

Project Title: No. 82 Highgate Road,
London NW5 1PB

Date: January 2023

Project Ref: 22694-HCD-XX-XX-DS-A-0001

Document: Design and Access Statement



Fig 1: Street view of No. 82 Highgate Road, London NW5 1PB (outlined in red)



Fig 2: Aerial view of No. 82 Highgate Road, London NW5 1PB (outlined in red)



**No.5 St. John's Lane
London EC1M 4BH**

terms and conditions apply
Registered in England No.5261828

1. Introduction:

The following Design & Access Statement relates to the proposed internal alterations comprising of the insertion of an internal courtyard at No. 82 Highgate Road, London NW5 1PB.

2. Site and Context

The property is registered as No.80A by the Valuation Office and is classified as workshop and premises [Class E]. The property is located just off Highgate Road which is characterised by a variety of building typologies which include light industrial building which accommodated a range of manufacturing in the area during the late 1800's.

No 82 Highgate Road is a red brick building with full height glazed entrance doors which faces the immediate open area of The Vine public house courtyard (No. 86 Highgate Road). The site falls within the London Borough of Camden and within Dartmouth Park Conservation area Sub Area 1.



Fig 3: Site Location of No. 82 Highgate Road, London NW5 1PB (outlined in red)

3. Design Approach:

The proposal maintains the appearance of the external elevations, with proposed alterations only at roof level to accommodate the creation of lightwells to improve the quality of the internal space.

4. Materials:

Windows and Sliding Doors to internal courtyards will be either uPVC or Powder coated aluminium frames.

New roof coverings as required to match existing coverings.

Millboard (or similar approved) enhanced grain decking to internal courtyards.

5. Planning History:

We have been unable to find any previous planning applications on the on-line planning register for No. 82 Highgate Road, London NW5 1PB.

6. Access:

Main access remains unchanged and will be via the existing front door.

The property is considered adequate to allow for pedestrian access to the proposed development and served by public transport with bus routes and nearby train stations.

7. Proposed Drawings:

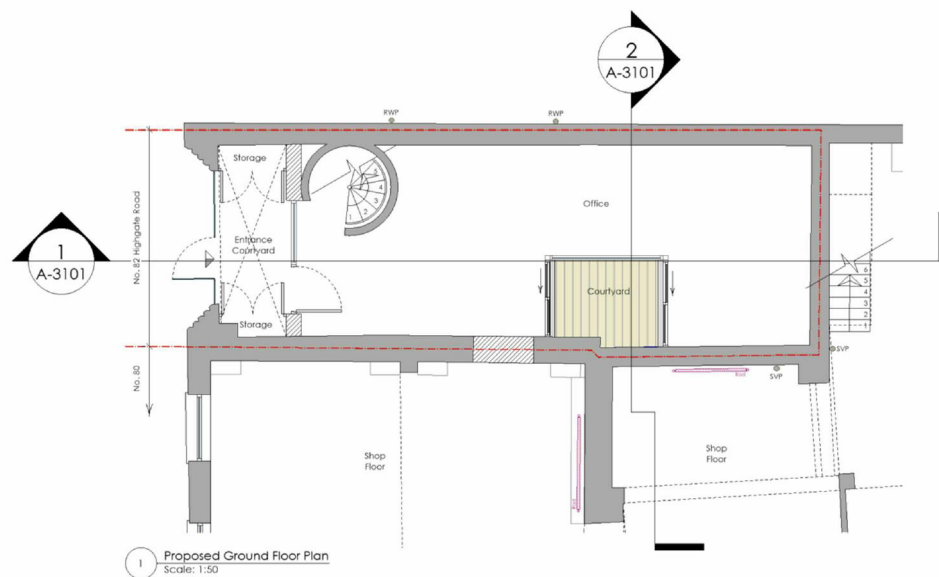


Fig 4: Proposed Ground Floor Plan

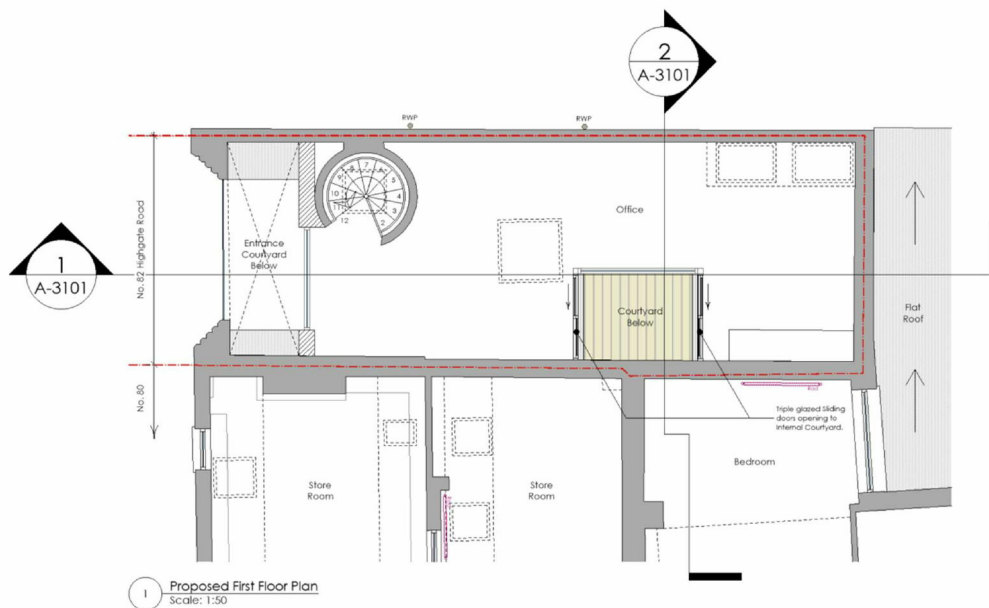


Fig 5: Proposed First Floor Plan

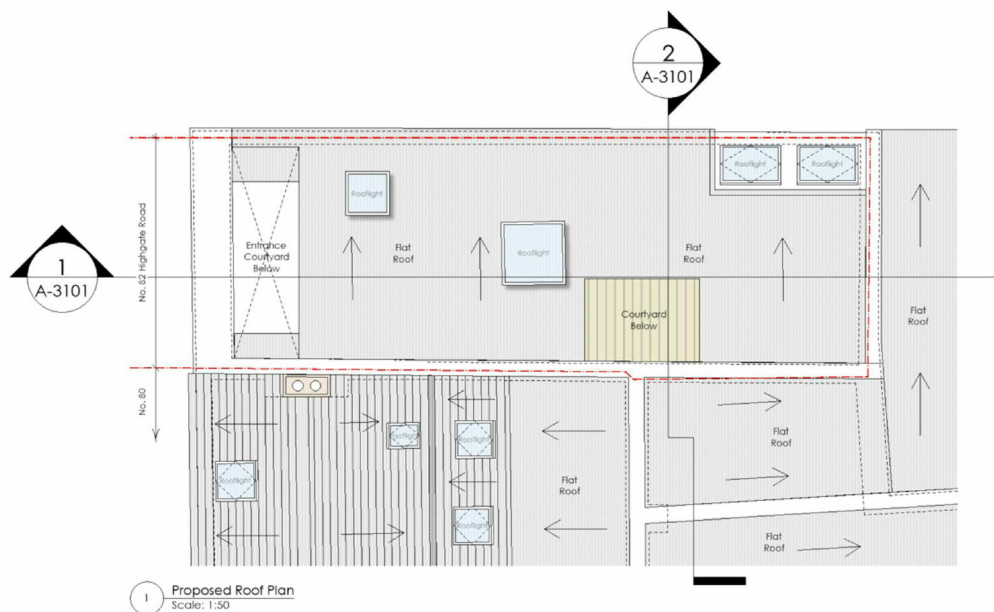


Fig 6: Proposed Roof Plan

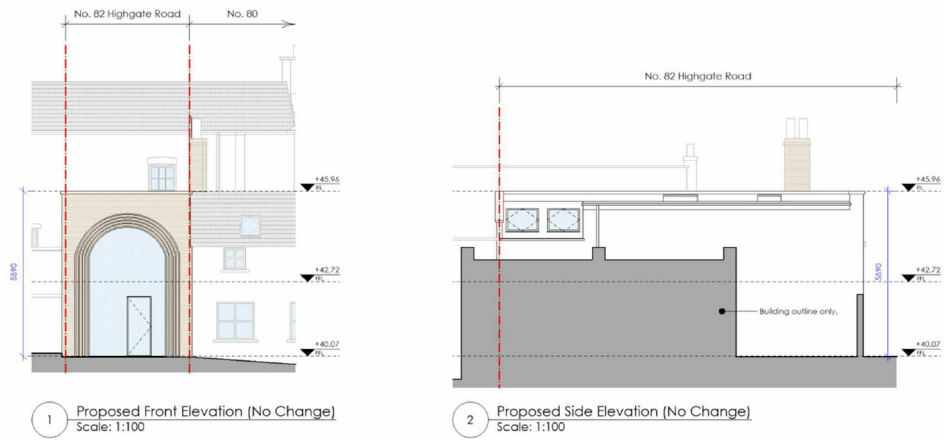


Fig 7: Proposed Elevations

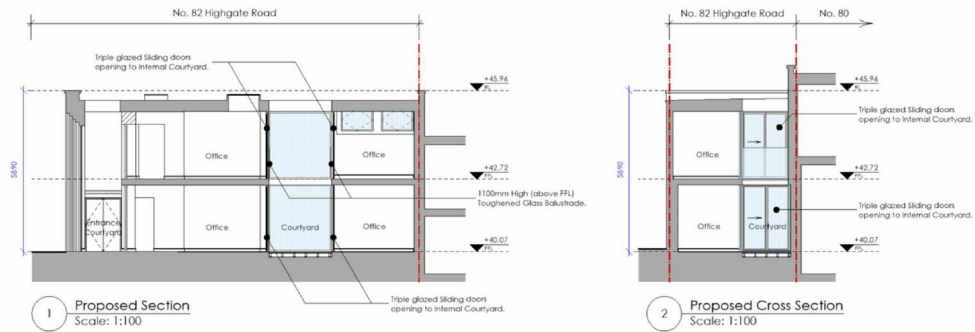


Fig 8: Proposed Sections