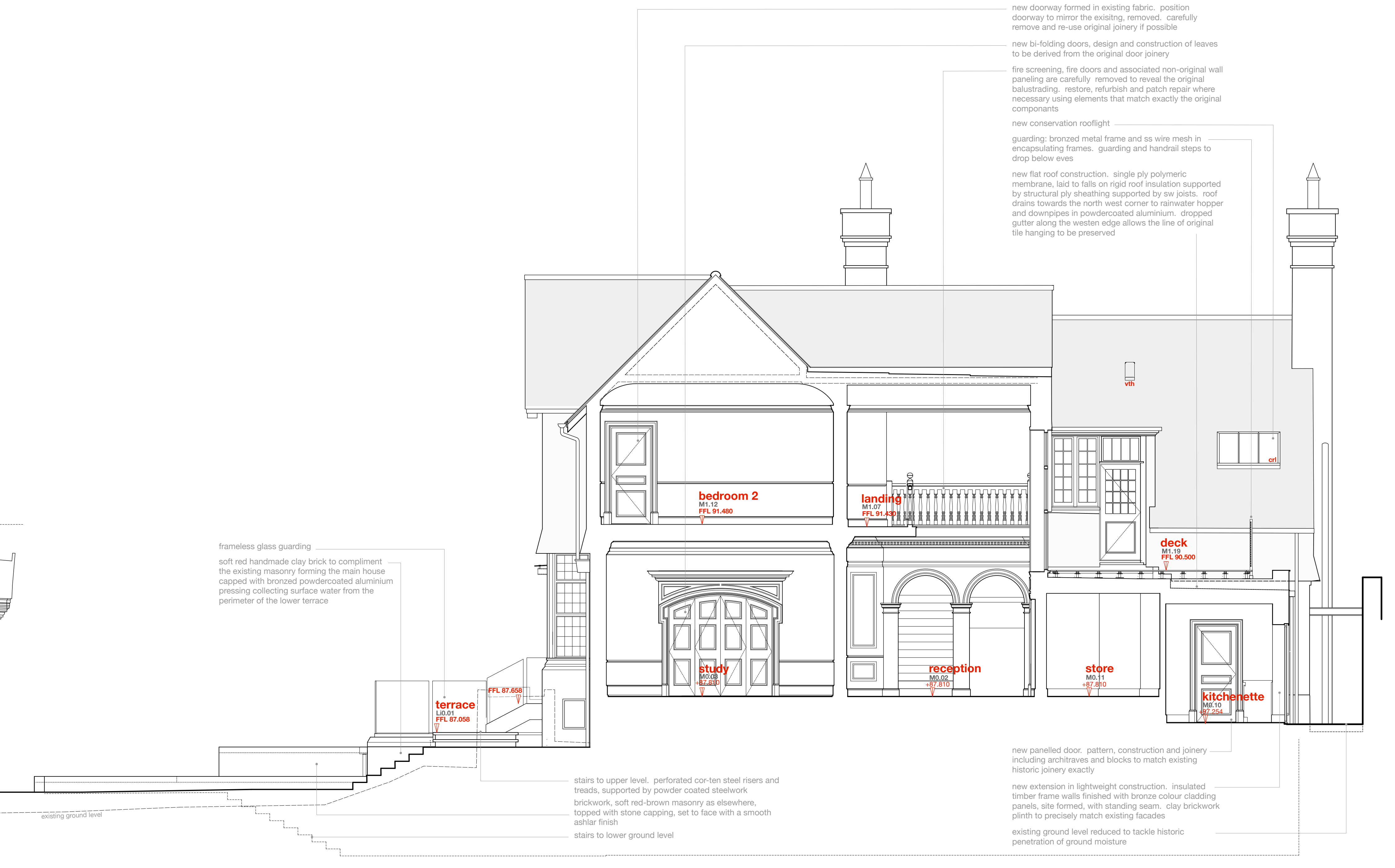
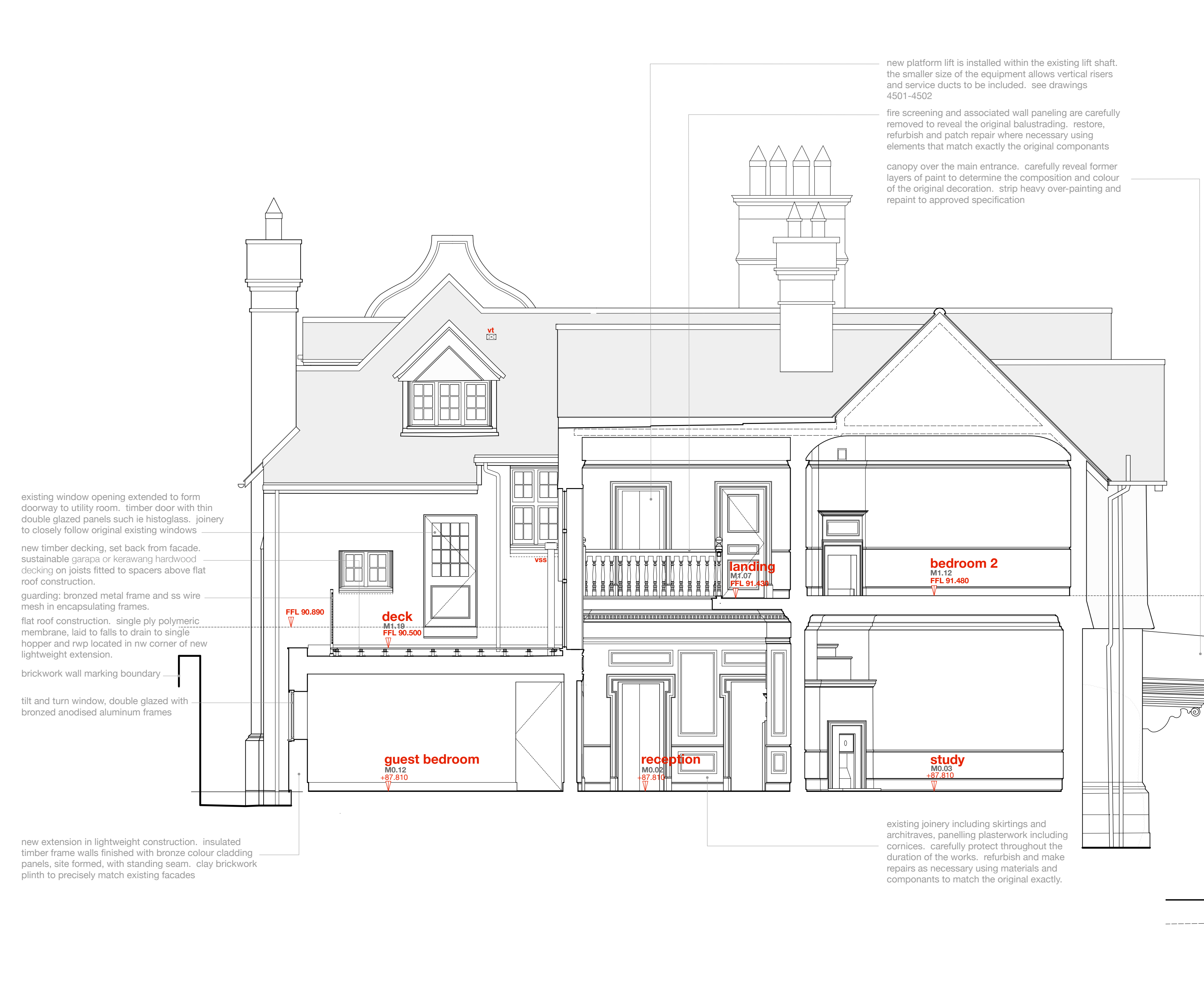
BOWKER SADLER PARTNERSHIP LIMITED  
 THIS DRAWING IS THE SUBJECT OF COPYRIGHT WHICH VESTS IN BOWKER SADLER PARTNERSHIP LIMITED. IT IS AN UNREGISTERED COPYRIGHT AND REPRODUCTION OF THIS DRAWING, IN WHATEVER MANNER, INCLUDING ELECTRONIC, WITHOUT THE EXPRESS WRITTEN CONSENT OF BOWKER SADLER PARTNERSHIP LIMITED WHICH RESERVES ALL ITS RIGHTS.  
 BOWKER SADLER PARTNERSHIP LIMITED ASSUMES ITS RIGHTS TO BE IDENTIFIED AS THE AUTHOR OF THIS DESIGN.  
 REPORT ERRORS & OMISSIONS TO ARCHITECT.  
 CHECK ALL DIMENSIONS ON SITE.  
 DRAWING TO BE READ IN CONJUNCTION WITH THE HEALTH AND SAFETY PLAN AND ALL RELEVANT RISK ASSESSMENTS.

Survey drawings are kindly provided by Gibson Hughes Land Survey Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

**KEY**  
**Windows**  
 bhc bottom hung timber casement window  
 thc top hung timber casement window  
 shc side hung casement  
 vsh vertical sliding sash timber window  
 tt tilt and turn window  
 fl fixed light timber window  
 fl roof light flat roof  
 vl valux style roof light glazed roof  
 ort conservation style roof light pitched roof  
 h ceiling hatch  
 sd sliding door  
 pd pivot door

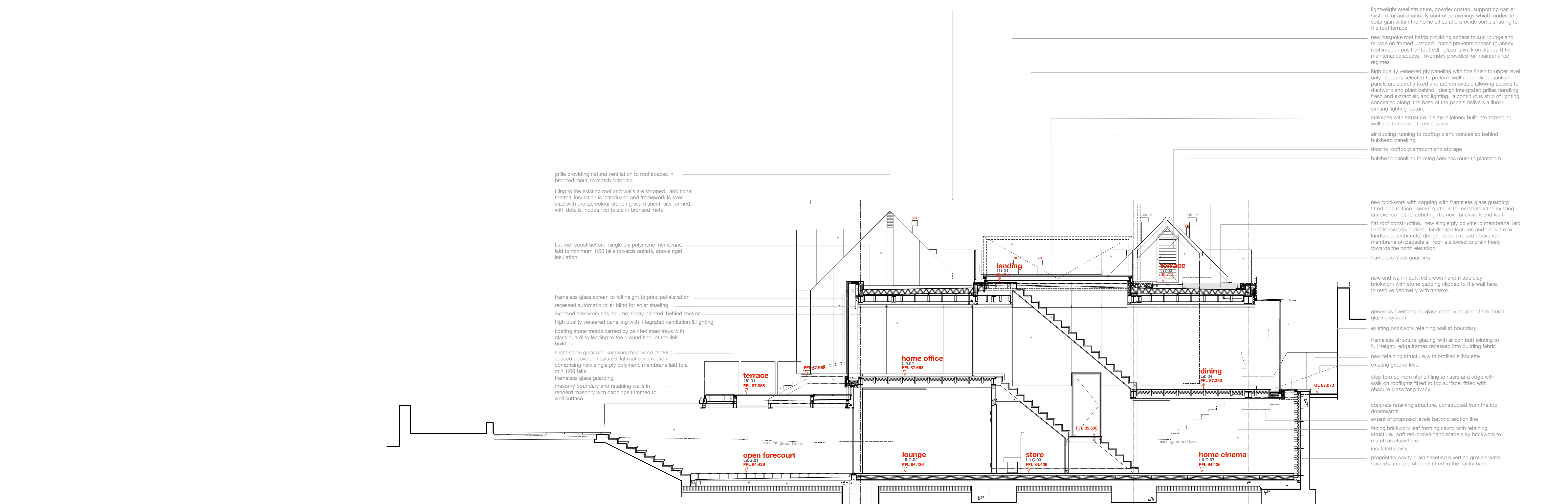
**ventilation and flues**  
 f wall / roof mounted flue to gas boiler / gas fire, terminal colour to black  
 ab1 air brick wall terminal as extract to bathrooms, kitchens etc, arnoex only, standard VLB30 weather boards, various sizes, in powder coated aluminium, colour to suit brickwork  
 ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge, 25x425mm bespoke tilt and rise vent with vertical slots in powder coated aluminium, colour to black  
 ab3 air brick, with flyscreen removed for greater ventilation rate  
 ab4 re-use existing terracotta airbrick  
 vt low profile ventilated roof tile, colour and size matched to existing  
 vth hooded ventilated roof tile, colour and size matched to existing  
 vs ventilation stack, black  
 nvs ventilation stack, polished stainless steel

**note:** existing windows are generally timber frames with leaded glazing (single glazed) and fire painted metal sashes, some multiwork has been removed with original panes to remain the original sash.  
 on the north and the west elevations of the main house the windows are simpler with single glazing and pair foot timber frames. there are a pair of painted metal frame windows on the north elevation.  
 the timber casement windows found on the annex will be replaced by low profile double glazed units with an arched bronze aluminium frame.  
 Existing building fabric and structure, including roofs, sills, masonry, windows, and plasterwork to be maintained and repaired/retained where necessary. the conditions survey will form the basis from which the maintenance works will be scheduled and agreed.



Section CC: West

Section DD: East  
DATUM RL 0.000



Section EE: East  
DATUM RL 0.000

REV	DATE	DRN	CHKD
REV F	09 Mar 2022	GM/G	
REV E	06 Sep 2021	GM/G	
REV D	15 Jan 2021	GM/G	
REV C	09 Sep 2020	GM/G	
REV B	10 Aug 2020	GM/G	
REV A	05 Dec 2019	GM/G	

**PROJECT**  
 The Hoo, Scheme 2  
 17 Lyndhurst Gardens,  
 Hampstead, London  
 Returning a Grand Victorian House to Private Domestic Accommodation  
 NW3 5NU

**CLIENT**  
 Mr and Mrs Yu  
 REPRESENTED BY  
 JAGA Developments (London)

**DRAWING**  
 Sections CC-EE  
 as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G	GM/G	Oct 2019

**BOWKER SADLER ARCHITECTURE**  
 A: Hatherlow House, Hatherlow, Romley, Stockport SK9 3DY  
 T: 0161 408 7333  
 E: info@bowker-sadler.co.uk  
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
19013	1151	F
STATUS	PLANNING	