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17 March 2023

Jeremy Li
80 Marchmont Street
London
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By email

Dear Jeremy,

RE: 80 MARCHMONT STREET - INDICATIVE DAYLIGHT AND SUNLIGHT REVIEW

1. INTRODUCTION

As instructed, we have now completed an indicative daylight & sunlight review of the likely impacts of the proposed first storey rear extension at the above address on the surrounding residential properties. This analysis is based upon scheme drawings provided by yourself and site photography. The first floor layouts within 78 & 82 Marchmont Street have also been provided and considered in our assessment.

2. SUMMARY OF HOW DAYLIGHT AND SUNLIGHT ARE CONSIDERED FOR PLANNING

The indicative assessment has been carried out in accordance with the methodologies contained in the Building Research Establishment's *Site Layout Planning for Daylight and Sunlight: A Guide to Good Practice* (2022) (the "BRE Guidelines"), which is used by the local authority to determine the acceptability of a proposal in terms of its effect on neighbouring daylight and sunlight amenity.

When considering the impact of a development on neighbouring daylight and sunlight amenity the BRE Guidelines recommend that Vertical Sky Component (VSC) and No Sky Line (NSL) are the appropriate tests for daylight and Annual Probable Sunlight Hours (APSH) for sunlight. The guidelines are primarily of relevance to habitable rooms within residential accommodation including living rooms, bedrooms and kitchens, circulation space and bathrooms need not be considered.

In summary, for each main window, a VSC of 27% should be achieved or at least 0.8 times its former value and NSL should achieve 80% or at least 0.8 times its former value. APSH should achieve 25% Annually with at least 5% in the winter months or at least 0.8 times its former value. Where annual APSH falls by no more than 4% this is not generally considered significant.

3. DAYLIGHT AND SUNLIGHT REVIEW

The following residential properties were considered as part of this review:

- 78 Marchmont Street



- 82 Marchmont Street
- 23 Tavistock Place

We understand that the building immediately to the rear of 80 Marchmont Street is of commercial use and so not considered sensitive to changes in daylight and sunlight. All other properties either do not have windows directly facing the proposed development, are of commercial use and so not sensitive to daylight and sunlight changes, or are too distant to be materially affected in daylight and sunlight terms.

78 MARCHMONT STREET

The internal plans of 78 Marchmont Street (see fig. 1 below) show that the nearest rear-facing first floor window to 80 Marchmont Street serves circulation space (labelled 1 in the image) and that the next closest first floor window (label 2) serves a shower. Neither space is considered sensitive to daylight and sunlight and so any impact arising from the proposed scheme is acceptable in this location. All windows above the first floor will look over the top of the proposed development and so will not be materially impacted and the kitchen will have only an oblique view of the proposed extension. The impact to this building is likely to be acceptable, therefore.

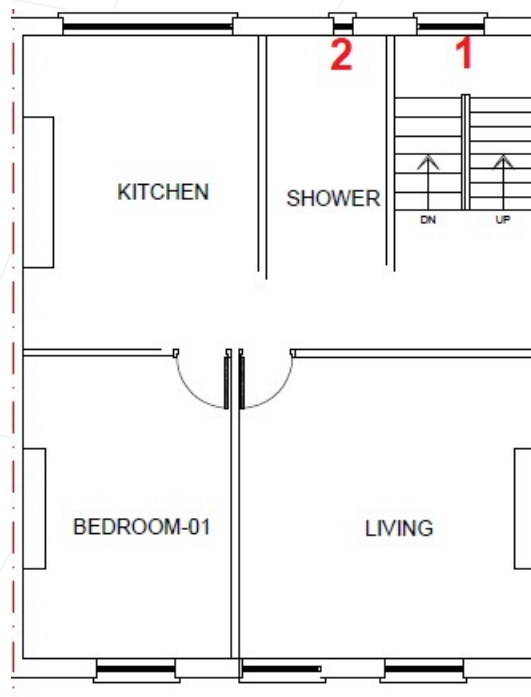


Fig 1. 78 Marchmont Street internal layout

82 MARCHMONT STREET

The internal plans of 82 Marchmont Street show that the nearest rear-facing first floor windows to 82 Marchmont Street serves a small kitchen, shown as around 12m² on the plans (photo overleaf, centre and right windows). The Mayor of London has made clear in their supplementary planning guidance that kitchens of less than 13m² should be considered as non-habitable spaces from a daylight and sunlight perspective. On this basis, the impact to this kitchen is likely to be acceptable.



Photo 1. Rear elevation of 82 Marchmont Street, kitchen served by two nearest windows

23 TAVISTOCK PLACE

The windows in the side elevation of 23 Tavistock Place i.e. those closest to directly facing the development, all appear to serve non-habitable space such as bathrooms or circulation, or are on the ground floor and so serve commercial space. The impact to these windows, therefore, is likely to be acceptable. There are some windows on the first floor that face perpendicularly away from the proposed development. There is also a privacy screen between these windows and the development site and so, given that the proposed extension will be of an approximately similar height to the privacy screen, there is not likely to be a material daylight and sunlight impact to this property, particularly as the extension will sit in the 'shadow' of 80 Marchmont Street.



Photo 2. Side elevation of 23 Tavistock Place. Privacy screen in top left corner



4. SUMMARY AND CONCLUSIONS

We have indicatively assessed the impact of the proposed development at 80 Marchmont Street on the daylight and sunlight available to the surrounding residential properties. In our opinion, the proposed scheme is not likely to cause a material daylight and sunlight impact to any of the surrounding residential properties and so should be considered acceptable in daylight and sunlight terms.


Kind Regards,


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