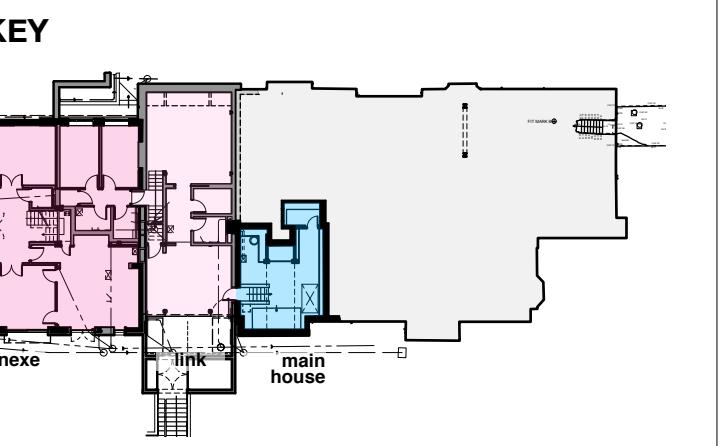


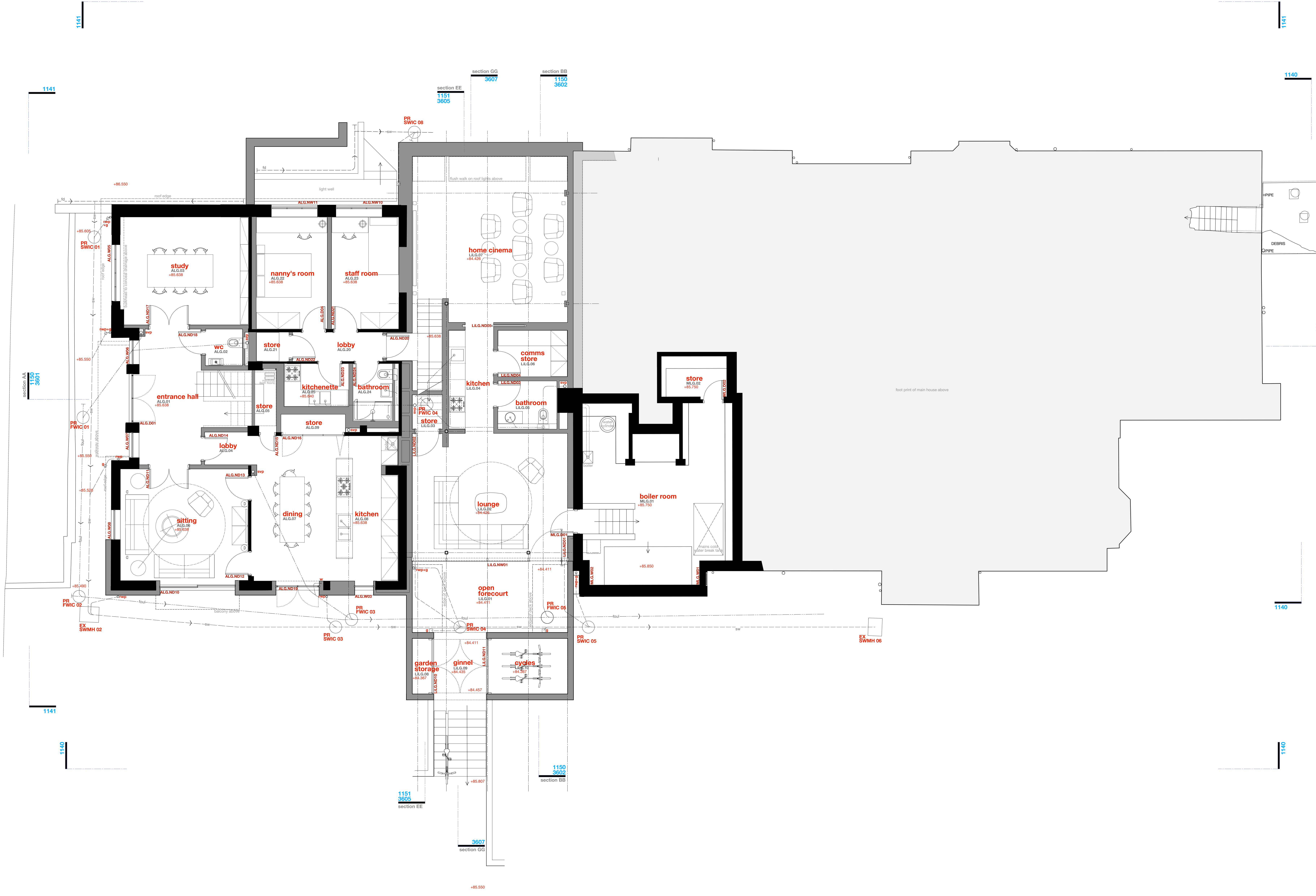
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Survey drawings are kindly provided by Robson Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



- KEY**
- Existing Walls
  - New walls to be inserted
- Features**
- windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vas vertical sliding sash timber window
  - fl fixed light timber window
  - rl roof light (flat roof)
  - vtl velux style roof light (pitched roof)
  - ort conservation style roof light (pitched roof)

- ceiling hatch
  - floor hatch
  - sliding door
  - sliding locking door
- drainage services and landscape**
- mh Existing manhole
  - ic Existing inspection chamber
  - wic Existing water service inspection chamber
- FWIC 01**
- icw inspection chamber collecting foul water drainage
  - swp soil vent pipe and underground foul water drainage
  - w waste pipe from washbasin/shower to foul water drainage
  - rwp rainwater pipe, gully and underground of surface water drainage
  - rwhp rainwater hopper draining into soil-water hopper
  - sp rainwater spout
- mechanical heating**
- gas fired boiler and wall mounted flue
  - unvented cylinder



REV C 15 Jan 2021 GM/G  
 Planning Application further revised, see notes above  
 REV B 10 Aug 2020 GM/G  
 Revised Planning Application marked at Revision B  
 REV A 05 Dec 2019 GM/G  
 Original Planning Application marked at Revision A

PROJECT  
**The Hoo: Scheme 2**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU

CLIENT  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

DRAWING  
**Lower Ground Floor Layout**  
**as Proposed**

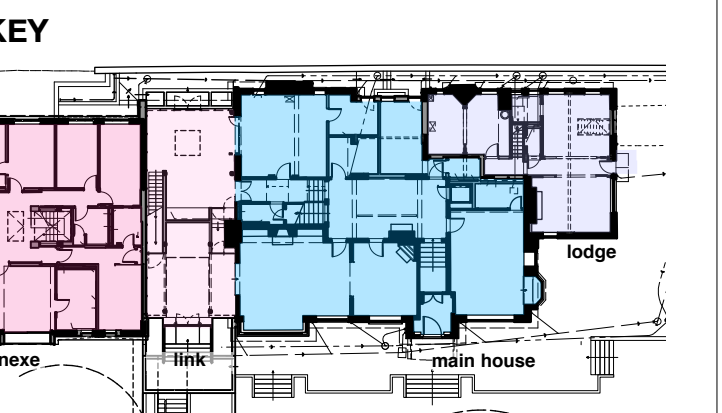
SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		May 2020

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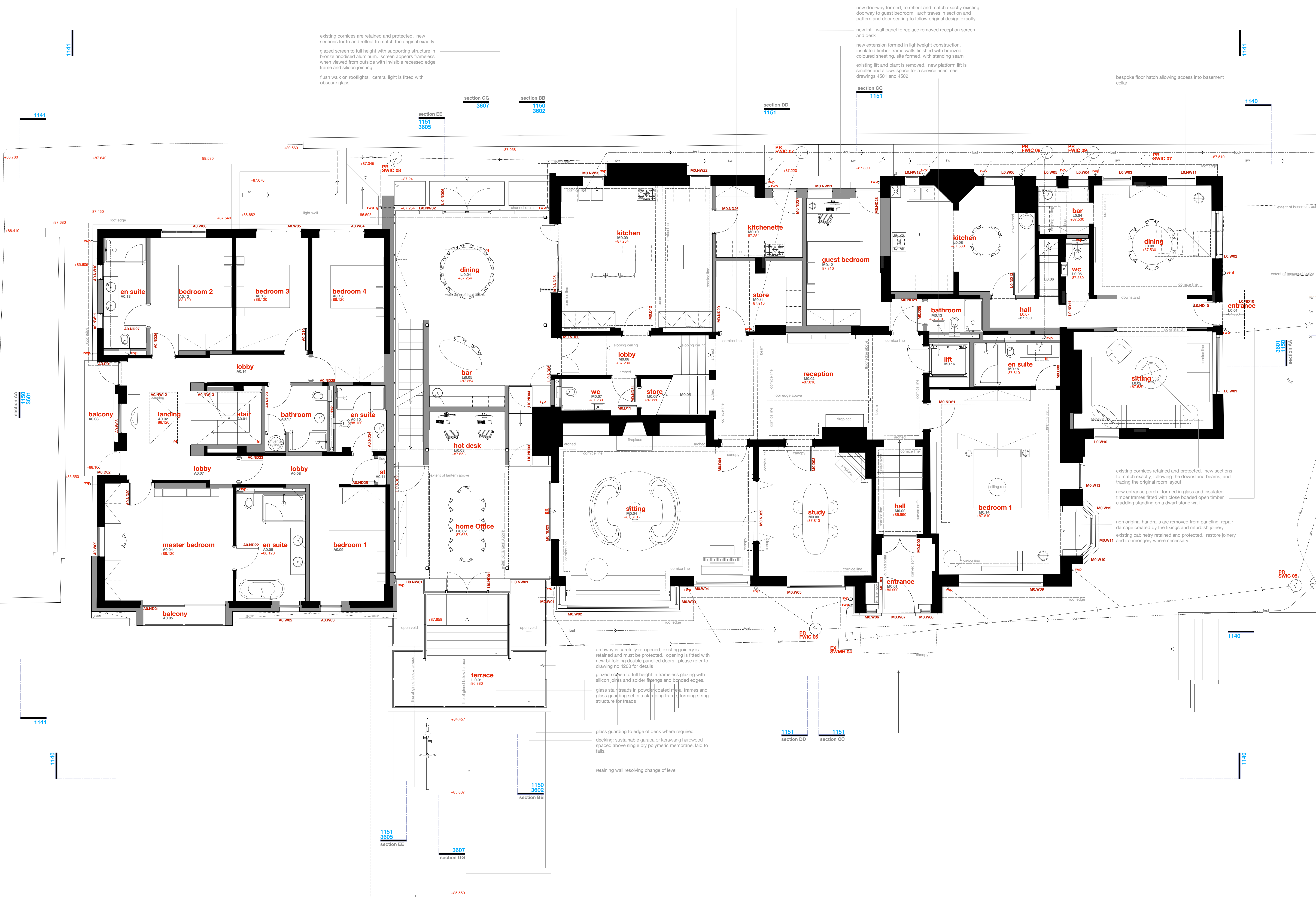
JOB No	DRAWING No	REVISION
19013	1120	C
STATUS FOR PLANNING		

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Survey drawings are kindly provided by Habitat Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



- Features**
- windows**
    - bhc bottom hung timber casement window
    - thc top hung timber casement window
    - shc side hung casement
    - vss vertical sliding sash timber window
    - fl fixed light timber window
    - rl roof light (flat roof)
    - vrl velux style roof light (gabled roof)
    - ort conservation style roof light (gabled roof)
    - h ceiling hatch
    - nf floor hatch
    - sd sliding door
    - sld sliding folding door
  - drainage services and landscape**
    - mh Existing manhole
    - ic Existing inspection chamber
    - wic Existing water service inspection chamber
  - FWIC 01**
    - fwic inspection chamber collecting foul water drainage
    - swp Soil vent pipe and underground foul water drainage
    - w Waste pipe from washbasin/shower to foul water drainage
    - rwp Flawwater pipe, gully and underground surface water drainage
    - rwp+h Flawwater hopper chinking into rainwater hopper
    - sp Rainwater spout
  - mechanical: heating**
    - gs gas fired boiler and wall mounted fire
    - uc unvented cylinder



existing cornices are retained and protected, new sections for to and reflect to match the original exactly glazed screen to full height with supporting structure in bronze anodised aluminum, screen appears frameless when viewed from outside with invisible recessed edge frame and silicon jointing  
 flush walk on rooflights, central light is fitted with obscure glass

new doorway formed, to reflect and match exactly existing doorway to guest bedroom, architraves in section and pattern and door seating to follow original design exactly  
 new infill wall panel to replace removed reception screen and desk  
 new extension formed in lightweight construction, insulated timber frame walls finished with bronze coloured sheathing, site formed, with standing seam existing lift and plant is removed, new platform lift is smaller and allows space for a service riser, see drawings 4501 and 4502

bespoke floor hatch allowing access into basement cellar

existing cornices retained and protected, new sections to match exactly, following the downstand beams, and tracing the original room layout  
 new entrance porch, formed in glass and insulated timber frames fitted with close boarded open timber cladding standing on a dwarf stone wall  
 non original handrails are removed from paneling, repair damage created by the fixings and refurbish joinery  
 existing cabinetry retained and protected, restore joinery and nonmasonry where necessary

archway is carefully re-opened, existing joinery is retained and must be protected, opening is fitted with new bi-folding double panelled doors, please refer to drawing no 4200 for details  
 glazed screen to full height in frameless glazing with silicon joint and spider fixings and braced edges  
 glass stair treads in powder coated metal frames and stainless steel handrails with stainless steel string structure for treads

glass guarding to edge of deck where required decking: sustainable garapa or kerawing hardwood spaced above single ply polymeric membrane, laid to falls

retaining wall resolving change of level

REV C 15 Jan 2021 GM/G Planning Application further revised, see notes above  
 REV B 10 Aug 2020 GM/G Revised Planning Application marked at Revision B  
 REV A 05 Dec 2019 GM/G Original Planning Application marked at Revision A

PROJECT  
**The Hoo: Scheme 2**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU

CLIENT  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

DRAWING  
**Ground Floor Layout**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G	GM/G	May 2020

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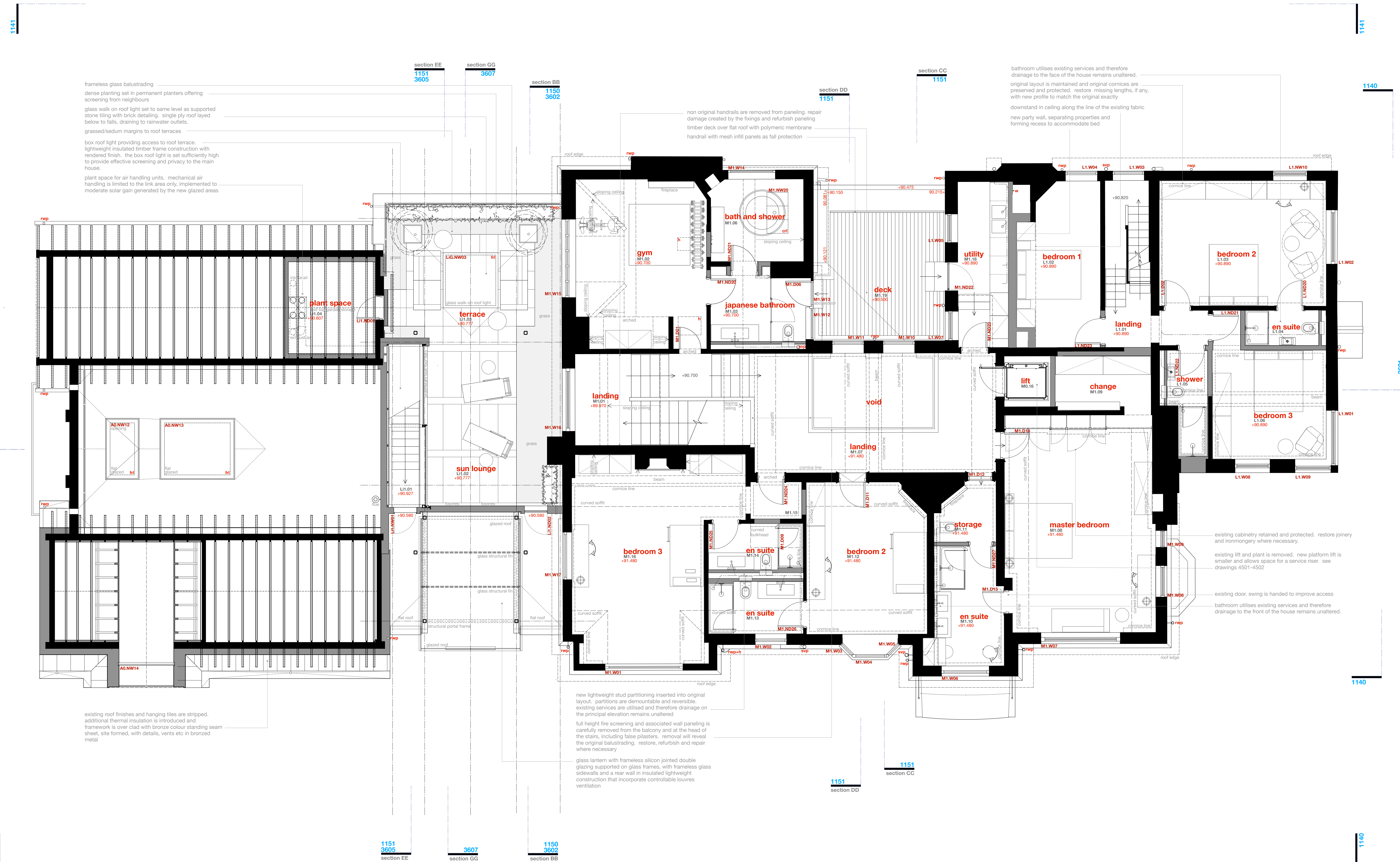
JOB No **19013** DRAWING No **1121** REVISION **C**  
 STATUS **FOR PLANNING**

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Some drawings are kindly provided by relevant Highways, Local Councils L10 and are assumed to accurately describe the existing buildings, services and external spaces.



- KEY**
- Existing Walls
  - New walls to be inserted
- Features**
- windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - slc side hung casement
  - vss vertical sliding sash timber window
  - fl fixed light timber window
  - rl roof light (flat roof)
  - vrl velux style roof light (pitched roof)
  - crf conservation style roof light (pitched roof)
  - h ceiling hatch
  - f floor hatch
  - sd sliding door
  - std sliding folding door
- drainage services and landscape**
- mh Existing manhole
  - ic Existing inspection chamber
  - wic Existing water service inspection chamber
- FWIC 01**
- fwic inspection chamber collecting foul water drainage
  - sfp soil vent pipe and underground foul water drainage
  - w waste pipe from washbasin/shower to foul water drainage
  - rwp rainwater pipe, gully and underground surface water drainage
  - rhwp rainwater hopper draining into rainwater foul sewer
  - rp rainwater spout
- mechanical: heating**
- gas fire boiler and wall mounted flue
  - unvented cylinder



frameless glass balustrading  
 dense planting set in permanent planters offering screening from neighbours  
 glass walk on roof light set to same level as supported stone tiling with brick detailing. single ply roof layered below to falls, draining to rainwater outlets.  
 grassed/sedum margins to roof terraces  
 box roof light providing access to roof terrace. lightweight insulated timber frame construction with rendered finish. the box roof light is set sufficiently high to provide effective screening and privacy to the main house.  
 plant space for air handling units. mechanical air handling is limited to the link area only, implemented to moderate solar gain generated by the new glazed areas

non original handrails are removed from panelling, repair damage created by the fixings and refurbish panelling  
 timber deck over flat roof with polymeric membrane handrail with mesh infill panels as fall protection

bathroom utilises existing services and therefore drainage to the face of the house remains unaltered.  
 original layout is maintained and original cornices are preserved and protected. restore missing lengths, if any, with new profile to match the original exactly  
 downstand in ceiling along the line of the existing fabric  
 new party wall, separating properties and forming recess to accommodate bed

existing roof finishes and hanging tiles are stripped. additional thermal insulation is introduced and framework is over clad with bronze colour standing seam sheet, site formed, with details, vents etc in bronzed metal

new lightweight stud partitioning inserted into original layout. partitions are demountable and reversible. existing services are utilised and therefore drainage on the principal elevation remains unaltered  
 full height fire screening and associated wall panelling is carefully removed from the balcony and at the head of the stairs, including false plaster. removal will reveal the original balustrading, restore, refurbish and repair where necessary

glass lantern with frameless silicon jointed double glazing supported on glass frames, with frameless glass side walls and a rear wall in insulated lightweight construction that incorporate controllable louvres ventilation

existing cabinetry retained and protected. restore joinery and ironmongery where necessary.  
 existing lift and plant is removed. new platform lift is smaller and allows space for a service riser. see drawings 4501-4502  
 existing door. swing is handed to improve access  
 bathroom utilises existing services and therefore drainage to the front of the house remains unaltered.

REV C 15 Jan 2021 GMA/G  
 Planning Application further revised, see notes above  
 REV B 10 Aug 2020 GMA/G  
 Revised Planning Application marked at Revision B  
 REV A 05 Dec 2019 GMA/G  
 Original Planning Application marked at Revision A

PROJECT  
**The Hoo: Scheme 2**  
 17 Lyndhurst Gardens,  
 Hampstead, London

CLIENT  
 Mr and Mrs Yu  
 REPRESENTED BY  
 JAGA Developments (London)

DRAWING  
**First Floor Layout**  
 as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A3	GMA/G		May 2021

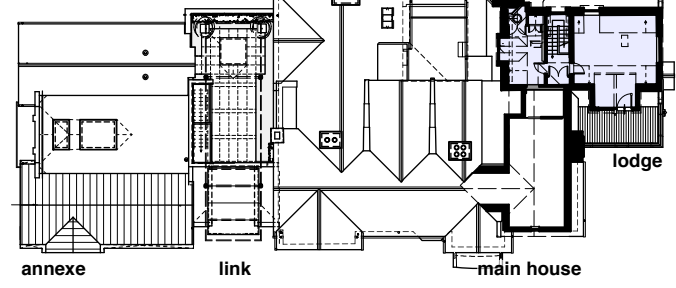
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Survey drawings are kindly provided by Mutton Hughes Land Survey Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

**KEY**



Existing Walls  
 New walls to be inserted

**Features**

**windows**

- bhc bottom hung timber casement window
- lhc top hung timber casement window
- shc side hung casement
- vss vertical sliding sash timber window
- fl fixed light timber window
- rl roof light (flat roof)
- vtl velux style roof light (pitched roof)
- ort conservation style roof light (pitched roof)
- h ceiling hatch
- fl floor hatch
- sd sliding door
- sld sliding loading door

**drainage services and landscape**

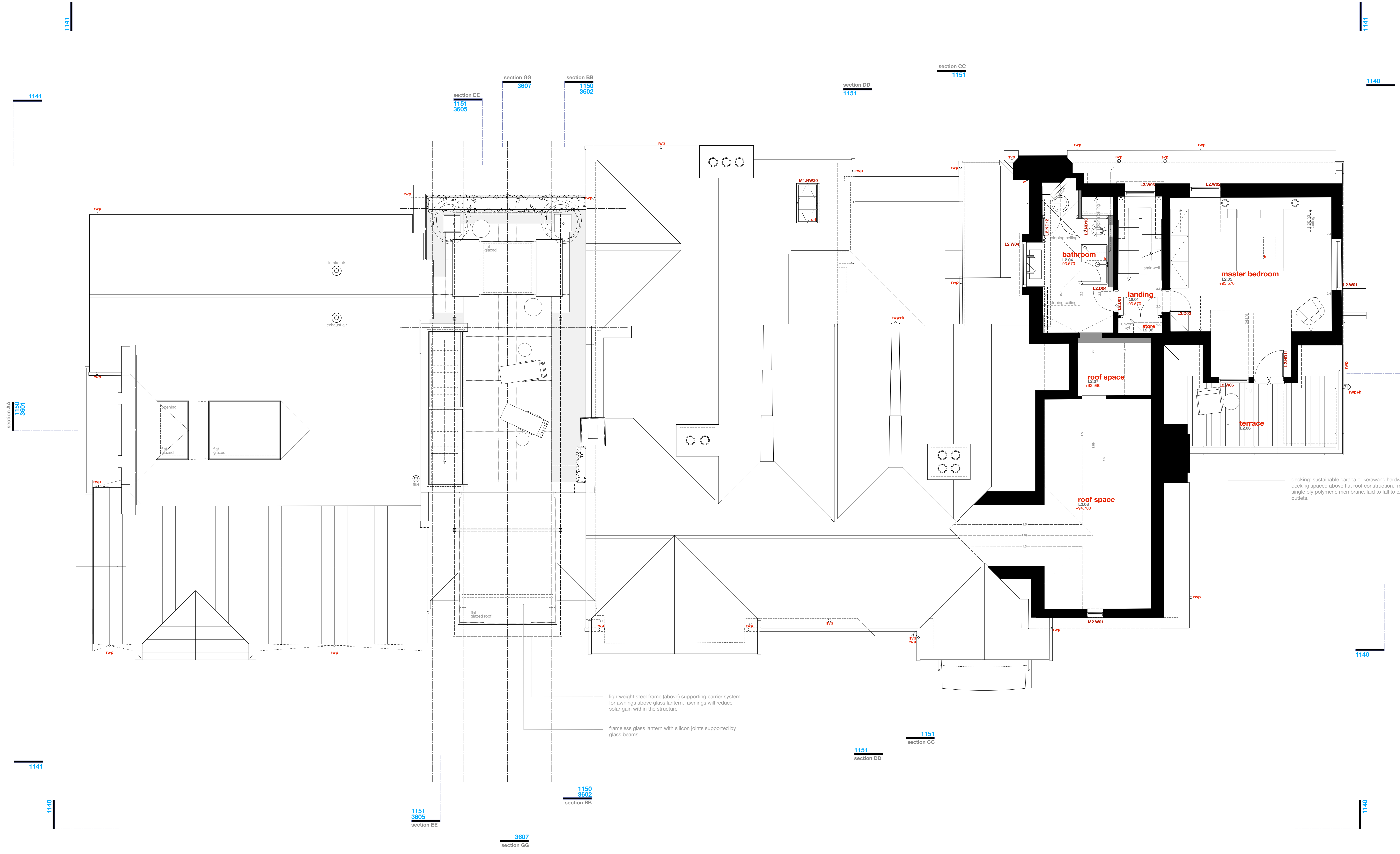
- mh Existing manhole
- ic Existing inspection chamber
- wic Existing water service inspection chamber

**FWIC 01**

- icw inspection chamber collecting foul water drainage
- uwp soil vent pipe and underground foul water drainage
- w waste pipe from washbasin/shower to foul water drainage
- rwp rainwater pipe, gully and underground surface water drainage
- rwp-h rainwater hopper draining into rainwater hopper
- sp rainwater spout

**mechanical: heating**

- g gas fire boiler and wall mounted flue
- o unvented cylinder



REV C 15 Jan 2021 GM:G  
 Planning Application further revised, see notes above  
 REV B 10 Aug 2020 GM:G  
 Revised Planning Application marked at Revision B  
 REV A 05 Dec 2019 GM:G  
 Original Planning Application marked at Revision A

PROJECT: The Hoo, Seme 2, 17 Lyndhurst Gardens, Hampstead, London  
 CLIENT: Mr and Mrs Yu, REPRESENTED BY JAGA Developments (London)  
 DRAWING: Second Floor Layout as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM:G		May 2020

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JOB NO	DRAWING NO	REVISION
19013	1123	C

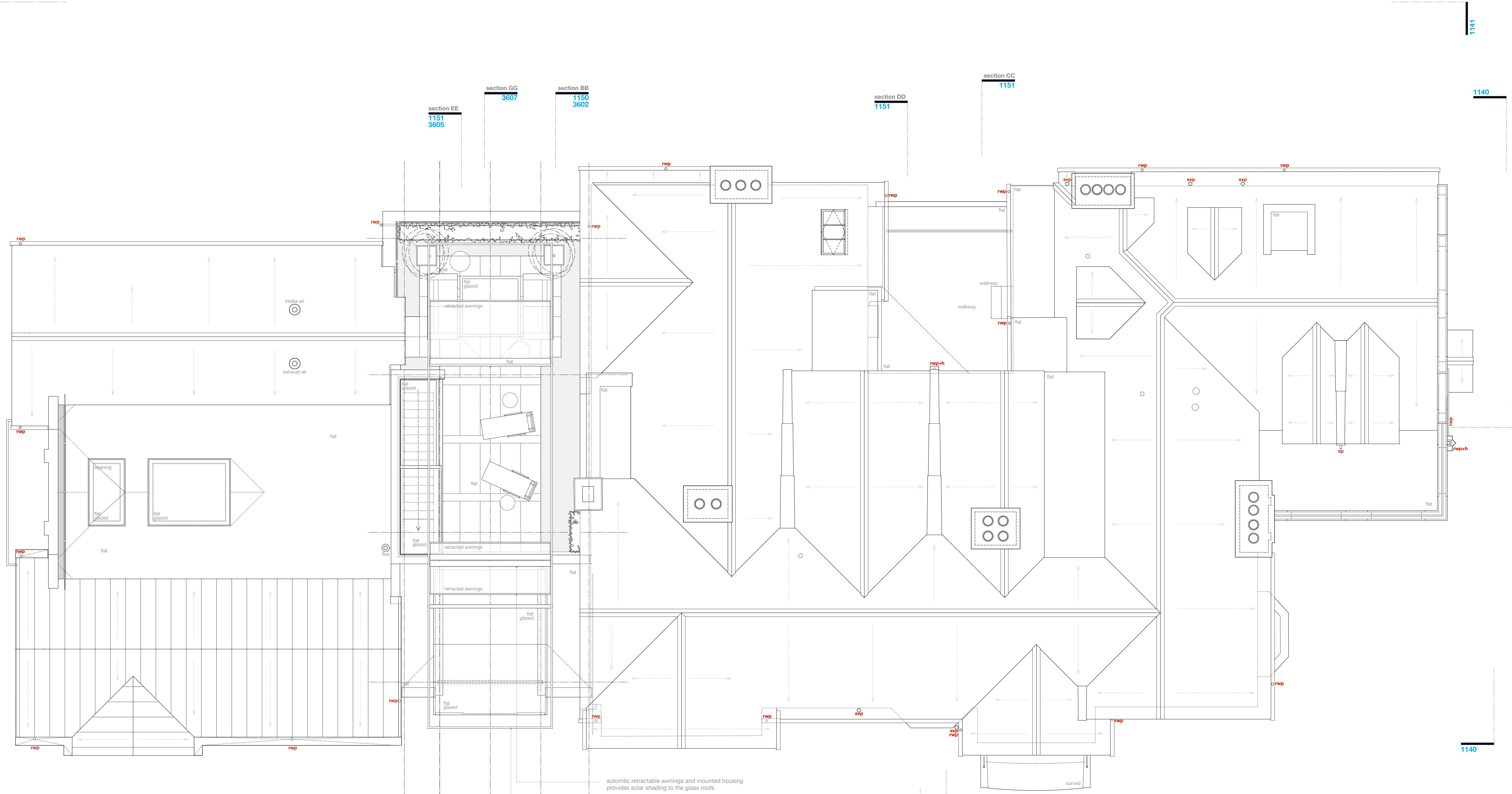
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Survey drawings are kindly provided by Habitat Higher Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

**KEY**  
 Existing Walls  
 New walls to be inserted

- Features**
- windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vss vertical sliding sash timber window
  - fl fixed light timber window
  - rt roof light (flat roof)
  - vrt velux style roof light (pitched roof)
  - ort conservation style roof light (pitched roof)
  - h ceiling hatch
  - fl floor hatch
  - sd sliding door
  - sds sliding folding door
- drainage services and landscape**
- mh Existing manhole
  - ic Existing inspection chamber
  - wic Existing water service inspection chamber
- FWIC 01**
- kuw Inspection chamber collecting foul water drainage
  - swp Soil vent pipe and underground foul water drainage
  - w Waste pipe from washbasin/shower to foul water drainage
  - rwp Rainwater pipe, gully and underground surface water drainage
  - rwp+h Rainwater hopper draining into rainwater hopper
  - sp Rainwater spout
- mechanical: heating**
- gas fire boiler and wall mounted flue
  - unvented cylinder



automatic retractable awnings and mounted housing provides solar shading to the glass roofs.  
 lightweight steel frame (above) supporting carrier system for awnings above glass lantern. awnings will reduce solar gain within the structure

REV C 15 Jan 2021 GM/G  
 Planning Application further revised, see notes above  
 REV B 10 Aug 2020 GM/G  
 Revised Planning Application marked at Revision B  
 REV A 05 Dec 2019 GM/G  
 Original Planning Application marked at Revision A

REV	DATE	DRN	CHKD
<b>PROJECT</b> <b>The Hoo, Scheme 2</b> <b>17 Lyndhurst Gardens,</b> <b>Hampstead, London</b> Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU			
<b>CLIENT</b> <b>Mr and Mrs Yu</b> REPRESENTED BY <b>JAGA Developments (London)</b>			
<b>DRAWING</b> <b>Roof Layout</b> <b>as Proposed</b>			
SCALE	SHEET SIZE	DRAWN	CHECKED
1:50	A0	GM/G	
DATE		May 2020	

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<b>19013</b>	<b>1124</b>	<b>C</b>
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Survey drawings are kindly provided by Habitat Higher Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

**KEY**

**Features**

- windows**
- bhc bottom hung timber casement window
  - tlc top hung timber casement window
  - shc side hung casement
  - vss vertical sliding sash timber window
  - tt tit and turn window
  - tl fixed light timber window
  - rt roof light (flat roof)
  - vtl velux style roof light (pitched roof)
  - ortl conservation style roof light (pitched roof)
  - h ceiling hatch
  - sd sliding door
  - pd pivot door
  - f wall / roof mounted flue to gas boiler / gas fire, terminal colour as black
  - abx extract terminal as air brick, such as radon vent, colour coded to suit brickwork
  - fxx mushroom extract terminal for flat roof
  - prx fabricated lead pitched roof vent as extract terminal, such as provided by or when sheet lead fabrications led
- note:** existing windows are generally timber frames with leaded glazing (single glazed and fire painted metal sashes, some metalwork has been replaced with painted timber to mimic the original sash).
- on the north and the west elevations of the main house the windows are simpler with single glazing and pair roof timber frames, there are a pair of painted metal frame windows on the north elevation.
- the timber casement windows (bhc and on the annex) will be replaced by low profile double glazed units with an anodised bronze aluminium frame.
- Existing building fabric and structure, including roofs, tiling, masonry, windows, and rainwater goods are to be maintained and repaired/replaced where necessary. The conditions survey will form the basis from which the maintenance works will be scheduled and agreed.



Principal Elevation: South

DATUM 83.000



Principal Elevation: East

DATUM 83.000

REV C	15 Jan 2021	GM:G	Planning Application further revised, see notes above
REV B	10 Aug 2020	GM:G	Revised Planning Application marked at Revision B
REV A	05 Dec 2019	GM:G	Original Planning Application marked at Revision A

PROJECT: The Hoo, Scheme 2  
 17 Lyndhurst Gardens, Hampstead, London

CLIENT: Mr and Mrs Yu  
 REPRESENTED BY: JAGA Developments (London)

DRAWING: South and East Elevations as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM:G		Oct 2019

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JOB No	DRAWING No	REVISION
19013	1140	C

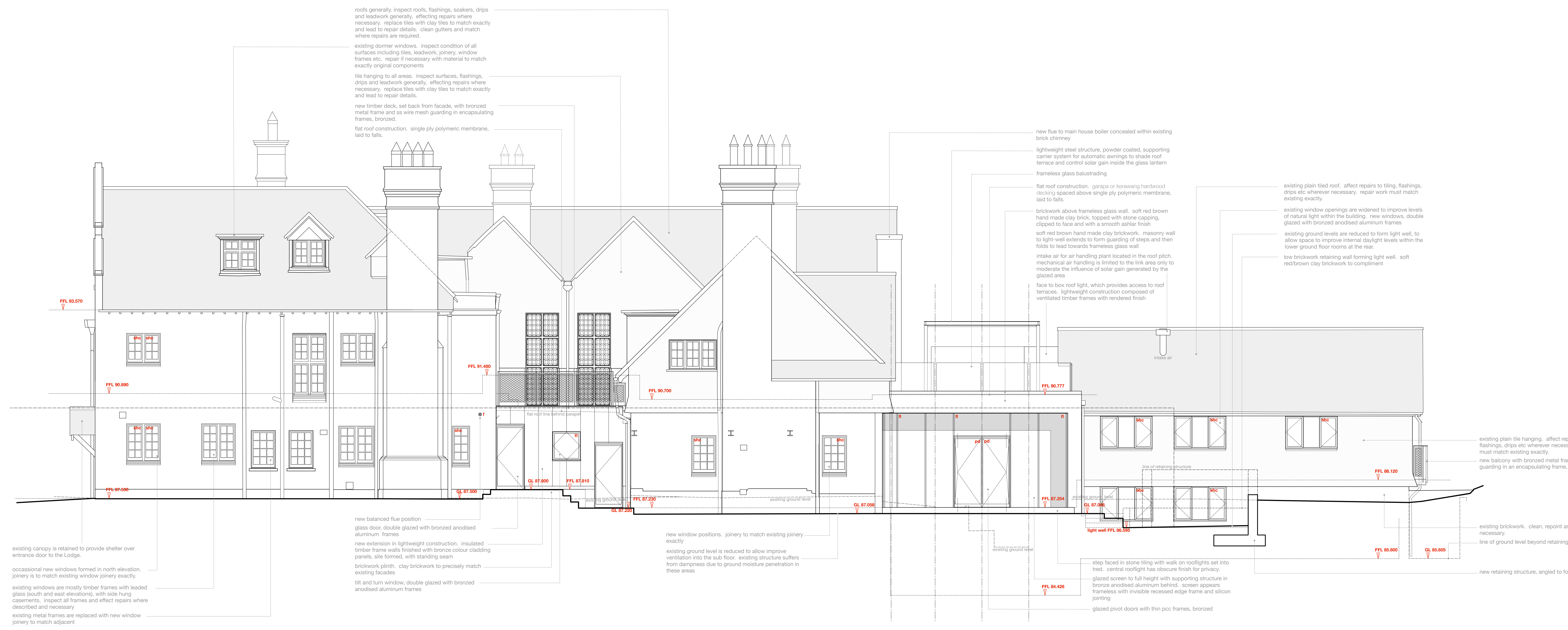
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Survey drawings are kindly provided by Habitat Higher Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external space.

**KEY**

- Features**
- windows**
- bhc bottom hung timber casement window
  - tlc top hung timber casement window
  - slc side hung casement
  - vss vertical sliding sash timber window
  - tt tilt and turn window
  - tl fixed light timber window
  - rt roof light (flat roof)
  - wrl velux style roof light (pitched roof)
  - ortl conservation style roof light (pitched roof)
  - h ceiling hatch
  - sd sliding door
  - pd pivot door
  - f wall / roof mounted flue to gas boiler / gas fire, terminal colour as black
  - abx extract terminal as air brick, such as stone, perforated, colour coded to suit brickwork
  - fxx mushroom extract terminal for flat roof
  - prx fabricated lead pitched roof vent as extract terminal, such as provided by o/brown sheet lead fabrications ltd
- note:** existing windows are generally timber frames with beaded glazing (single glazed) and fire painted metal casings. some metalwork has been replaced with painted timber to meet the original aesthetic.  
 on the north and the west elevations of the main house the windows are simpler with single glazing and pair root timber frames. there are a pair of painted metal frame windows on the north elevation.  
 the timber casement windows (bhc) on the annex will be replaced by low profile double glazed units with an anodised bronze aluminium frame.  
 Existing building fabric and structure, including roofs, tiling, masonry, windows, and rainwater goods are to be maintained and repaired wherever necessary. the conditions survey will form the basis from which the maintenance works will be scheduled and agreed.



Principal Elevation: North

DATUM 83.000



Principal Elevation: West

DATUM 83.000

REV C	15 Jan 2021	GM/G	Planning Application further revised, see notes above
REV B	10 Aug 2020	GM/G	Revised Planning Application marked at Revision B
REV A	05 Dec 2019	GM/G	Original Planning Application marked at Revision A

**PROJECT**  
 The Hoo, Scheme 2  
 17 Lyndhurst Gardens,  
 Hampstead, London  
 Restoring a Grand Victorian House to Private Domestic Accommodation  
 NWS SNU

**CLIENT**  
 Mr and Mrs Yu  
 REPRESENTED BY  
 JAGA Developments (London)

**DRAWING**  
 North and West Elevations  
 as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		Oct 2019

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JOB No	DRAWING No	REVISION
19013	1141	C
STATUS	FOR PLANNING	

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Survey drawings are kindly provided by Habitat Higher Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

**KEY**

**Features**

**windows**

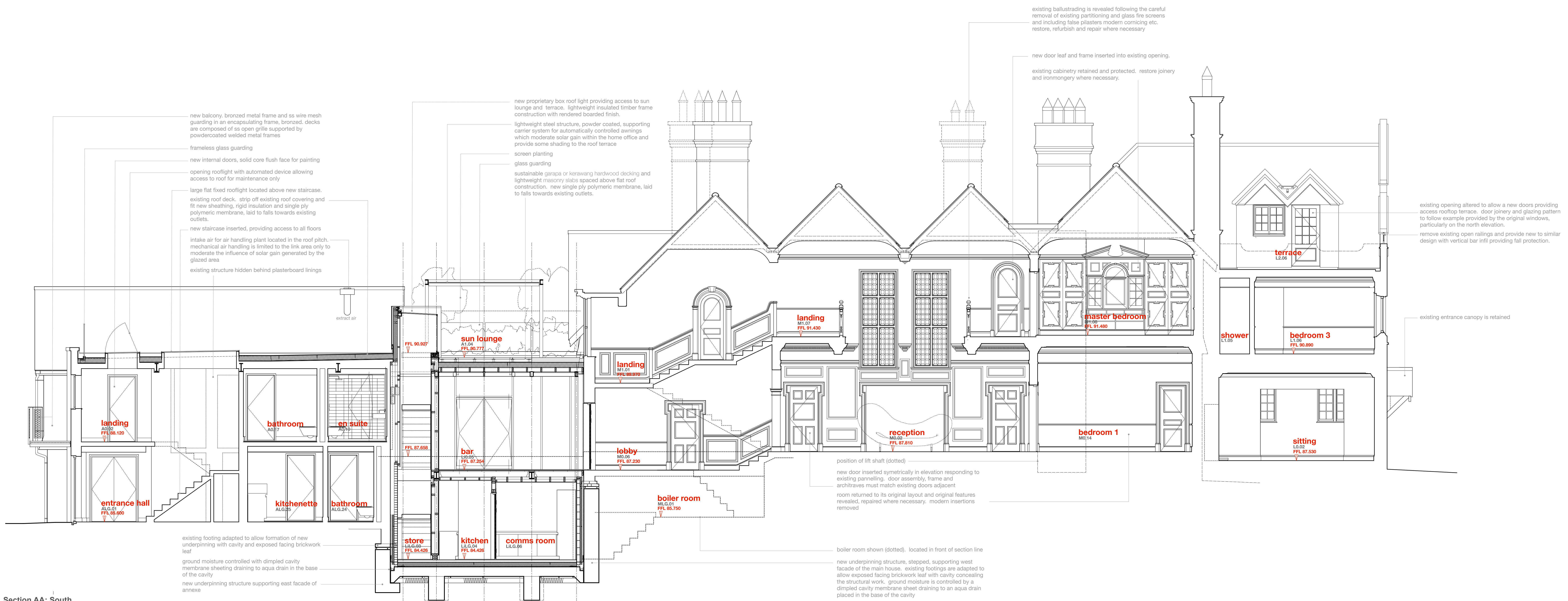
- bhc bottom hung timber casement window
- thc top hung timber casement window
- shc side hung casement
- vss vertical sliding sash timber window
- tt tt and turn window
- fl fixed light timber window
- rt roof light (flat roof)
- vrt velux style roof light (pitched roof)
- orf conservation style roof light (pitched roof)
- h ceiling hatch
- sd sliding door
- pd pivot door
- r wall / roof mounted flue to gas boiler / gas fire, terminal colour to black
- abx extract terminal as air track, such as rfrons extensible, colour coded to suit brickwork
- fxx mushroom extract terminal for flat roof
- prx fabricated lead pitched roof vent as extract terminal, such as provided by orbrun sheet lead flashings for

**note:** existing windows are generally timber frames with leaded glazing (large glazed) and fire paneled timber sashes. some metalwork has been replaced with painted timber to mimic the original sash.

on the north and the west elevations of the main house the windows are simple with single glazing and painted timber frames, there are a pair of painted metal frame windows on the north elevation.

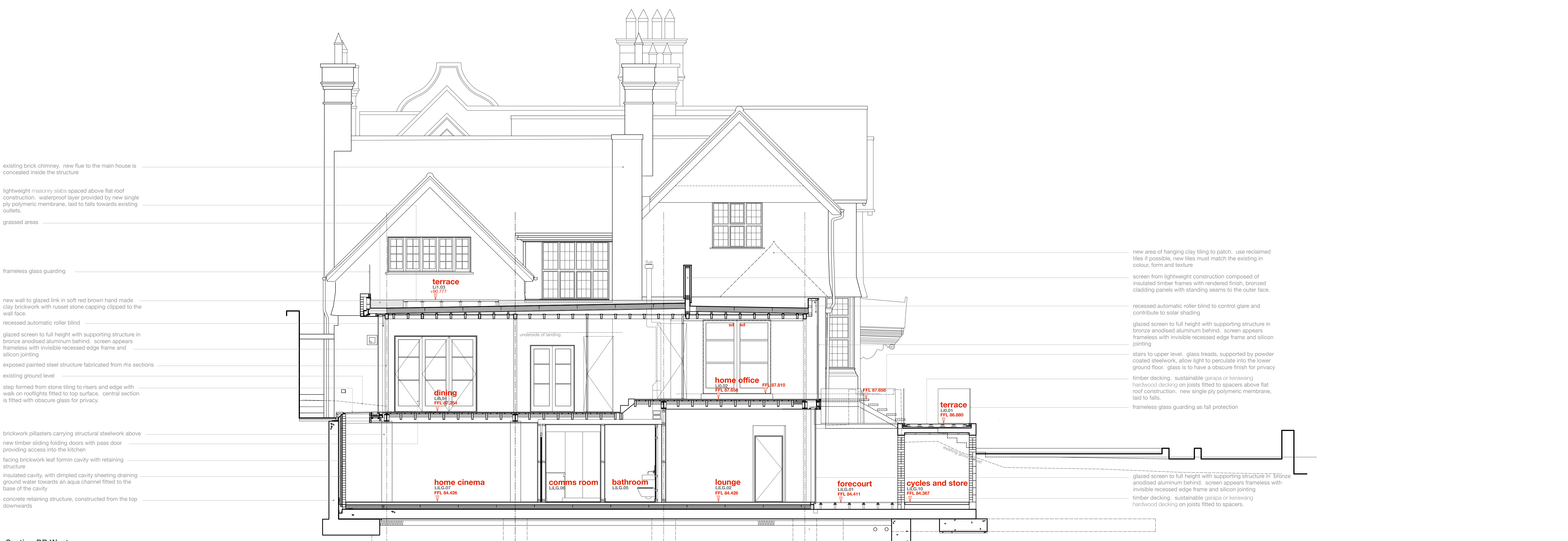
the timber casement windows found on the terrace will be replaced by low profile double glazed units with an anodised bronze aluminium frame.

Existing sliding fabric and structures, including roofs, tiling, masonry, windows, and rainwater goods are to be maintained and repaired/ replaced where necessary. The conditions survey will form the basis from which the maintenance works will be scheduled and agreed.



Section AA: South

DATUM 83.000



Section BB West

DATUM 83.000

REV C	15 Jan 2021	GM/G	Planning Application further revised, see notes above
REV B	10 Aug 2020	GM/G	Revised Planning Application marked at Revision B
REV A	05 Dec 2019	GM/G	Original Planning Application marked at Revision A

PROJECT

**The Hoo, Scheme 2**  
**17 Lyndhurst Gardens,**  
**Hamstead, London**

Returning a Grand Victorian House to Private Domestic Accommodation  
 NW3 5NU

CLIENT

**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

DRAWING

**Sections AA and BB**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		Oct 2019

**BOWKER SADLER ARCHITECTURE**

A: Hatherlow House, Hatherlow, Romley, Stockport SK9 3DY  
 T: 0161 408 7333  
 E: info@bowker-sadler.co.uk  
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
<b>19013</b>	<b>1150</b>	<b>C</b>
STATUS		
WORK IN PROGRESS FOR PLANNING		



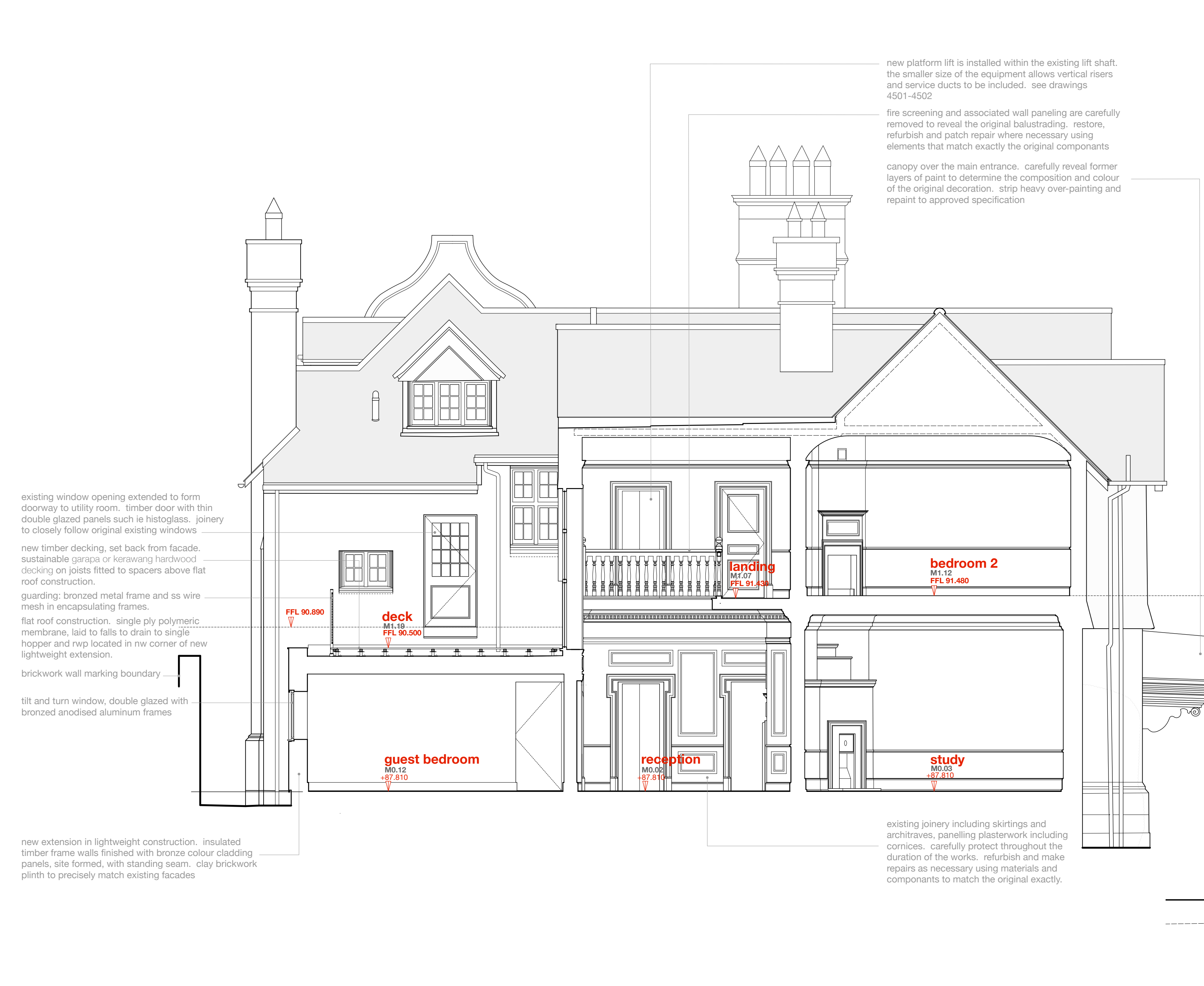
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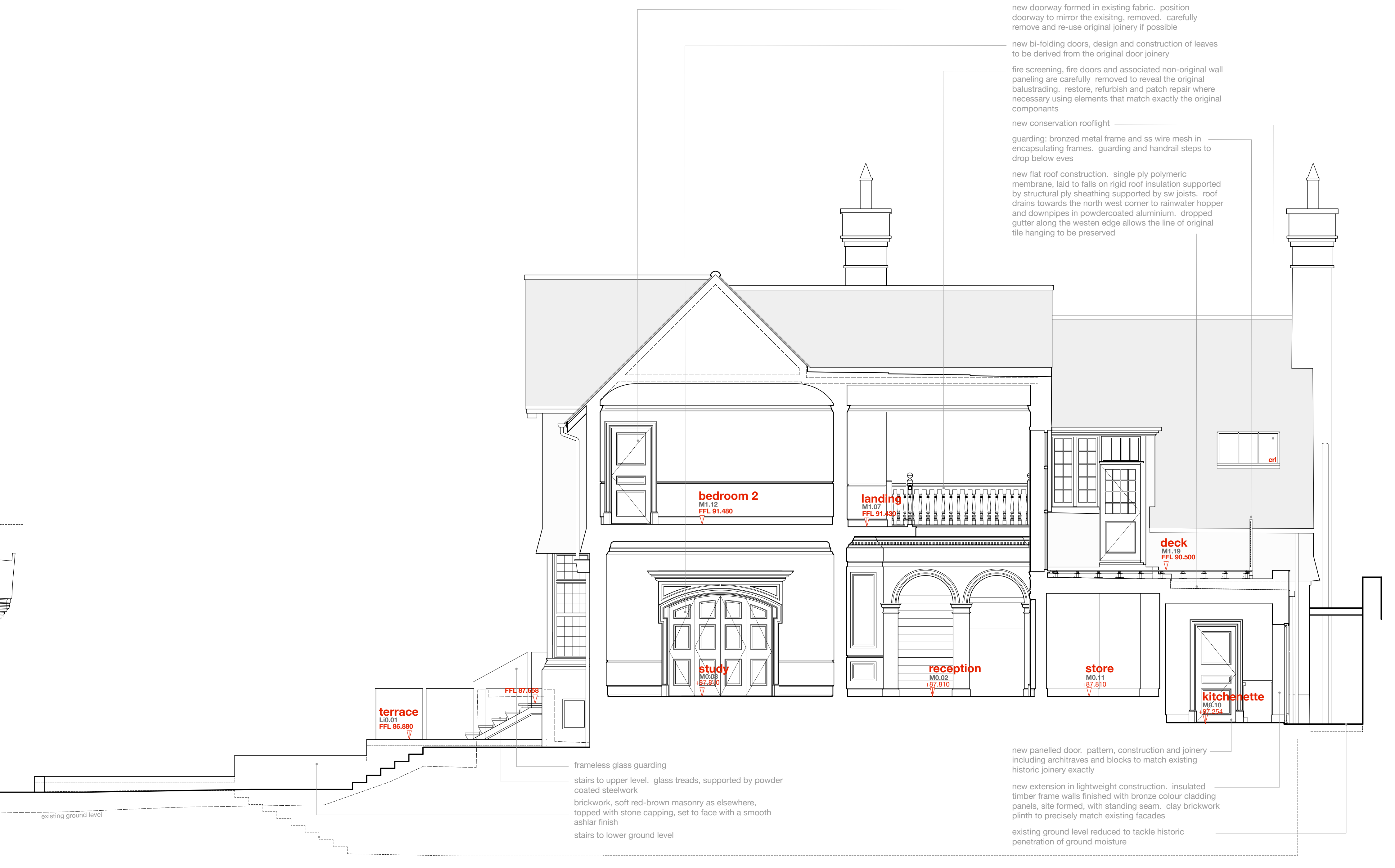
**KEY**  
 Areas to be demolished and removed.

**Features**

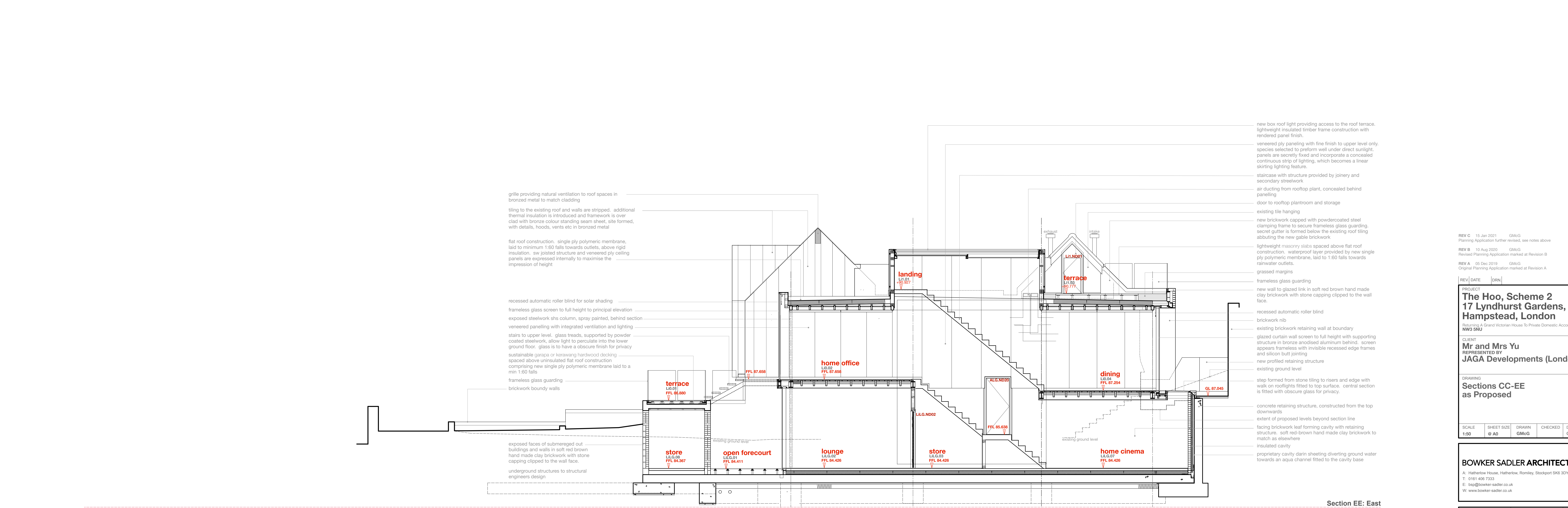
- windows**
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  - pd pivot door
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  - abx extract terminal as air track, such as extract, external, colour coded to suit brickwork
  - mx mushroom extract terminal for flat roof
  - prx subvented lead pitched roof vent as extract terminal, such as provided by other sheet lead transoms kit



**Section CC: West**



**Section DD: East**  
DATUM RL 0.000



**Section EE: East**  
DATUM RL 0.000

REV	DATE	DRN	CHKD
REV C	15 Jan 2021	GM/G	
REV B	10 Aug 2020	GM/G	
REV A	05 Dec 2019	GM/G	

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 Returning a Grand Victorian House to Private Domestic Accommodation  
 NW3 5NU

**CLIENT**  
 Mr and Mrs Yu  
 REPRESENTED BY  
 JAGA Developments (London)

**DRAWING**  
 Sections CC-EE  
 as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		Oct 2019

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JOB No	DRAWING No	REVISION
19013	1151	C
STATUS	FOR PLANNING	