

Design & Access Statement

DAS-100

Flat 1
2 South Hill Park
London
NW3 2SB

Date: 31.03.2023

CONTENTS

1.0	Introduction	2
1.1	Pre-Planning Response	2
1.2	Site Location	2
1.3	Condition of Property	3
2.0	Planning Policies	4
2.1	Camden Planning Guidance: 2. Design Excellence	4
2.2	Camden Planning Guidance: Home Improvements	5
2.3	External Alterations	6
2.4	Conservation Area Statement: South Hill Park	7
3.0	The Design	7
3.1	Local Context	7
3.2	Sustainability	8
3.3	Roof Terrace and Sem-Dormer Conversion	8
3.4	Daylight and Overshadowing	8
3.5	Design Parameters	8
3.6	Application in Context	9
3.7	Area	9
4.0	Community Infrastructure Levy	9
5.0	Access Statement	10
6.0	Access Statement	10
6.1	Internal Doors and Vertical Access	10
7.0	Appendix	11

1.0 Introduction

1.1 Pre-Planning Response

Please note this application has been reviewed and modified with reference to comments obtained from the Pre-Application Advice, Ref: 2022/3876/PRE by the Senior Planning Officer, Ms Cameron Banks-Murray, 13 March 2023.

The pre-application was described as: *a proposal for the erection of a recessed outdoor terrace and dormer window at roof level to the rear.*

It was noted that: *In terms of precedent, it is noted that along this specific section of terraces on South Hill Park, there have been alterations to:*

“the traditional roof forms of properties; including that of no. 10, no. 8, and no. 4. However, there is no planning history evident for these modifications being authorised, and these alterations are not considered appropriate justification for the design and location of the rear dormer currently proposed.”

Thus, even though the dormers at nos: 4, 8 and 10 have larger and greater massing roof dormers (that were not-consented as no records show their applications) they are not considered appropriate for the above pre-application and indeed for this application.

However, it was considered acceptable for the terrace to be approved as shown from the pre-application report:

“The proposed inset terrace is considered to be acceptable in planning terms, given the amenity space offered and opportunity to increase habitable space in the property.”

Hence, this application is reduced in scope by omitting the dormer and instead for a recessed terrace only.

The terrace was also discussed at the site visit with the Planning and Conservation officer on 9th January 2023, and was deemed appropriate as it was concealed and reducing habitable space as opposed to adding mass.

Please note the proposed scheme is viewed as a standard application. However, a design and access statement has been produced to show that all reasonable steps have been considered upon the design of the proposal. Flat 1, 2 South Hill Park is in the London Borough of Camden.

This Design & Access Statement should be read in conjunction with the accompanying planning documentation:

- A1-001 Site and Location Plans
- A1-100 Existing Plans
- A1-101 Existing Elevations and Section
- A1-200 Proposed Floor Plans
- A1-201 Proposed Elevation and Section
- PFSP-100 Planning Fire Safety Plan
- PFSS-100 Planning Fire Safety Statement
- DAS-100 Design and Access Statement (this document)
- CIL Community Infrastructure Levy
- Householder Application for Full Planning Permission for works or extension to a dwelling
- Appropriate Planning Fee
- CL-100 Cover Letter

1.2 Site Location

Flat 1, 2 South Hill Park, London, NW3 2SB is a top floor flat located in the London region of England. The postcode is within the Hampstead Town ward/electoral division, which is in the constituency of Hampstead and Kilburn. The property is also situated within the South Hill Park Conservation Area and is not a listed property.

The following information describes the design for Flat 1, 2 South Hill Park, and the neighbourhood in which it resides. The owners would like to modify the flat to suit their growing family needs and to accommodate a better quality of living.



Figure 1: Location Plan

 Application Site

1.3 Condition of Property

Flat 1, 2 South Hill Park is a top floor terrace property. The existing internal spatial arrangement does not accommodate the family's way of living and requires interior modifications with an external terrace space.

This proposal seeks to improve the quality of the accommodation by providing better use of the internal and external layout. Currently, there is no connection with the physical outside space. This has now become a necessity as it allows a visual and physical link to the outside and sense of openness with nature that is invited into the flat. Rear roof terraces are not uncommon in this area. The flat below and many neighbouring properties have access to an outside rear external roof terrace.

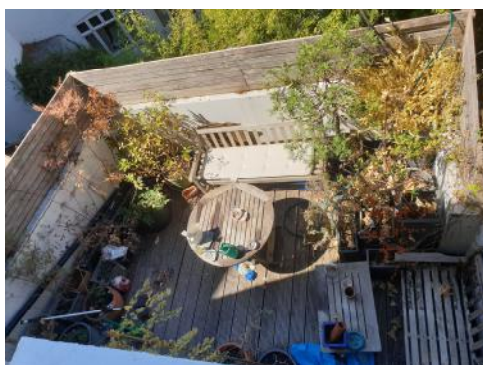


Front view of the property



Location for access to rear terrace

Location of existing kitchen and where the rear external terrace will be located by reducing the internal floor area



View of rear terrace of property below



View of neighbour's rear roof terrace at same level as this application

Figure 2
Photographs illustrating existing conditions and neighbouring roof terraces

2.0 Planning Policies

As noted in the Introduction, it was considered acceptable to facilitate a terrace linked to the kitchen area. This application is for an external space for a roof terrace that encourages better living standards for the occupants of the top floor flat, and involves reducing the existing habitable floor area.

The National Planning Policy Framework (NPPF July 2021) and The London Plan 2021 were referred to providing a holistic review of criteria pertaining to this proposal. For greater local in-depth planning policies, the following information refers to Camden's Planning Guidance policies and literature: *Home Improvements, Design* and the *Conservation Area Statement, South Hill Park*.

The following planning policies and the relevant clauses are shown thus:

2.1 Camden Planning Guidance: 2. Design Excellence

2.1.1 High quality design makes a significant contribution to the success of a development, of a place and the community in which it is located. The design of the built environment affects many things including the way we use spaces and interact with each other, comfort and enjoyment, safety and security, our sense of inclusion and our health and well-being. In addition, high quality design across the borough contributes to achieving, a high-quality, sustainable environment for all in the community to live, work, play and relax.

2.1.2 The purpose of this guidance is to promote design excellence and to outline the ways in which developments can achieve high quality design.

2.1.3 This guidance primarily relates to Camden Local Plan policies D1 Design and D2 Heritage. In accordance with these policies, high quality design and preserving and enhancing Camden's rich heritage should be at the heart of all development in the borough. This guidance provides further information on achieving high quality design. In accordance with

Policy D1 of the Camden Local Plan, the Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

The above guidance applies to developments, whether involving new build, conversions, refurbishments, extensions, or alterations.

This application aims to follow Camden's commitment to excellence in design. In order to achieve high quality design in the borough we require applicants to consider buildings in terms of:

- context
- height
- accessibility
- orientation
- scale and massing
- siting
- functionality and layout
- detailing
- materials

The flat is located within the conservation area and as such this application will incorporate, where viable, the local context and how it seems to relate to existing neighbouring rear roof terraces and use of materials.

2.2 Camden Planning Guidance: Home Improvements

2.2.1 Balconies and Terraces

Camden understand the requirement of making an existing property better in relation to current living standards.

Balconies can provide valuable amenity space, especially for flats that would otherwise have little or no private exterior space. When considering a balcony for your property, it is important you appreciate the impact of this alteration on the roof form, host building, wider area, and neighbouring amenity...A modest balcony is more likely to receive consent than larger ones.

The considerations that were taken into account when designing balcony, is to ensure it is sensitively and appropriately designed for its context. A new balcony takes into consideration the following criteria from the list of design items relevant to this application in terms of physical constraints and context.

- Be subordinate to the roof slope being altered, and roof form overall
- Preserve the roof form and complement the elevation upon which they are to be located
- In case of pitched roofs, be set in within the roof slope, when possible;
- Should maintain the existing parapet height
- Handrails and balustrades should be set back behind the line of the roof slope or parapet;
- Carefully consider materials for enclosure:
 - For traditional buildings, metal railings are preferred as they integrate well with the building's character, are more resilient, require low maintenance, support plants growth
 - Glass balustrades could be appropriate for modern buildings with thin frames, or frameless
- Raised parapets could contribute to shading where necessary and have different patterns, such as hit and miss brick pattern
- Consider spaces for planters within your balcony for screening and enhancement;
- Will be located at the rear of properties to ensure no impact on the street scene and wider area
- Will be set back from roof's margins
- When deemed necessary, privacy screens should be no less than 1.8m in height, made of natural materials and support plants to grow on them.

This roof terrace continues the pattern of existing roof terraces that are common elements with the flats neighbouring this application.



Figure 3
Photographs showing neighbouring the existing roof terraces

2.3 External Alterations

The following information from the *Home Improvements* report has greatly assisted with the design of the terrace proposal. The elements relevant to this application are the following:

2.3.1 Windows and Doors

New windows and doors should generally be designed and composed of materials and finishes sympathetic to the original window and/or doors to the building. *There are cases where materials and designs which are contrasting contemporary additions would be supported.*

Taking this as an example of how other new extensions and loft conversions along South Hill Park have incorporated the use of metal/aluminium/zinc cladding as a form of contrasting the existing materials with a contemporary aesthetic.

The key aspects of utilising materials considered contemporary is the way in which they are detailed that showcases design elegance, sensitivity and how they relate to adjacent roofs.

2.3.2 Walls

Surface finishes, both inside and outside your home and local area, should respect and be sensitive to the physical and natural features, to include the building's detailing as well as topography and planting.

2.3.3 Painting, Rendering or Cladding of Brickwork

The original exterior wall finish of a building is an important aspect of its architecture and should be preserved, whilst the following should be considered:

- Consistency of original elevation finishes can contribute positively to the character and appearance of a group of buildings and wider areas.
- As a general rule, where original masonry or in modern buildings, concrete or cladding is exposed on exterior walls, it should not be painted, rendered or over-clad. If in doubt, request pre-application advice.
- The colour schemes of neighbouring buildings, and any available documentation or guidance including Conservation Area Appraisals, covenants from certain landowners/freeholders.

2.3.4 Roof

As a general rule, for both roof alterations and repairs, materials that visually blend with or match the existing building materials should be considered, including clay tiles, natural slate, lead or copper.

Where roofs are being refurbished, original keyhole ridge tiles or decorative chimney stacks and chimney pots should be reused, and where possible, re-instated if they have been removed. Attention should be paid to matching any traditional overlap pattern, especially when using natural slate (and some tile types).

2.3.5 Rooflights

The installation of a rooflight can help to make the space in your loft habitable, by providing light and ventilation whilst maintaining the angle of the roof slope.

Before considering altering the roof of your property with rooflights, it is important you appreciate how these would change the materiality and solidity of your roof, and therefore its appearance and character as seen from the surrounding area including in views from public spaces.

Prominent and steep front roof slopes could be visible from long views along the streets and public spaces. In this instance you should consider locating rooflights on the rear slopes. Shallow sloping roofs may be less dominant and therefore could better accommodate rooflights even to front elevations.

The following points should be considered when designing rooflights into the roof of your property:

- They should not protrude more than 0.15m beyond the plane of the roof slope or be flush with the roof slope for properties in Conservation Area;
- They are significantly subordinate both in size and number to the roof slope being altered and roof form overall;
- Their position should take into account other architectural roof elements, e.g. gables, chimneys, turrets;
- Their position and dimensions should ensure a consistent rhythm with other rooflights on adjacent/neighbouring roofs.
- For rooflights on the roof of ground floor extensions, they should be positioned away from the building line or obscured glazed
 - to not cause excessive light spillage. Especially relevant for buildings divided into flats.

2.4 Conservation Area Statement, South Hill Park

The South Hill Park Conservation Area Statement understands that roof extensions and modifications to the roof are inevitable as this provides additional habitable space. It also provides advice of what is considered appropriate.

The roof terrace aims to maintain existing features that are exposed to the South Hill Park roofscape, which are the existing chimney stacks and pots. These will be kept and made good where necessary.

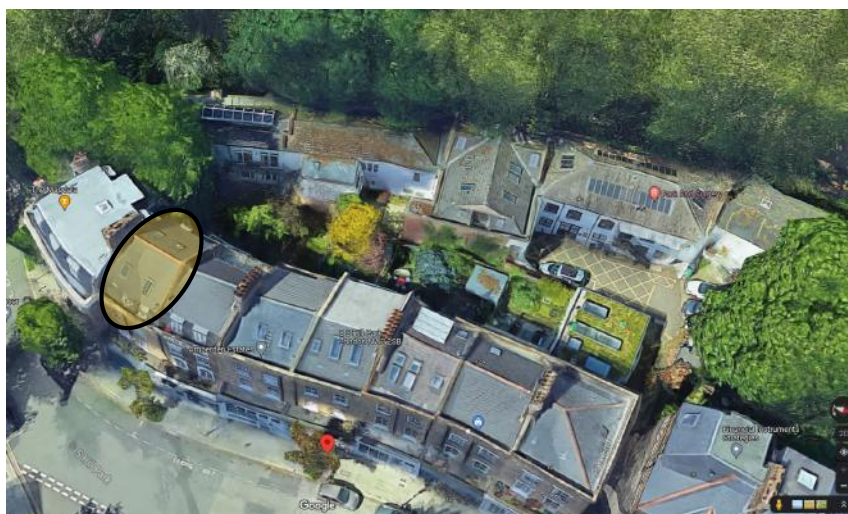
3.0 Design

As stated in the Summary section of the pre-application report, the proposed materials should include metal balustrading, timber joinery, and slate cladding which are considered acceptable within the conservation area. This has been adhered to with the removal of the initial glass safety rail with a metal safety rail instead.

The following information describes the design which follows the principles set-out in the design criteria 2.0 *Planning Policies*. The design approach always took precedence from the neighbouring context in terms of massing, materials, proportion and conserving as much of the local aesthetics and improving where viable.

3.1 Local Context

There is an assortment of residential properties and their roofs along South Hill Park. No two roofs are the same, they are varied in scale, height, visual treatment and form.



Application Site

Figure 4:
Aerial view showing and comparing the existing neighbouring roofscapes

The neighbouring property, 4 South Hill Park, is situated up-hill of this application. It is a similar design and had planning approval, ref: 2010/1141/P, to re-model the roof to create a rear terrace.

Property number 6 South Hill Park, also obtained planning approval, ref: 2012/640/P, for a similar scaled roof terrace. The roof terrace is created by cutting-back into the mansard roof to establish a useable external space.

3.2 Sustainability

This proposal obtains space from within the existing envelope of the property. This utilisation of reusing existing space is the very core of sustainability that provides increased quality of living space without using unnecessary incorporation of new materials.

The selection of materials refers to other types of rear extensions along South Hill Park, such as the incorporation of dark grey/black metal cladding. Thus, reinforcing a visual and materialistic cohesion with neighbouring properties.

3.3 Roof Terrace and Semi-Dormer Conversion

The rear of the application property is largely hidden from public view with only glimpses possible from Hampstead Heath and angled views from the external parking of the Doctors surgery below. Consequently, the roof terrace would complement the character and appearance of the surrounding developments which are also largely hidden from public and private view.

The proposed external roof terrace is adjacent to 4 South Hill Park. The doors facing onto the external terrace are substantially recessed from the existing parapet and making them barely visible from surrounding areas. However, they will be a glazed aluminium construction in a dark grey or black colour. This is similar to other rear extensions nearby.

3.4 Daylight and Overshadowing

As the terrace reduces the physical massing of the existing roof it does not harm neighbouring occupiers' daylight nor is there over shadowing with the neighbours from before.

3.5 The Design Parameters

The rear-facing roof terrace and semi-loft conversion adds much need external and internal space that increases the living standards. The internal spatial layout would be modified to enable better circulation of movement and use of rooms, *Figure 5 Application in Detail*.

The appearance uses a minimum palette of materials:

- The application respects the scale, form, and proportions of the original roof
- The external roof terrace faces the back of the property and does influence any rights of light.
- It is sympathetic to the style, character of new extensions in its surrounding properties.
- The metal safety handrail extends upon the existing high parapet to 1.8m.
- Double-glazed doors on the terrace allow access, natural light, and ventilation from outside into the property.

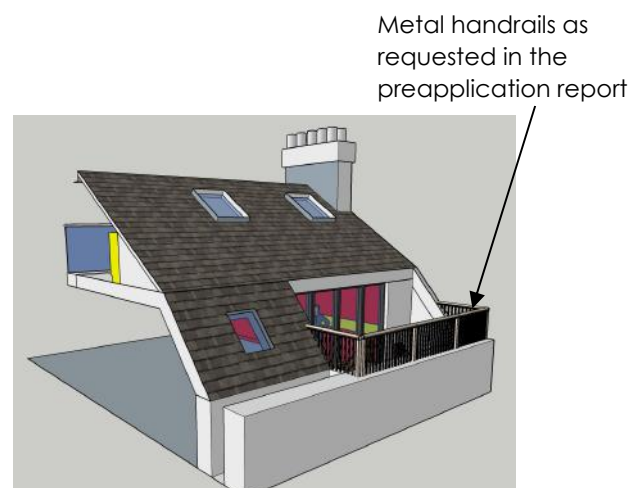


Figure 5: Application in Detail

3.6 Application in Context

The following visual study, Figure 6, Application in Context, shows how the application fits into its context. The study shows the massing and scale in relation to the applications' existing roof and immediate vicinity. It also shows the neighbouring properties that have conversions.



Metal handrails as requested in the preapplication report

Figure 6: Application in Context

3.7 Area

The following Table shows the area of the existing and proposed application is only increased by 3.5m².

Existing Property		GIA (m ²)
Entrance		7
2 nd Floor		50
3 rd Floor		46
Mezzanine		2.5
	Subtotal	105.5
Proposed Design		GIA (m ²)
Entrance		7
2 nd Floor		50
3 rd Floor		41
Mezzanine		2.5
	Subtotal	100.5
Total (Proposed – Existing)		-5m²

Table 1 Existing and Proposed Areas

4.0 Community Infrastructure Levy (CIL)

The Community Infrastructure Levy is a planning charge, introduced by the Planning Act 2008 as a tool for local authorities in England and Wales to help deliver infrastructure to support the development of their area. It came into force on 6 April 2010 through the Community Infrastructure Levy Regulations 2010. New development that creates net additional floor space of 100m² or more, or creates a new dwelling, is potentially liable for the levy.

Table 1 shows the application is considerably less than 100m². Therefore, a CIL fee is not applicable.

5.0 Flood Risk Assessment (FRA)

As the property is situated on the second floor, a flood risk assessment report is not required as it does not impact any changes to the land.

6.0 Access Statement

This access statement is provided to highlight the intent to incorporate reasonable provisions for disabled people within the design even though most access provisions have been already built at the time of the dwelling's erection.

Where it has not been possible to incorporate provisions, reasons for not doing so will be due to the existing nature and construction of the dwelling. All existing doors will be re-used, and additional doors will be compliant to the appropriate building regulations where possible.

The relevant documents for access and provisions are:

- Approved Document Part M (1999 Edition)
- Approved Document Part K (1999 Edition)
- British Standard BS 8300:2001

6.1 Internal Doors and Vertical Access

A minimum of 850mm wide corridors and landings has been provided in accordance with Part M, where possible. The door general decoration will be in accordance with Approved Document recommendations in respect of colour contrast.

7.0 Appendix

Information within the document refers to the document provided by:

- *Design and access statements, How to write, read and use them*, Commission for Architecture in the Built Environment, Sandypress, 2006.
- *Approved Document Part M (2021 Edition)*
- *Approved Document Part K (2013 Edition)*
- *British Standard*, BS 8300:2001
- *Home Improvements*, Camden Planning Guidance, January 2021
- *Design*, Camden Planning Guidance, January 2021
- *Conservation Area Statement, South Hill Park*, Camden.
- *National Planning Policy Framework*, Ministry of Housing, Communities & Local Government, 2021
- *The London Plan, Spatial Development Strategy for Greater London*, Mayor of London, 2021