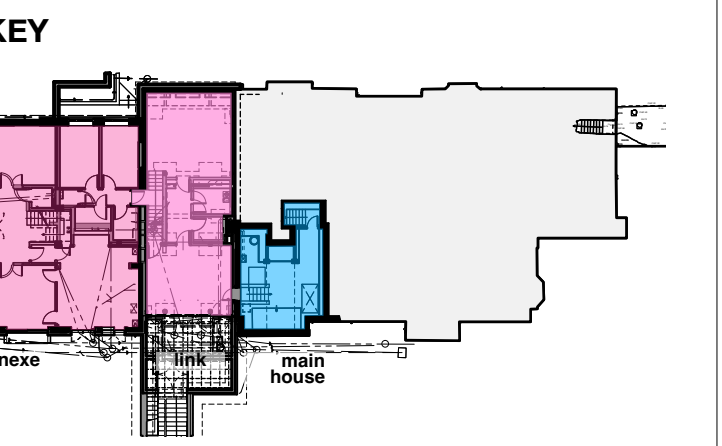


**schema 3: revisions to scheme 2**

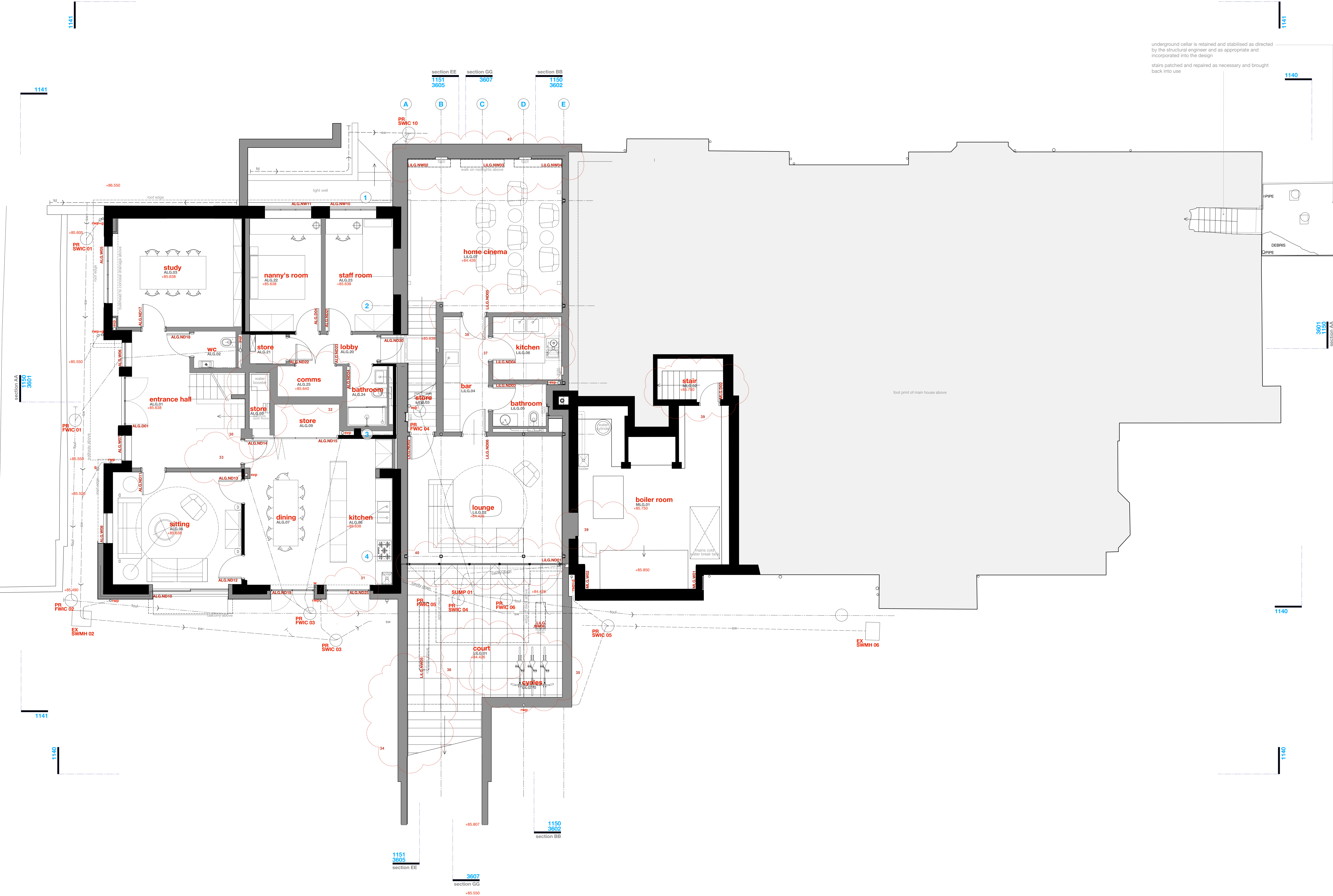
- 30 1907's annex: additional demolition shown
- 31 1907's annex: additional bench door included
- 32 1907's annex: kitchenette becomes comms room, store wall moves northwards
- 33 1907's annex: kitchenette removed
- 34 kitchen garden stone is omitted and width of step is increased westwards to compensate
- 35 position of cycle parking is amended
- 36 courtyard is added in, walk-on rooflights provide natural light, comms room becomes kitchen
- 37 internal wall moves northwards to increase the area of ancillary accommodation
- 38 access to plant room from lower ground floor level is omitted, original access repositioned to comply with the strategy
- 39 static wall becomes sliding folding door with leading pass door
- 41 walk on roof lights are removed

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Survey drawings are kindly provided by Habitat Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



- KEY**
- Existing Walls
  - New walls to be inserted
- Features**
- windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vss vertical sliding sash timber window
  - st fixed light timber window
  - rt roof light (flat roof)
  - vt velux style roof light (pitched roof)
  - ort conservation style roof light (pitched roof)
- ventilation and flues**
- f wall / roof mounted flue to gas boiler / gas fire, terminal colour as back
  - ab1 air brick wall terminal as extract to bathrooms, kitchens etc, annealed only, standard WLB weather boards, various sizes, in powder coated aluminium, colour to suit brickwork
  - ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge, 225x225mm bospaite fit and miss vent with vertical slots in powder coated aluminium, colour to back as ab2, with flyscreen removed for greater ventilation rate
  - ab3 air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge, 225x225mm bospaite fit and miss vent with vertical slots in powder coated aluminium, colour to back as ab2, with flyscreen removed for greater ventilation rate
  - ab4 air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge, 225x225mm bospaite fit and miss vent with vertical slots in powder coated aluminium, colour to back as ab2, with flyscreen removed for greater ventilation rate
  - vt low profile ventilated roof tile, colour and size matched to existing
  - vth hooded ventilated roof tile, colour and size matched to existing
  - vs ventilation stack, back
  - svs ventilation stack, polished stainless steel
- drainage services and landscape**
- mh Existing manhole
  - ic Existing inspection chamber
  - wc Existing water service inspection chamber
  - FWIC 01 Inspection chamber collecting foul water drainage
  - swp Soil vent pipe and underground foul water drainage
  - w Waste pipe from washbasin/shower to foul water drainage
  - rwp Rainwater pipe, gully and underground surface water drainage
  - rwhr Rainwater hopper draining into rainwater gutter
  - sp Rainwater spout
  - e Rainwater outlet
- mechanical: heating**
- gas fire boiler and wall mounted flue
  - unvented cylinder



underground cellar is retained and stabilised as directed by the structural engineer and as appropriate and incorporated into the design  
 stairs patched and repaired as necessary and brought back into use

- REV F 09 Mar 2022 G/M/G  
 The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments: the amendments included mostly rationalise the alterations at Rev E
- REV E 06 Sep 2021 G/M/G  
 The previously approved scheme (scheme 2) is altered to include a number of small amendments.
- REV D 15 Jan 2021 G/M/G  
 Planning Application further revised, in response to planning and conservation officers comments.
- REV B 10 Aug 2020 G/M/G  
 Revised Planning Application marked at Revision B
- REV A 05 Dec 2019 G/M/G  
 Original Planning Application marked at Revision A

REV	DATE	DRN	CHKD

**PROJECT**  
**The Hoo: Scheme 3**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU

**CLIENT**  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

**DRAWING**  
**Lower Ground Floor Layout**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	G/M/G	G/M/G	May 2020

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JOB No	DRAWING No	REVISION
19013	1120	F

STATUS  
**PLANNING**

**schema 3: revisions to the approved scheme**

- 30 1900's annex: ceiling modified to incorporate roof lights
- 31 1900's annex: window openings widened further
- 32 fix: fix glass elevation at rear omitted in favour of glass box
- 33 fix: walk on roof lights removed to accommodate adjacent glass box
- 34 fix: open areas of roof terrace are now roofed in, walk on rooflights provide natural light to lower ground floor
- 35 ground area is removed and stairs are widened westwards to compensate
- 36 access to plant room is re-installed and upgraded to current fire regulations
- 37 original pocket door discovered during minor opening up, original doors, ironmongery and mechanism are to be refurbished and reinstated
- 38 existing former opening is widened further
- 39 rwp repositioned to simplify drainage and tidy elevation
- 40 stairs are amended, one step is removed
- 41 steps are amended, one new step is included to allow minimal head height in courtyard LA.001, lower ground floor
- 42 additional existing walls are removed from the annex and replaced with new partitions, as a consequence of removing the pot and beam structure at ground floor level, this is replaced with metal web joists that allow a sprinkler fire fighting system to be installed, as required by the London fire brigade.

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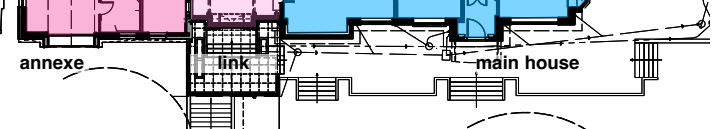
underground cellar is retained and stabilised as directed by the structural engineer and as appropriate and incorporated into the design

underground cellar is retained and stabilised as directed by the structural engineer and as appropriate and incorporated into the design

bespoke floor hatch allowing access into basement cellar

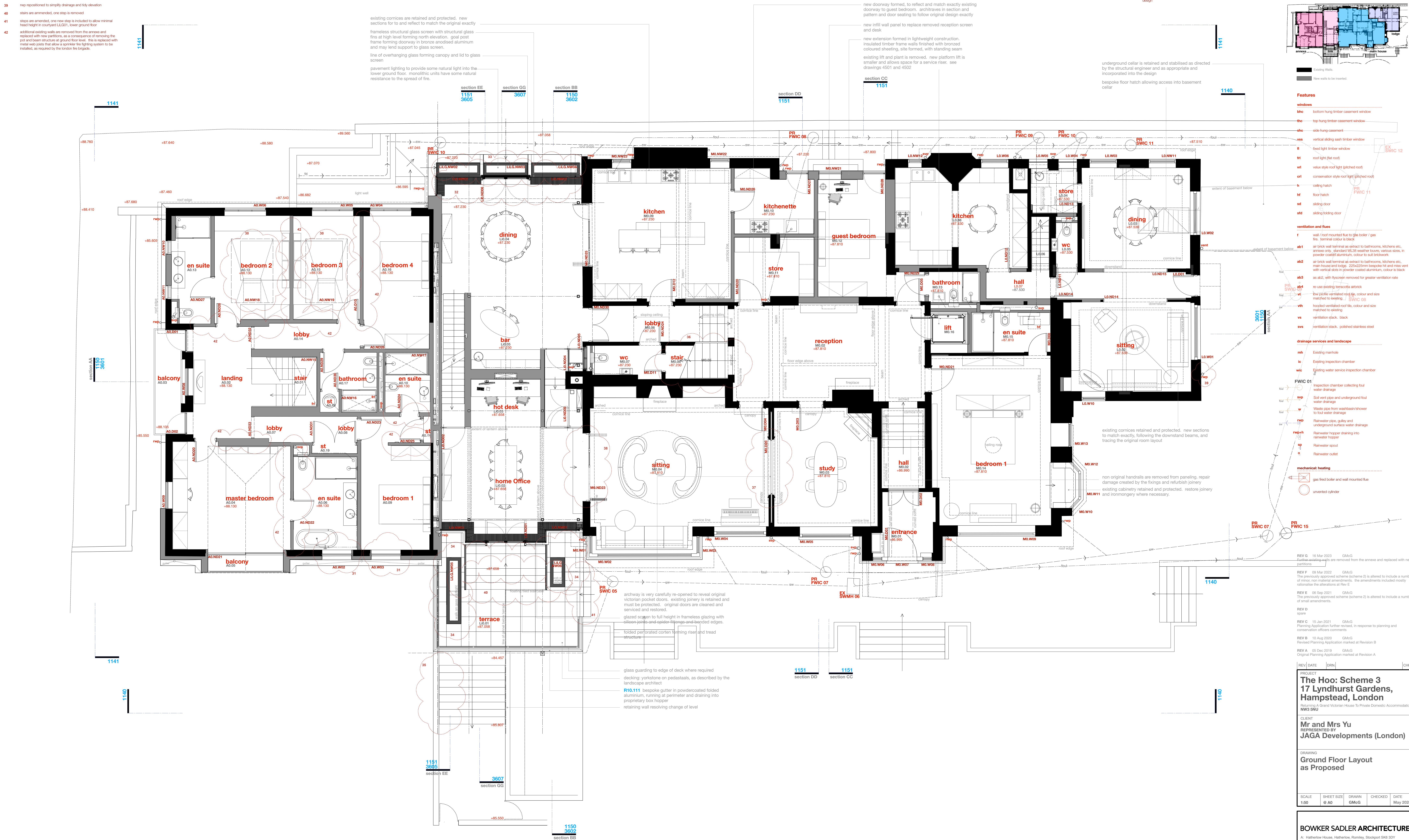
existing wall

New walls to be inserted



**Features**

- windows**
- bhc bottom hung timber casement window
- shc top hung timber casement window
- sho side hung casement
- vss vertical sliding sash timber window
- fl fixed light timber window
- rl roof light (flat roof)
- vrl velux style roof light (pitched roof)
- ort conservation style roof light (pitched roof)
- h ceiling hatch
- fl floor hatch
- sd sliding door
- slid sliding landing door
- ventilation and flues**
- f wall / roof mounted fan to (gas boiler / gas fire, terminal colour as black)
- ab1 air brick wall terminal as extract to bathrooms, kitchens etc, window only, standard W30 weather louvre, various sizes, in powder coated aluminium, colour to suit brickwork
- ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main houses and lodge, 225x225mm bespoke hi and miss vent with vertical slots in powder coated aluminium, colour as black, ab2, with flyscreen removed for greater ventilation rate
- ab3 re-use existing terracotta extract
- vt new profile ventilated roof tile, colour and size matched to existing SWIC 08
- vh hooked ventilated roof tile, colour and size matched to existing
- vs ventilation stack, black
- vss ventilation stack, polished stainless steel
- drainage services and landscape**
- mh existing manhole
- ic existing inspection chamber
- wc existing water service inspection chamber
- FWIC 01 inspection chamber collecting foul water drainage
- stp soil vent pipe and underground foul water drainage
- w waste pipe from washbasin/bowser to foul water drainage
- rwn rainwater pipe, gully and underground surface water drainage
- rwp rainwater hopper draining into rainwater hopper
- sp rainwater spout
- o rainwater outlet
- mechanical: heating**
- g gas fired boiler and wall mounted flue
- u unvented cylinder



existing cornices are retained and protected, new sections for to and reflect to match the original exactly

frameless structural glass screen with structural glass fins at high level forming north elevation, goal post frame forming doorway in bronze anodised aluminium and may lend support to glass screen.

line of overhanging glass forming canopy and lid to glass screen

pavement lighting to provide some natural light into the lower ground floor, monolithic units have some natural resistance to the spread of fire.

new doorway formed, to reflect and match exactly existing doorway to guest bedroom, architraves in section and pattern and door seating to follow original design exactly

new infill wall panel to replace removed reception screen and desk

new extension formed in lightweight construction, insulated timber frame walls finished with bronze coloured sheathing, site formed, with standing seam existing lift and plant is removed, new platform lift is smaller and allows space for a service riser, see drawings 4501 and 4502.

underground cellar is retained and stabilised as directed by the structural engineer and as appropriate and incorporated into the design

bespoke floor hatch allowing access into basement cellar

existing wall

New walls to be inserted

existing wall

New walls to be inserted

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existing wall

New walls to be inserted

REV G 16 Mar 2023 GMAG  
 Further alterations are removed from the annex and replaced with new partitions

REV F 09 Mar 2022 GMAG  
 The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments, the amendments included modify the alterations at Rev E

REV E 08 Sep 2021 GMAG  
 The previously approved scheme (scheme 2) is altered to include a number of small amendments.

REV D none

REV C 15 Jan 2021 GMAG  
 Planning Application further revised, in response to planning and conservation officers comments

REV B 10 Aug 2020 GMAG  
 Revised Planning Application marked at Revision B

REV A 05 Dec 2019 GMAG  
 Original Planning Application marked at Revision A

REV DATE ORN (CHKD)

PROJECT

**The Hoo: Scheme 3  
 17 Lyndhurst Gardens,  
 Hampstead, London**

Resuming A Grand Victorian House To Private Domestic Accommodation  
 NW3 3HU

CLIENT  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

DRAWING

**Ground Floor Layout  
 as Proposed**

SCALE SHEET SIZE DRAWN CHECKED DATE  
 1:50 @ A0 GMAG

**BOWKER SADLER ARCHITECTURE**

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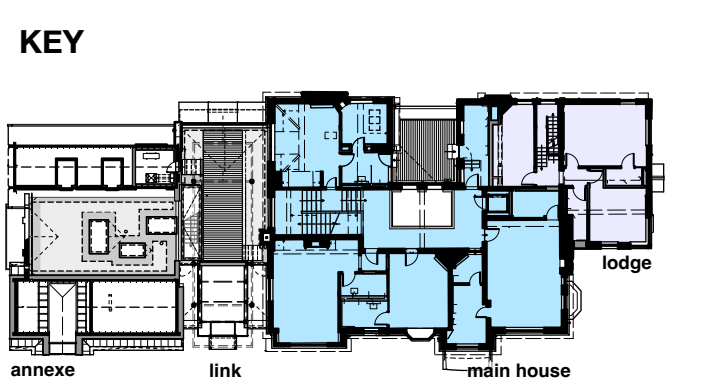
JOB No DRAWING No REVISION  
**19013 1121 G**

STATUS  
**PLANNING**

- schema 2: revisions to scheme 2**
- 30 1980's arnese ceiling modified to incorporate roof lights
  - 32 1980's arnese rooflights in flat roof are replicated
  - 33 link: flat glazed rear elevation omitted in favour of projecting glass box with glass lid
  - 34 walk-on roof light is omitted
  - 35 box roof light is omitted and replaced by a low profile opening glass hatch giving access onto the roof terrace, including glass glazing as fall protection under the hatch when open. hatch also allows maintenance access to the roof above the arnese
  - 36 solid sections of low wall are omitted for glass barriers allowing maintenance access to flat roof and garden through lockable glass gates with 75mm paired steel frames
  - 37 new glass canopy protecting staircase from weather
  - 38 ceiling met, east elevation, is re-located to simplify drainage, also all new service penetrations, flues etc are all marked

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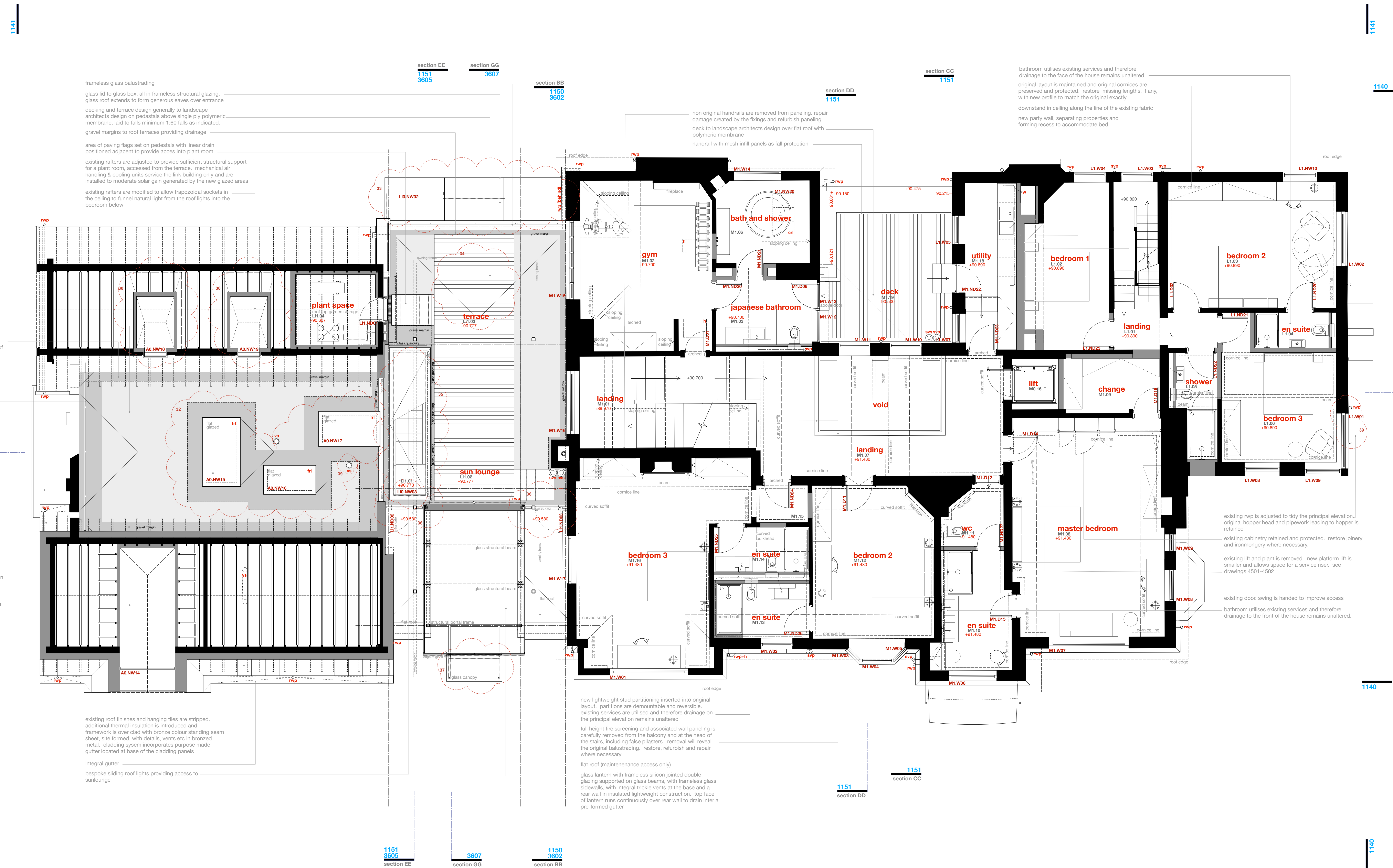
Some drawings are kindly provided by Richard Hughes Land Services Ltd and are assumed to accurately describe the existing buildings, services and external spaces.



**KEY**  
 Existing Walls  
 New walls to be inserted

**Features**

- windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vs vertical sliding sash timber window
  - sl fixed light timber window
  - rl roof light (flat roof)
  - vtl velux style roof light (pitched roof)
  - crli conversion style roof light (pitched roof)
  - hc ceiling hatch
  - h floor hatch
  - sd sliding door
  - std sliding folding door
- ventilation and flues**
- f wall flue mounted flue to gas boiler / gas fire, terminal colour is black
  - ab1 air brick wall terminal as extract to bathrooms, kitchens etc, grille only. standard V16, weather down, service able, in powder coated aluminium, colour to suit brickwork
  - ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main house and ridge. 205x225mm baffle top flue and mesh vent with vertical slots in powder coated aluminium, colour is black
  - ab3 as ab2, with flyscreen removed for greater ventilation rate
  - ab4 re-use existing terracotta airbrick
  - vt low profile ventilated roof tile, colour and size matched to existing
  - vth hooded ventilated roof tile, colour and size matched to existing
  - vs ventilation stack, black
  - svs ventilation stack, polished stainless steel
- drainage services and landscape**
- mh Existing method
  - ic Existing inspection chamber
  - wic Existing water service inspection chamber
- FWIC 01**
- ic Inspection chamber collecting foul water drainage
  - uwp Soil vent pipe and underground foul water drainage
  - w Waste pipe from washbasin/shower to foul water drainage
  - rwp Rainwater pipe, gully and underground surface water drainage
  - rwhp Rainwater hopper draining into rainwater hopper
  - ra Rainwater outlet
  - ro Rainwater outlet
- mechanical heating**
- g gas fired boiler and wall mounted flue
  - uc unvented cylinder



frameless glass balustrading  
 glasses lid to glass box, all in frameless structural glazing, glass roof extends to form generous eaves over entrance  
 decking and terrace design generally to landscape architects design on pedestals above single ply polymeric membrane, laid to falls minimum 1:50 falls as indicated.  
 gravel margins to roof terraces providing drainage  
 area of paving flags set on pedestals with linear drain positioned adjacent to provide access into plant room  
 existing rafters are adjusted to provide sufficient structural support for a plant room, accessed from the terrace. mechanical air handling & cooling units service the link building only and are installed to moderate solar gain generated by the new glazed areas  
 existing rafters are modified to allow trapezoidal sockets in the ceiling to funnel natural light from the roof lights into the bedroom below

non original handrails are removed from panelling, repair damage created by the fixings and refurbish panelling deck to landscape architects design over flat roof with polymeric membrane  
 handrail with mesh infill panels as fall protection

bathroom utilises existing services and therefore drainage to the face of the house remains unaltered.  
 original layout is maintained and original cornices are preserved and protected, restore missing lengths, if any, with new profile to match the original exactly  
 downstand in ceiling along the line of the existing fabric  
 new party wall, separating properties and forming recess to accommodate bed

flat roof, maintenance access only, accessed from main roof terrace via lockable glass gate, adjacent to main stair gravel margin for drainage and to resolve level between main roof spaces and junction with pitched roofs. design of roof to landscape architects design

glass glazing as edge protection against falling

new flush glazed rooflights inserted into flat roof above staircase and bathrooms  
 new balcony below

existing roof is overlaid with bronzed coloured standing seam sheet system with integrated formed gutter at the base

gravel margin for drainage and to resolve level between main grassed roof spaces and junction with pitched roofs  
 existing roof trusses are modified to create an attic roof above the double bedroom. ceiling shape is extruded from the profile of the south facing gable ANW14

existing roof finishes and hanging tiles are stripped, additional thermal insulation is introduced and framework is over clad with bronzed colour standing seam sheet, site formed, with details, vents etc in bronzed metal. cladding system incorporates purpose made gutter located at base of the cladding panels

integral gutter  
 bespoke sliding roof lights providing access to sunlounge

new lightweight stud partitioning inserted into original layout, partitions are demountable and reversible, existing services are utilised and therefore drainage on the principal elevation remains unaltered  
 full height fire screening and associated wall paneling is carefully removed from the balcony and at the head of the stairs, including false plaster. removal will reveal the original balustrading, restore, refurbish and repair where necessary

flat roof (maintenance access only)  
 glass lantern with frameless silicon jointed double glazing supported on glass beams, with frameless glass side walls, with integral trickle vents at the base and a rear wall in insulated lightweight construction. top face of lantern runs continuously over rear wall to drain into a pre-formed gutter

existing rwp is adjusted to tidy the principal elevation, original hopper head and pipework leading to hopper is retained  
 existing cabinetry retained and protected, restore joinery and ironmongery where necessary

existing lift and plant is removed, new platform lift is smaller and allows space for a service riser. see drawings 4501-4502

existing door, swing is handed to improve access  
 bathroom utilises existing services and therefore drainage to the front of the house remains unaltered.

REV F	09 Mar 2020	GM/G	The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments. The amendments included mostly rationalise the alterations at Rev E.
REV E	06 Sep 2021	GM/G	The previously approved scheme (scheme 2) is altered to include a number of small amendments.
REV D	score		
REV C	15 Jan 2021	GM/G	Planning Application further reviewed, in response to planning and conservation officers comments
REV B	10 Aug 2020	GM/G	Revised Planning Application marked at Revision B
REV A	05 Dec 2019	GM/G	Original Planning Application marked at Revision A

PROJECT  
**The Hoo: Scheme 3**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Planning & Consent Victorian House To Private Domestic Accommodation NW3 5NU

CLIENT  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

DRAWING  
**First Floor Layout**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G	GM/G	May 2021

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JOB No	DRAWING No	REVISION
19013	1122	F
STATUS	PLANNING	



**schema 3: revisions to schema 2**

- 30 1907's awning: new velux roof lights providing natural light to bedrooms
- 32 1907's awning: rooflights in flat roof are repositioned
- 33 flat glassed rear elevation omitted in favour of projecting glass box with glass lid
- 34 design of awning frame has evolved, cross bracing included
- 35 length of framework supporting awning is shortened by 900mm from the room
- 37 all new service penetrations, flues, vents, extracts etc all positions marked and types and colours/materials identified

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Survey drawings are kindly provided by Habitat Higher Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

- KEY**
- Existing Walls
  - New walls to be inserted

**Features**

**windows**

- bhc bottom hung timber casement window
- thc top hung timber casement window
- shc side hung casement
- vss vertical sliding sash timber window
- fl fixed light timber window
- rt roof light (flat roof)
- vrt velux style roof light (gabled roof)
- ort conservation style roof light (gabled roof)
- h ceiling hatch
- fl floor hatch
- sd sliding door
- sds sliding folding door

**ventilation and flues**

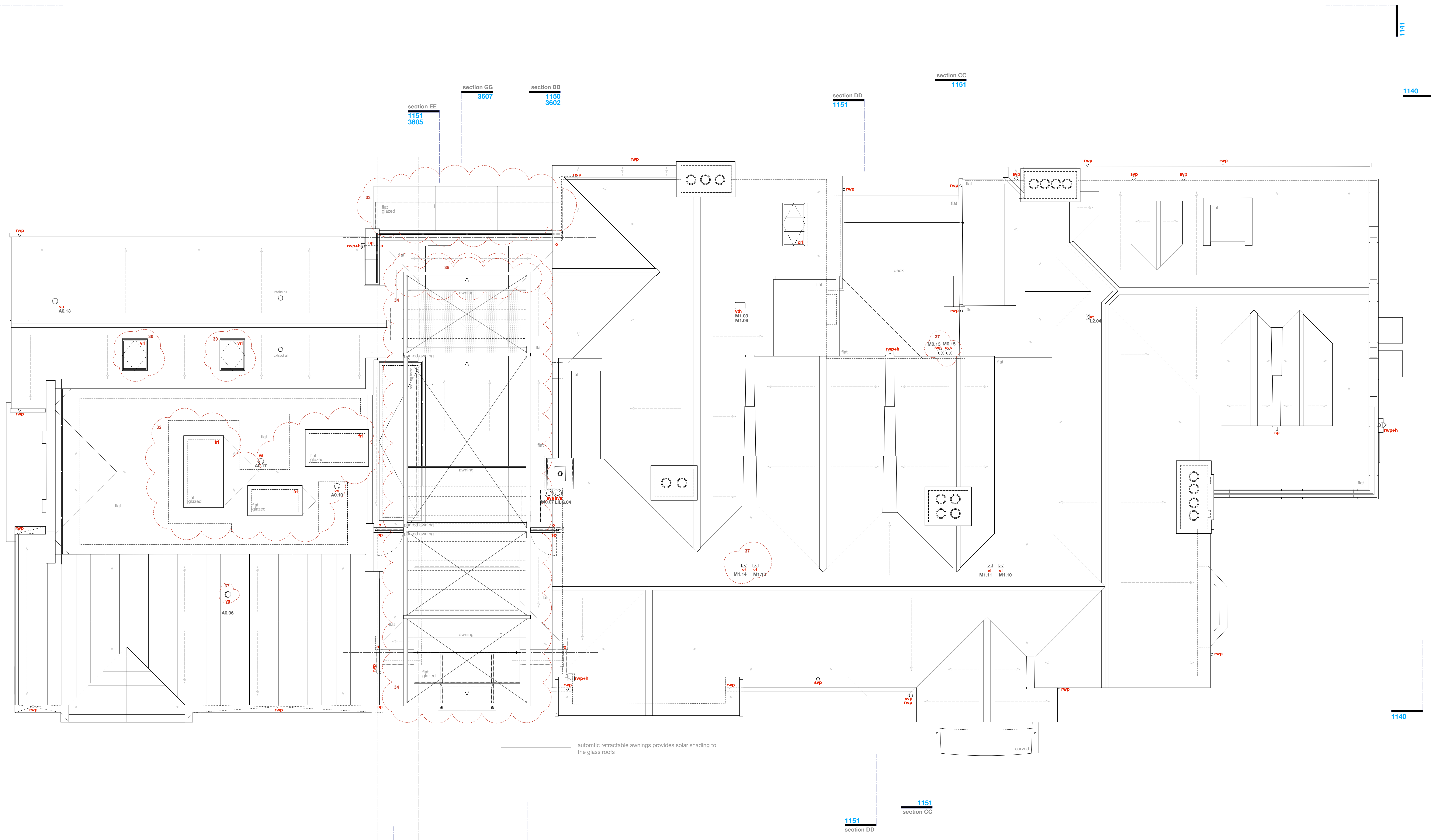
- f wall / roof mounted flue to gas boiler / gas fire, terracotta colour or black
- ab1 air brick wall terminal as extract to bathrooms, kitchens etc, awning only, standard WLB weather bunn, various sizes, in powder coated aluminium, colour to suit brikwork
- ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge, 225x225mm (bosphate hi) and miss vent with vertical slots in powder coated aluminium, colour to black as ab2, with flyscreen removed for greater ventilation rate
- ab3 re-use existing terracotta airbrick
- vt low profile ventilated roof tile, colour and size matched to existing
- vth hooded ventilated roof tile, colour and size matched to existing
- vs ventilation stack, black
- svs ventilation stack, polished stainless steel

**drainage services and landscape**

- mh Existing manhole
- ic Existing inspection chamber
- wic Existing water service inspection chamber
- FWIC 01 inspection chamber collecting foul water drainage
- swp Soil vent pipe and underground foul water drainage
- w Waste pipe from washbasin/shower to foul water drainage
- rwp Rainwater pipe, gully and underground surface water drainage
- rwp-h Rainwater hopper draining into rainwater hopper
- sp Rainwater spout
- o Rainwater outlet

**mechanical: heating**

- gas fired boiler and wall mounted flue
- unvented cylinder



automatic retractable awnings provides solar shading to the glass roofs

- REV F 09 Mar 2022 GM/GC The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments. The amendments included mostly rationalise the alterations at Rev E.
- REV E 06 Sep 2021 GM/GC The previously approved scheme (scheme 2) is altered to include a number of small amendments.
- REV D none
- REV C 06 Oct 2020 GM/GC Gridlines re-adjusted to agree with adjustments to the structure on lower floors. Rooflights above awning are amended to incorporate off-the-shelf sizes available.
- REV B 10 Aug 2020 GM/GC Revised Planning Application marked at Revision B.
- REV A 05 Dec 2019 GM/GC Original Planning Application marked at Revision A.

REV	DATE	DRN	CHKD

**PROJECT**  
**The Hoo, Scheme 3**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Returning a Grand Victorian House to Private Domestic Accommodation NW3 SNU

**CLIENT**  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

**DRAWING**  
**Roof Layout**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/GC		May 2020

**BOWKER SADLER ARCHITECTURE**  
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JOB No	DRAWING No	REVISION
19013	1124	F

STATUS  
**PLANNING**

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Survey drawings are kindly provided by Mason Hughes Land Surveys Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

KEY

Features

- windows**
- bhc bottom hung timber casement window
  - fhc top hung timber casement window
  - shc side hung casement
  - vtc vertical sliding sash timber window
  - ttc tilt and turn window
  - flc fixed light timber window
  - rlc roof light flat roof
  - vtc valus style roof light (pitched roof)
  - rlc conservation style roof light (pitched roof)
  - ch ceiling hatch
  - sd sliding door
  - pd pivot door

ventilation and flues

- f wall / roof mounted flue to gas boiler / gas fire, terracotta to brick
- ab1 air brick wall terminal as extract to bathrooms, kitchens etc. annexe only. standard VLS35 weather louvre, various sizes, in powder coated aluminium, color to suit brickwork
- ab2 air brick wall terminal as extract to bathrooms, kitchens etc. main house and link. 20x225mm bespoke flue and mesh vent with vertical slots in powder coated aluminium, color to black, ss etc., with flyscreen removed for greater ventilation rate
- ab3 air use existing terracotta airbrick
- ab4 low profile ventilated roof tile, colour and size matched to existing
- vh hooded ventilated roof tile, colour and size matched to existing
- vs ventilation stack, black
- svs ventilation stack, polished stainless steel

**note:** existing windows are generally timber frames with leaded glazing (single glazed) and the painted metal sashes. some metalwork has been replaced with painted timber to mimic the original sash.  
 on the north and the west elevations of the main house the windows are timber with single glazing and painted timber frames. there are a pair of painted metal frame windows on the north elevation.  
 the timber casement windows found on the annexe will be replaced by low profile double glazed units with an anodised bronze aluminium frame to stabilise glass elevation.  
 Existing building fabric and structure, including roofs, slings, masonry, windows, and rainwater goods are to be maintained and repaired/refurbished where necessary. the conditions survey will form the basis from which the maintenance works will be scheduled and agreed.

scheme 3: revisions to scheme 2

- 30 1980's annexe: openings become wider
- 31 1980's annexe: formerly a window opening, expanded to become a french door
- 32 the average frame is filled by 300mm to improve visibility from bedrooms and to ensure sufficient headroom below parked carport
- 33 air use rooflight (replaced) omitted in favour of a low profile glass hatch. solid construction is therefore removed from the elevation and left adjacent to the lantern as accessed through a locked glass gate instead.
- 34 door opening and protective glass canopy. frame is required to stabilise glass elevation
- 35 level of terrace is filled by a single step to ensure minimal head height below. profile of lower terrace widened, tapered edge skirting to the sill detail of the original building
- 36 staircase and opening are widened to the west
- 37 new service penetrations including flues, vents, extracts etc: all positions marked and types and colours materials identified
- 39 existing rwp re-routed to simplify junctions adjacent to the porch. original hopper is retained.

REV F 09 Mar 2022 GM:G  
 The previously approved scheme (scheme 2) is altered to include a number of minor non-material amendments. the amendments included mostly rationalise the alterations at Rev E

REV E 08 Sep 2021 GM:G  
 The previously approved scheme (scheme 2) is altered to include a number of small amendments.

REV D 10 Jan 2021 GM:G  
 Planning Application further revised, in response to planning and conservation officers comments

REV B 10 Aug 2020 GM:G  
 Revised Planning Application marked at Revision B

REV A 01 Dec 2019 GM:G  
 Original Planning Application marked at Revision A

PROJECT  
**The Hoo, Scheme 3**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Returning A Grand Victorian House To Private Domestic Accommodation NW3 5NU

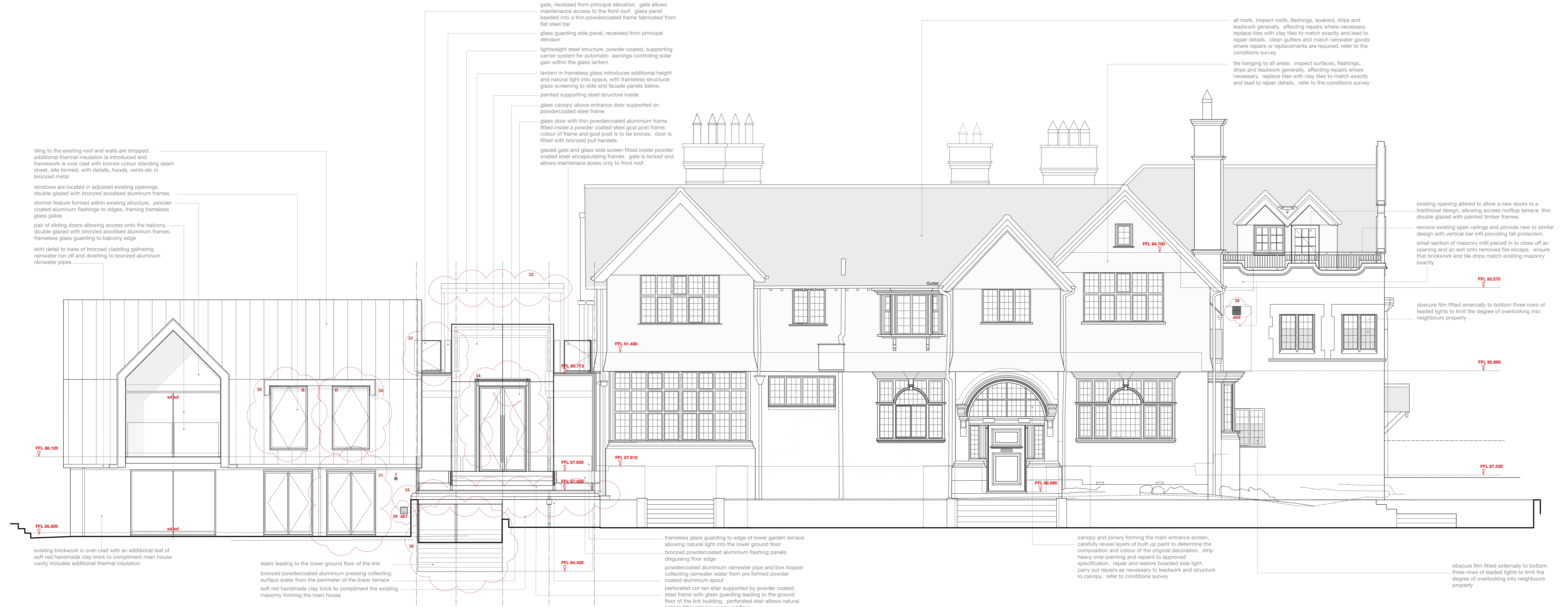
CLIENT  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**JAGA Developments (London)**

DRAWING  
**South and East Elevations**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM:G		Oct 2019

**BOWKER SADLER ARCHITECTURE**  
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JOB NO	DRAWING NO	REVISION
19013	1140	F
STATUS	PLANNING	



tiling to the existing roof and walls are stripped. additional thermal insulation is introduced and framework is over clad with bronze colour standing seam sheet, sills formed, with details, hoods, vents etc in bronzed metal  
 windows are located in adjusted existing openings. double glazed with bronzed anodised aluminium frames. domer feature formed within existing structure. powder coated aluminium flashings to edges, framing frameless glass gable  
 pair of sliding doors allowing access onto the balcony. double glazed with bronzed anodised aluminium frames. frameless glass guarding to balcony edge  
 skirt detail to base of bronzed cladding gathering rainwater run off and diverting to bronzed aluminium rainwater pipes

gate, recessed from principal elevation. gate allows maintenance access to the front roof. glass panel beaded into a thin powdercoated frame fabricated from flat steel bar  
 glass guarding side panel, recessed from principal elevation  
 lightweight steel structure, powder coated, supporting carrier system for automatic awnings controlling solar gain within the glass lantern  
 lantern in frameless glass introduces additional height and natural light into space, with frameless structural glass screening to side and facade panels below.  
 painted supporting steel structure inside  
 glass canopy above entrance door supported on powdercoated steel frame  
 glass door with thin powdercoated aluminium frame fitted inside a powder coated steel post frame. colour of frame and goal post is to be bronze. door is fitted with bronzed pull handles  
 glazed gate and glass side screen fitted inside powder coated steel encapsulating frames. gate is locked and allows maintenance access only to front roof.

all roofs, inspect roofs, flashings, soakers, drips and leadwork generally, effecting repairs where necessary. replace tiles with clay tiles to match exactly and lead to repair details. clean gutters and match rainwater goods where repairs or replacements are required. refer to the conditions survey  
 tile hanging to all areas. inspect surfaces, flashings, drips and leadwork generally, effecting repairs where necessary. replace tiles with clay tiles to match exactly and lead to repair details. refer to the conditions survey

existing opening altered to allow a new doors to a traditional design, allowing access rooftop terrace. thin double glazed with painted timber frames.  
 remove existing open railings and provide new to similar design with vertical bar infill providing fall protection. small section of masonry infill placed in to close off an opening and an exit onto removed fire escape. ensure that brickwork and tile drips match existing masonry exactly  
 obscure film fitted externally to bottom three rows of leaded lights to limit the degree of overlooking into neighbours property

existing brickwork is over-clad with an additional leaf of soft red handmade clay brick to compliment main house. cavity includes additional thermal insulation  
 stairs leading to the lower ground floor of the link  
 bronzed powdercoated aluminium pressing collecting surface water from the perimeter of the lower terrace  
 soft red handmade clay brick to compliment the existing masonry forming the main house

frameless glass guarding to edge of lower garden terrace allowing natural light into the lower ground floor  
 bronzed powdercoated aluminium flashing panels disguising floor edge  
 powdercoated aluminium rainwater pipe and box hopper collecting rainwater water from pre formed powder coated aluminium spout  
 perforated con-ten stair supported by powder coated steel frame with glass guarding leading to the ground floor of the link building. perforated stair allows natural light to filter into lower ground floor

canopy and joinery forming the main entrance screen. carefully reveal layers of built up paint to determine the composition and colour of the original decoration. strip heavy over-painting and repaint to approved specification. repair and restore boarded side light. carry out repairs as necessary to leadwork and structure to canopy. refer to conditions survey

obscure film fitted externally to bottom three rows of leaded lights to limit the degree of overlooking into neighbours property

Principal Elevation: South

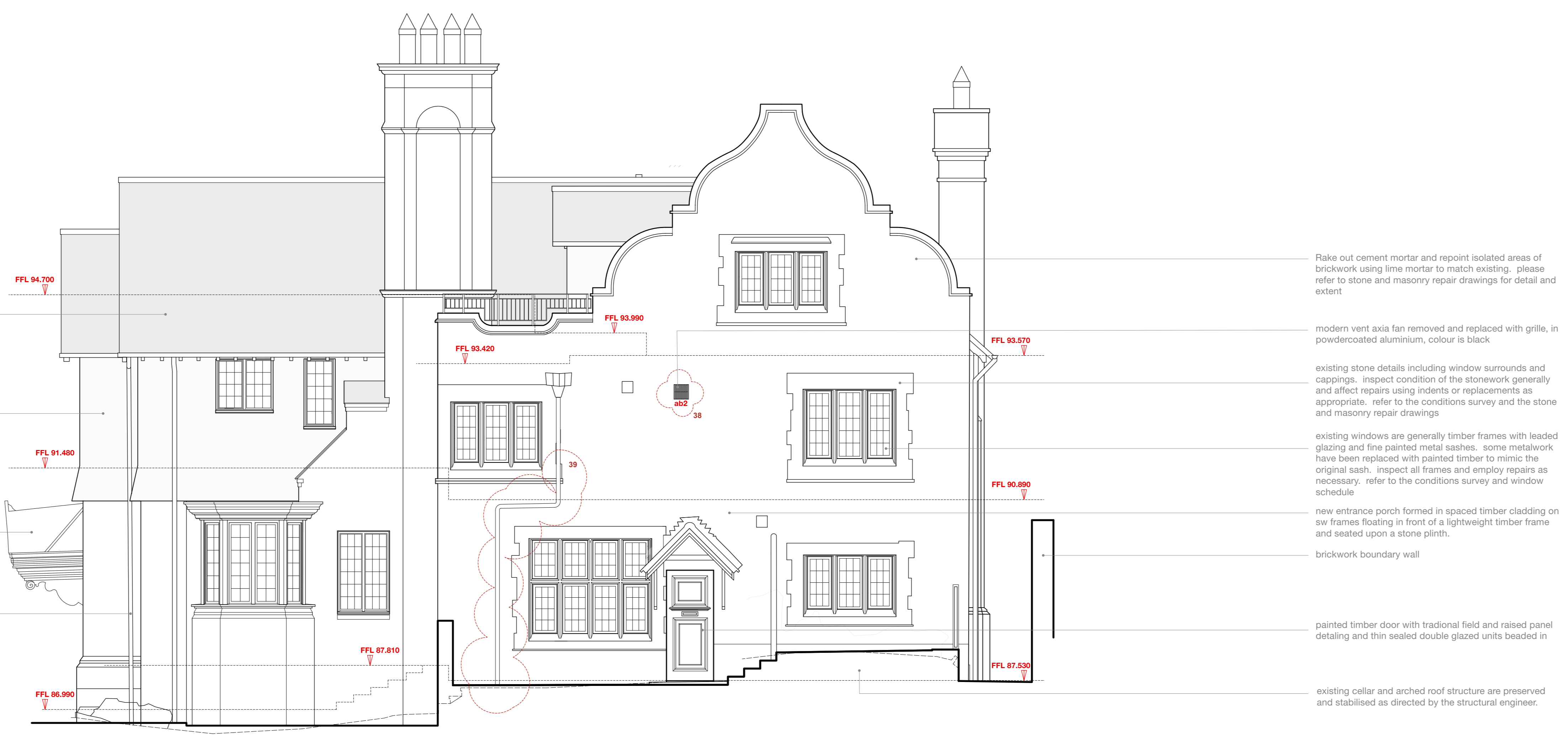
DATUM 63.000

roofs generally, inspect roofs, flashings, soakers, drips and leadwork generally, effecting repairs where necessary. replace tiles with clay tiles to match exactly and lead to repair details. clean gutters and match where repairs are required. refer to the conditions survey

tile hanging to all areas. inspect surfaces, flashings, drips and leadwork generally, effecting repairs where necessary. replace tiles with clay tiles to match exactly and lead to repair details. refer to the conditions survey

canopy over the main entrance. carefully reveal former layers of paint to determine the composition and colour of the original decoration. strip heavy over-painting and repaint to approved specification  
 affect repairs as necessary to leadwork and structure. refer to conditions survey

inspect condition of rainwater goods generally throughout. repair and replace as appropriate using cast iron goods and brackets to match existing closely



Rake out cement mortar and repaint isolated areas of brickwork using lime mortar to match existing. please refer to stone and masonry repair drawings for detail and extent

modern vent axis fan removed and replaced with grille, in powdercoated aluminium, colour is black

existing stone details including window surrounds and cappings. inspect condition of the stonework generally and effect repairs using indents or replacements as appropriate. refer to the conditions survey and the stone and masonry repair drawings

existing windows are generally timber frames with leaded glazing and fine painted metal sashes. some metalwork has been replaced with painted timber to mimic the original sash. inspect all frames and employ repairs as necessary. refer to the conditions survey and window schedule

new entrance porch formed in spaced timber cladding on sw frames floating in front of a lightweight timber frame and sealed upon a stone plinth.

brickwork boundary wall  
 painted timber door with traditional field and raised panel detailing and thin sealed double glazed units beaded in

existing cellar and arched roof structure are preserved and stabilised as directed by the structural engineer.

Principal Elevation: East

DATUM 63.000

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Survey drawings are kindly provided by Moom Hughes Land Survey Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

**KEY**

**Features**

- windows**
- bhc bottom hung timber casement window
  - shc top hung timber casement window
  - shc side hung casement window
  - shc side hung casement window
  - vs vertical sliding sash timber window
  - tt tilt and turn window
  - tt tilt and turn window
  - tt fixed light timber window
  - tt fixed light timber window
  - tt velux style roof light (pitched roof)
  - tt velux style roof light (pitched roof)
  - tt conservation style roof light (pitched roof)
  - h hoding hatch
  - sd skidding door
  - pd pivot door

- ventilation and flues**
- f wall / roof mounted flue to gas boiler / gas fire, terminal colour is black
  - ab1 air brick wall terminal as used in bathrooms, kitchens etc, annexe only, standard W38 weather louvre, various sizes, in powder coated aluminium, colour to suit
  - ab2 air brick wall terminal as used in bathrooms, kitchens etc, main house and lodge, 225x225mm bespoke hit and miss vent with vertical slots in powder coated aluminium, colour a black
  - ab3 as ab2, with flyscreen removed for greater ventilation rate
  - ab4 m-use existing terracotta airbrick
  - vt low profile ventilated roof tile, colour and size matched to existing
  - vh hooded ventilated roof tile, colour and size matched to existing
  - vs ventilation stack, black
  - evs ventilation stack, polished stainless steel

**note:** existing windows are generally timber frames with leaded glazing (single glazed) and five painted metal sashes, some metalwork has been replaced with painted timber to match the original sash.  
 on the north and the west elevations of the main house the windows are similar with single glazing and painted timber frames. there are a pair of painted metal frame windows on the north elevation.  
 the timber casement windows found on the annexe will be replaced by low profile double glazed units with an anodised bronze aluminium frame.  
 Existing building fabric and structure, including roofs, tiling, masonry, windows, and rainwater goods are to be maintained and repaired/replaced where necessary. The conditions away will form the basis from which the maintenance works will be scheduled and agreed.



existing canopy is retained to provide shelter over entrance door to the lodge  
 occasional new windows formed in north elevation, joinery is to match existing window joinery exactly  
 existing windows are mostly timber frames with leaded glass (south and east elevations) and timber frames with transoms and mullions in joinery (north and west elevations), side hung casements throughout. inspect all frames and effect repairs where described and necessary  
 existing metal frames are replaced with new window joinery to match adjacent  
 new balanced flue position  
 glass door, double glazed with bronzed anodised aluminium frames  
 new extension in lightweight construction, insulated timber frame walls finished with bronze colour cladding panels, site formed, with standing seam brickwork plinth, clay brickwork to precisely match existing facades  
 tilt and turn window, double glazed with bronzed anodised aluminium frames  
 new window positions, joinery to match existing joinery exactly  
 existing ground level is reduced to allow improve ventilation into the sub floor, existing structure suffers from dampness due to ground moisture penetration in these areas  
 also faced gable tiling with walk on rooflights set into trell, rooflights have obscure finish for privacy  
 frameless glass roof with substantial overhang in structural glazing  
 frameless structural glass forming glazed screen to full height, invisible recessed edge frame and silicon jointing  
 glazed doors with low profile pcc aluminium frames, bronzed  
 goal post frame in bronzed powdercoated aluminium skin with powdercoated structural steel frame behind to stabilise facade  
 existing brickwork, clean, repaint and make repairs as necessary.  
 line of ground level beyond retaining structure  
 new retaining structure, angled to follow the land form

Principal Elevation: North

DATUM 83.000

**scheme 2: revisions to scheme 2**

- 31 link: awning frame is fitted by 300mm to improve visibility from bedrooms and to ensure sufficient headroom below parked awning
- 32 link: north face of framework supporting awning is recessed southwards by 900mm
- 33 link: prominent box rooflight is omitted in favour of a low profile glass hatch
- 34 link: flat glass elevation at rear is omitted in favour of protruding glass box with glass lid
- 35 link: brickwork panel omitted in favour of bronzed cladding over panels to suite the protruding glass box design
- 36 link: brickwork side wall is recessed to allow protruding glass box design
- 38 level of terrace is filled by a single step to ensure minimal head height below, profile of lower terrace is retained, tapered edge skirting to the detail of the original building
- 39 new service penetrations including flues, vents, extracts etc: all positions marked and types and colour/materials identified, various locations.



existing brick chimney, new flue to the main house is concealed inside the structure  
 lightweight steel structure supporting carrier system for automatic retractable awnings, to limit solar gain within the home office and to provide some shading to the upper terrace  
 frameless glass guarding above west elevation (annexe)  
 extract and intake air terminals for air handling plant located in the annex roof pitch, mechanical air handling is limited to the link area only, implemented to moderate solar gain generated by the new glazed areas  
 frameless glass guarding to upper terrace deck  
 side wall to glazed link in soft red brown hand made clay brickwork to suit masonry forming the principal elevations of the main house.  
 existing window openings are widened to improve levels of natural light and fitted with new windows, double glazed with bronzed anodised aluminium frames  
 frameless structural glazing to link end wall and roof  
 existing ground level  
 brick retaining wall at boundary  
 light-well (dotted), creating space to allow greater levels of natural light to penetrate into the lower ground floor of the annexe.  
 new concrete retaining wall (dotted)  
 existing window openings are widened to improve levels of natural light within the northern sections of the annexe. new windows, double glazed with bronzed anodised aluminium frames  
 new field drain diverting ground moisture away from building  
 existing windows and doors are removed and openings fitted with new windows, doors, fixed lights etc. thin profile frames, bronzed anodised aluminium, double glazed  
 new balcony with bronzed metal frame and as wire mesh guarding in an encapsulating frame, bronzed.  
 entrance door fitted with opaque bronzed glass for privacy with a sandblasted finish  
 existing brickwork is over-clad with an additional leaf of soft red handmade clay brick to complement main house, cavity includes additional thermal insulation  
 existing brickwork  
 existing tile hanging

Principal Elevation: West

DATUM 83.000

REV F 08 Mar 2022 GM&G  
 The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments. The amendments included mostly cosmetic alterations at the detail level.

REV E 08 Sep 2021 GM&G  
 The previously approved scheme (scheme 2) is altered to include a number of small amendments.

REV D 15 Jun 2021 GM&G  
 Planning Application further revised, in response to planning and conservation officers comments

REV B 10 Aug 2020 GM&G  
 Revised Planning Application marked at Revision B

REV A 05 Dec 2019 GM&G  
 Original Planning Application marked at Revision A

PROJECT  
**The Hoo, Scheme 3**  
**17 Lyndhurst Gardens,**  
**Hampstead, London**  
 Residential Ground Floor House To Provide Domestic Accommodation  
 NWS SNU

CLIENT  
**Mr and Mrs Yu**  
 REPRESENTED BY  
**J&A Developments (London)**

DRAWING  
**North and West Elevations**  
**as Proposed**

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM&G		Oct 2019

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PROJECT No: **19013** DRAWING No: **1141** REVISION: **F**  
 STATUS: **PLANNING**

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Sundry drawings are kindly provided by Gibson Hughes Land Surveyors Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

KEY

**Windows**

- bhc bottom hung timber casement window
- tlc top hung timber casement window
- shc side hung casement
- vsa vertical sliding sash timber window
- tt tilt and turn window
- tl fixed light timber window
- rl roof light flat roof
- vtl valux style roof light glazed roof
- ortl conservation style roof light glazed roof
- h ceiling hatch
- sd sliding door
- pd pivot door

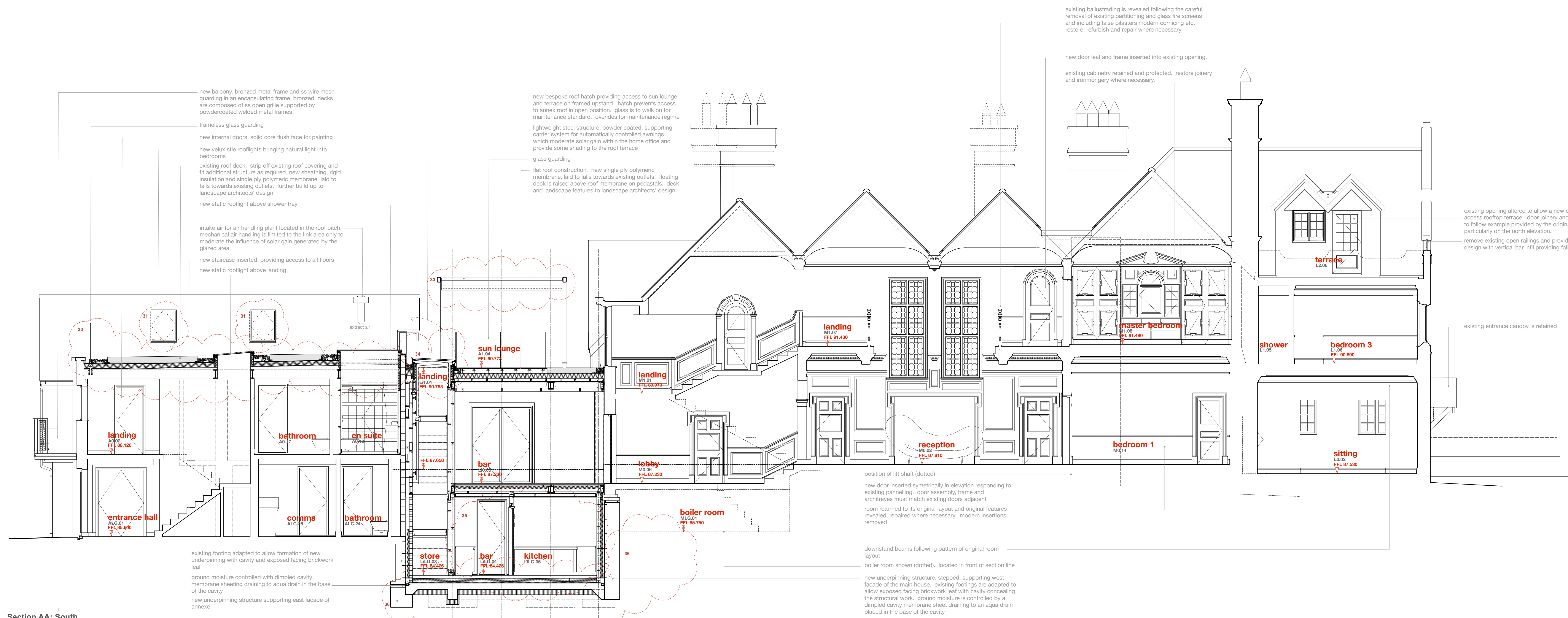
**ventilation and flues**

- f wall / roof mounted flue to gas boiler / gas fire. timber colour to black
- ab1 air brick wall terminal as extract to bathrooms, kitchens etc. anovex only. standard W/30 weather board, various sizes, in powder coated aluminium, colour to suit brickwork
- ab2 air brick wall terminal as extract to bathrooms, kitchens etc. main house and lodge. 25x425mm bespoke tilt and rise vent with vertical slots in powder coated aluminium, colour to black
- ab3 air brick, with flyscreen removed for greater ventilation rate
- ab4 re-use existing terracotta airbrick
- vt low profile ventilated roof tile, colour and size matched to existing
- vth hooded ventilated roof tile, colour and size matched to existing
- vs ventilation stack, black
- svs ventilation stack, polished stainless steel

**note:** existing windows are generally timber frames with leaded glazing (single glazing) and fire painted metal sashes. some multiwork has been replaced with painted timber to meet the original sash.  
 on the north and the west elevations of the main house the windows are simpler with single glazing and painted timber frames. there are a pair of painted metal frame windows on the north elevation.  
 the timber casement windows found on the annex will be replaced by low profile double glazed units with an anodised bronze aluminium frame.  
 Existing building fabric and structure, including roofs, tiling, masonry, windows, and plasterwork to be maintained and repaired/instated where necessary. the conditions survey will form the basis from which the maintenance works will be scheduled and agreed.

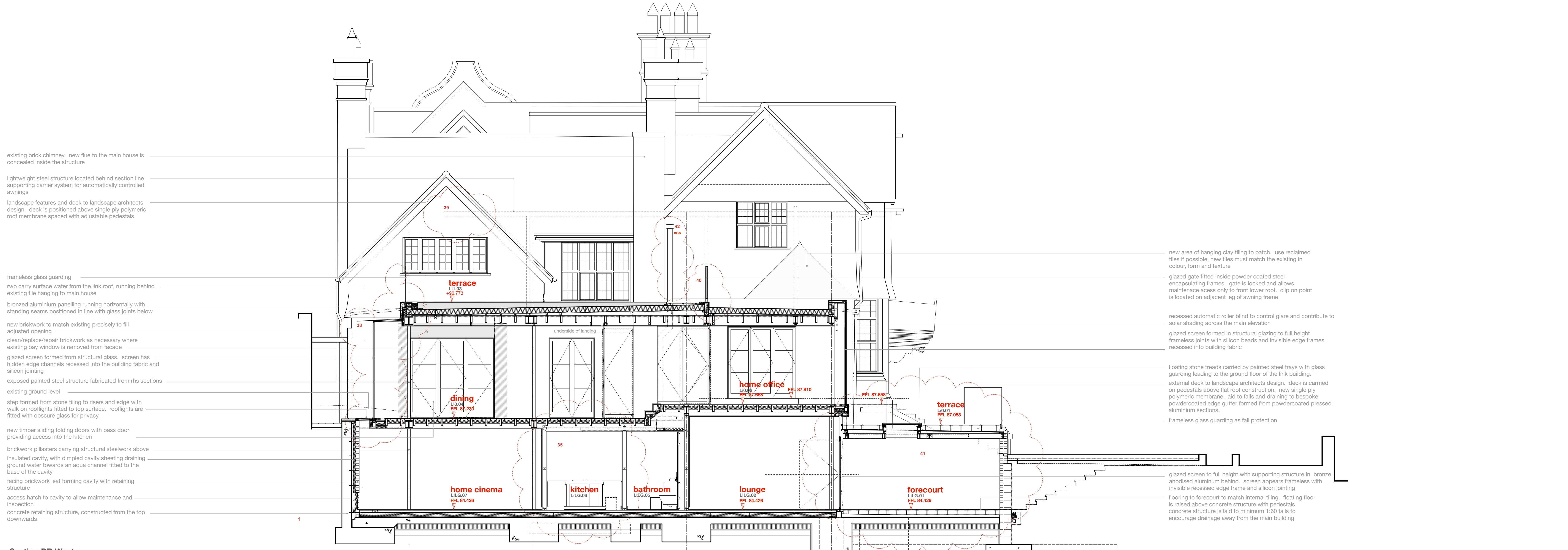
**scheme 3: revisions to scheme 2**

- 30 1980's annex: rooflights are repositioned to suite layout. roof is no longer accessible to the annex and is maintenance access only from the link roof.
- 31 1980's annex: new valux roof lights providing natural light to bedrooms
- 32 link: awnings frame is lifted by 300mm to improve visibility from balconies and to ensure sufficient headroom below painted awning
- 34 link: prominent low roof light is omitted for a low profile opening glass hatch giving access onto the roof terrace, including glass guarding as fall protection whilst the hatch is open. hatch also allows maintenance only access to the roof above the annex
- 35 link: comms room becomes kitchen, kitchen becomes bar, north wall of kitchen moves further north to provide the ancillary accommodation with more space
- 36 link: design of foundations are refined, formerly proposed new allowing access to plant room is omitted, existing access is expanded to meet fire regulations and used instead.
- 38 link: recessed flat glass elevation at rear is omitted in favour of protruding glass box design with glass led, walk on glass rooflights at base are named to accommodate, and bonded over-panels located above the glass roof facilitate the design
- 39 link: north face of frame work supporting awning is recessed 500mm by 500mm
- 40 link: solid sections of low wall are swept for glass barriers allowing maintenance access to flat roof and lantern through lockable glass gates with 10mm painted steel frames
- 41 link: courtyard is notched in across the full width with walk on rooflights above delivering natural light into the space. deck is raised by 150mm to allow minimal head height below, number of steps to be reduced by one, number of steps to terrace in front of main house is increased by one
- 42 new service penetrations including flues, vents, extracts etc. all positions, makes and types and colour/materials identified various locations.



Section AA: South

DATUM RL 000



Section BB West

DATUM RL 000

REV #	DATE	DRN	CHKD
REV F	09 Mar 2023	GM/G	
REV E	08 Sep 2021	GM/G	
REV D	12 Jan 2021	GM/G	
REV C	10 Aug 2020	GM/G	
REV B	05 Dec 2019	GM/G	

**PROJECT**  
 The Hoo, Scheme 3  
 17 Lyndhurst Gardens,  
 Hampstead, London

**CLIENT**  
 Mr and Mrs Yu  
 REPRESENTED BY  
 JAGA Developments (London)

**DRAWING**  
 Sections AA and BB  
 as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A0	GM/G		Oct 2019

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JOB No <b>19013</b>	DRAWING No <b>1150</b>	REVISION <b>F</b>
STATUS <b>PLANNING</b>		



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Sunny drawings are kindly provided by Alison Hughes Land Services Ltd and are assumed to accurately describe the existing buildings, services and external spaces.

KEY

- Windows**
- bhc bottom hung timber casement window
  - thc top hung timber casement window
  - shc side hung casement
  - vsa vertical sliding sash timber window
  - tt tilt and turn window
  - fl fixed light timber window
  - rt roof light flat roof
  - vtl valux style roof light glazed roof
  - ortl conservation style roof light glazed roof
  - h ceiling hatch
  - sd sliding door
  - pd pivot door

- ventilation and flues**
- f wall / roof mounted flue to gas boiler / gas fire, terminal colour to black
  - ab1 air brick wall terminal as extract to bathrooms, kitchens etc, arnoes only, standard W/30 weather board, various sizes, in powder coated aluminium, colour to suit brickwork
  - ab2 air brick wall terminal as extract to bathrooms, kitchens etc, main house and lodge, 250x425mm bespoke tilt and rise vent with vertical slots in powder coated aluminium, colour to black
  - ab3 air ab2, with flyscreen removed for greater ventilation rate
  - ab4 re-use existing terracotta airbrick
  - vt low profile ventilated roof tile, colour and size matched to existing
  - vth hooded ventilated roof tile, colour and size matched to existing
  - vs ventilation stack, black
  - svs ventilation stack, polished stainless steel

**note:** existing windows are generally timber frames with leaded glazing (single glazed) and fire painted metal frames, some multiwork has been removed where necessary to reveal the original sash.  
 on the north and the west elevations of the main house the windows are simpler with single glazing and paintwork timber frames, there are a pair of painted metal frame windows on the north elevation.  
 the timber casement windows found on the annex will be replaced by low profile double glazed units with an arched bronze aluminium frame.  
 Existing building fabric and structure, including roofs, slings, masonry, windows, and timberwork are to be maintained and repaired/retained where necessary, the conditions survey will form the basis from which the maintenance works will be scheduled and agreed.

- scheme 3: revisions to scheme 2**
- 30 link profile of lower terrace sweetened, tapered edge aligning to the level of the original building.
  - 31 link north face of framework supporting awning is recessed southwards by 800mm.
  - 32 link prominent box roof light is omitted for a low profile opening glass hatch giving access onto the roof terrace, including glass glazing to extend over the hatch to open, hatch also allows maintenance only access to the roof above the annexe.
  - 34 link void sections of low wallbox roof light are replaced by glass barriers allowing maintenance access to flat roof and to form through lookable glass gates with the painted steel frames.
  - 35 link recessed flat glass elevation at rear omitted in favour of protruding glass box design with glass led, walk on glass rooflights at base are removed to accommodate, and bronze over rails located above the glass roof facilitate the design.
  - 36 link freecourt is notched in across its full width, walk on rooflights above deliver natural light into the space, back to raised by 100mm to allow minimal head height below, number of risers to link reduced by one, number of treads to terrace in front of main house is increased by one.
  - 37 link position of cycle store is amended to allow freecourt to become a single open space, external stairs are widened to compensate.
  - 38 link design of foundations are evolved further.
  - 39 new service penetrations including flues, vents, extracts etc: all positions marked and types and colour/materials identified, versus locations.

- REV F** 09 Mar 2022 GM/G The previously approved scheme (scheme 2) is altered to include a number of minor, non-material amendments, the amendments included mostly rationalise the alterations at Rev E
- REV E** 06 Sep 2021 GM/G The previously approved scheme (scheme 2) is altered to include a number of small amendments.
- REV D** 15 Jan 2021 GM/G Planning Application further revised, in response to planning and conservation officers comments.
- REV C** 09 Sep 2020 GM/G Adjustments made to 3 wall box rooflight following confirmation of available space. Some de-orientation with structural engineer and adjustments made to levels of retaining wall and ground level, north elevation, notes for air handling behind paneled screen above, north. Cavity access panel and internal svp included.
- REV B** 10 Aug 2020 GM/G Revised Planning Application marked at Revision B.
- REV A** 05 Dec 2019 GM/G Original Planning Application marked at Revision A.

REV	DATE	DRN	CHKD

**PROJECT**  
 The Hoo, Scheme 2  
 17 Lyndhurst Gardens,  
 Hampstead, London  
 Returning a Grand Victorian House to Private Domestic Accommodation  
 NW3 5NU

**CLIENT**  
 Mr and Mrs Yu  
 REPRESENTED BY  
 JAGA Developments (London)

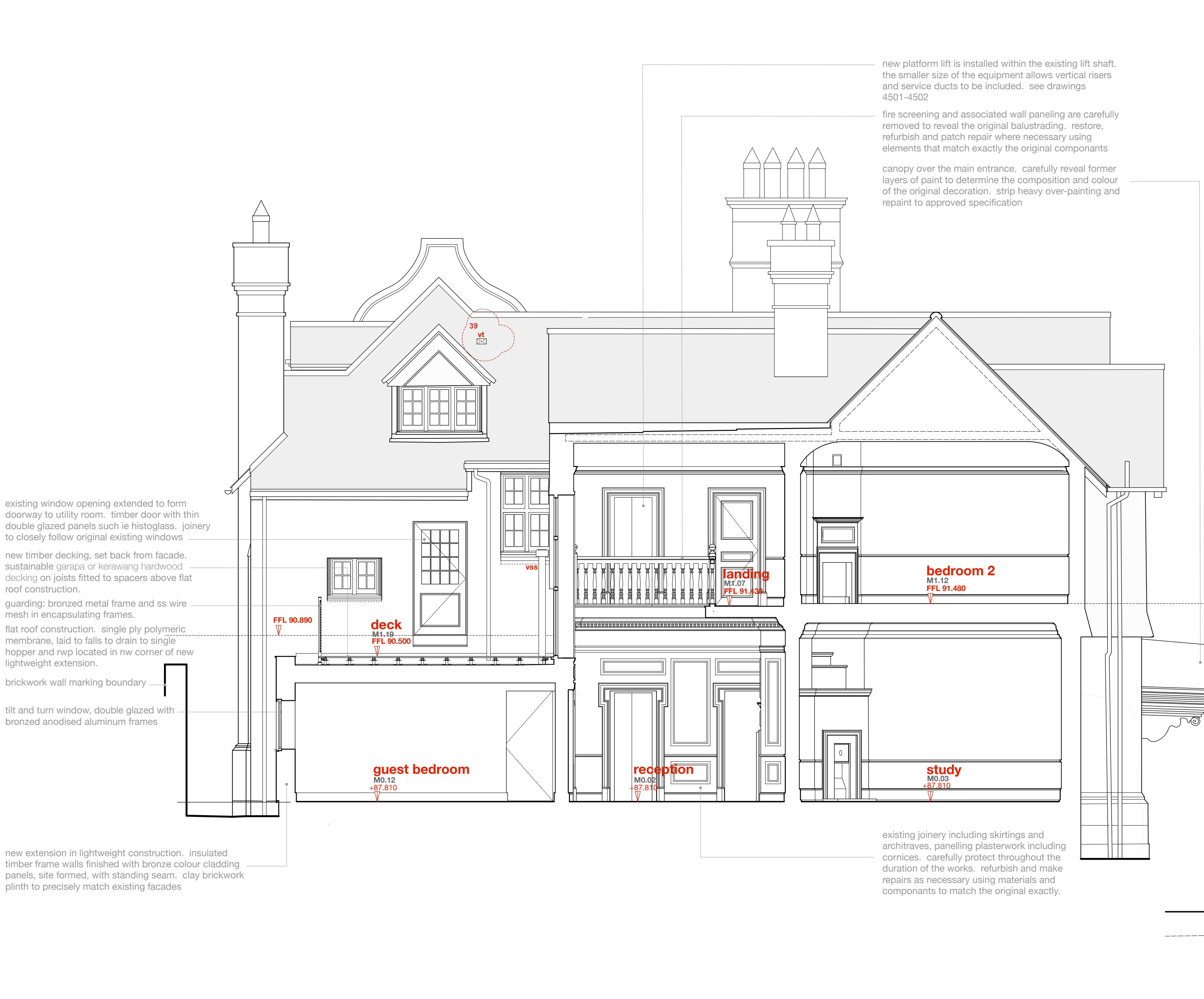
**DRAWING**  
 Sections CC-EE  
 as Proposed

SCALE	SHEET SIZE	DRAWN	CHECKED	DATE
1:50	A4	GM/G		Oct 2019

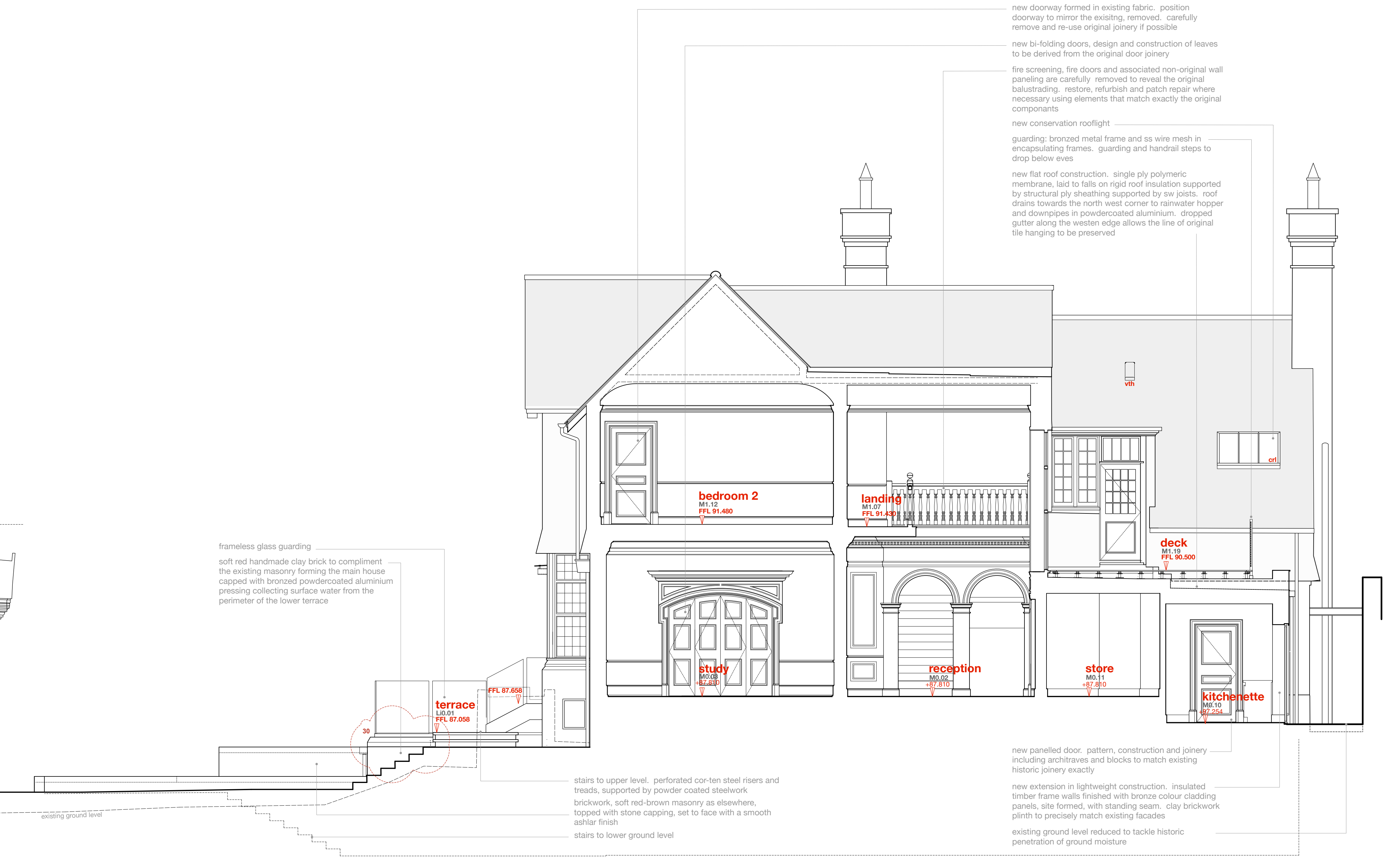
**BOWKER SADLER ARCHITECTURE**  
 A: Hathor House, Hathorlow, Romley, Stockport SK9 3DY  
 T: 0161 408 7333  
 E: info@bowker-sadler.co.uk  
 W: www.bowker-sadler.co.uk

JOB No	DRAWING No	REVISION
19013	1151	F

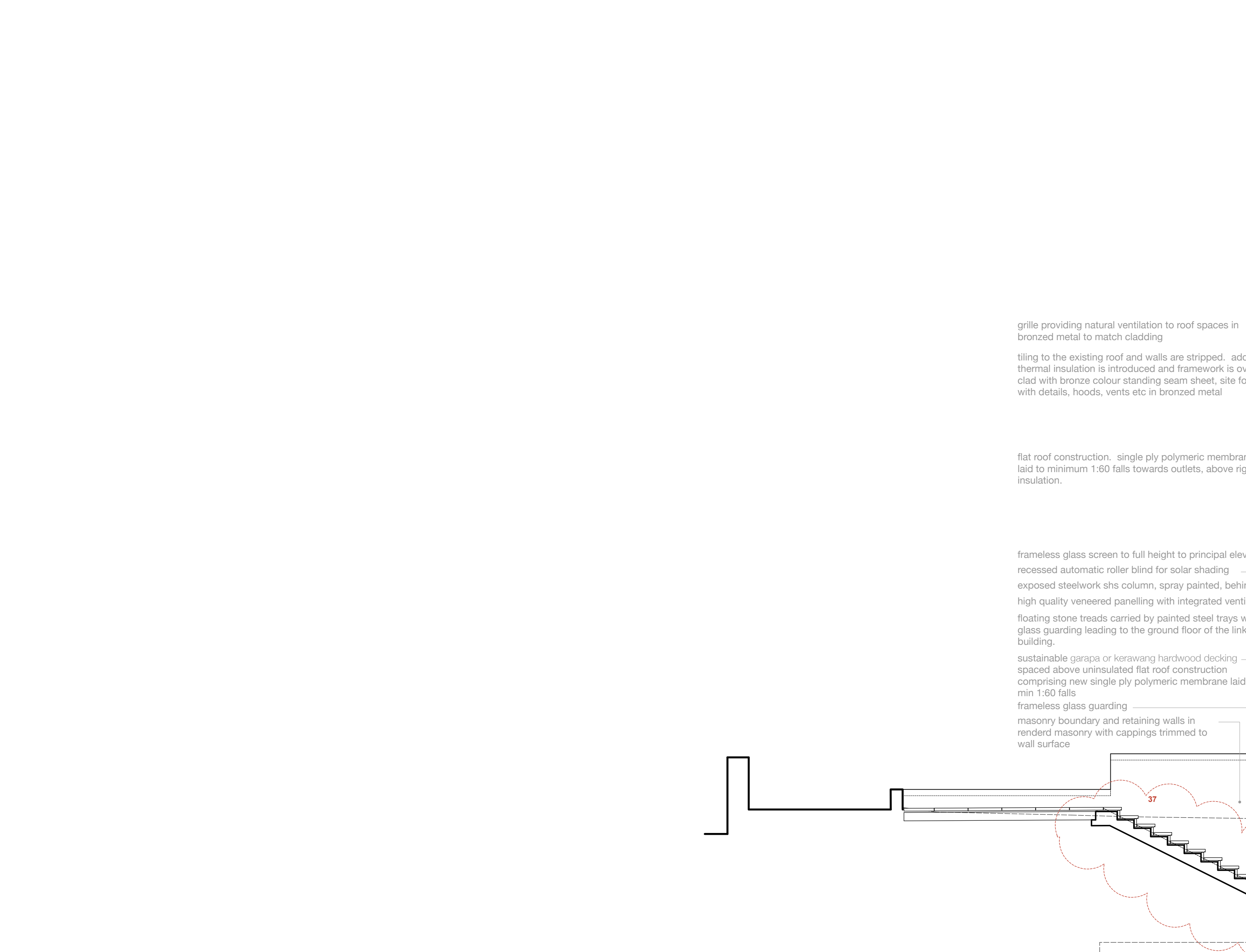
STATUS  
 PLANNING



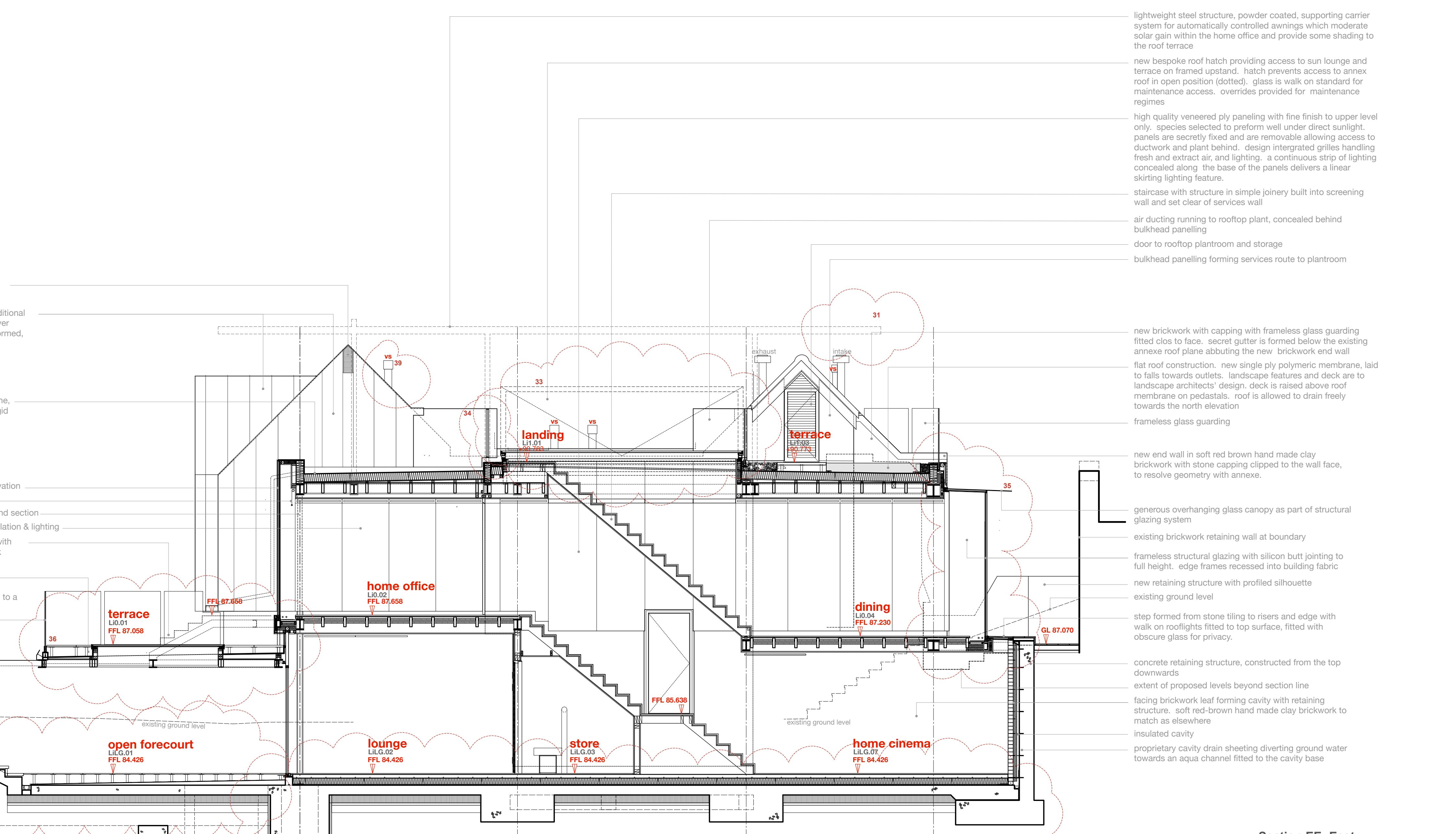
Section CC: West



Section DD: East  
 DATUM RL 80.00



Section EE: East  
 DATUM RL 80.00



Section FF: East  
 DATUM RL 80.00