



# 17 Parliament Hill

## London NW3 2TA

Design and Access Statement  
Planning Application  
February 2022  
Rev A

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## 1. Introduction

This Design & Access Statement has been produced to accompany a planning application in regard to no.17 Parliament Hill. The application is made on behalf of our client who intends to occupy the property with their family upon completion of all approved works. In brief, the scope of proposed works includes the following items:

Removal and replacement of an existing rear addition; a new window to the front elevation; a new Juliet balcony to the rear elevation; minor modifications to existing side windows, velux and door; addition of a new rear garden outbuilding; new rooflights to the existing main flat roof; repairs and re-slating to the existing main pitched roof; minor alterations to the front garden steps, walls and surfacing; adapting and rationalising of external service pipes.

The works to the rear of the property will preserve the character and appearance of the parent building, the street scene and the wider Conservation Area. The works to the front and side of the property will enhance the character and appearance of the parent building, the street scene and by association, the wider Conservation Area. The works will not result in detriment to the amenity of neighbouring properties.



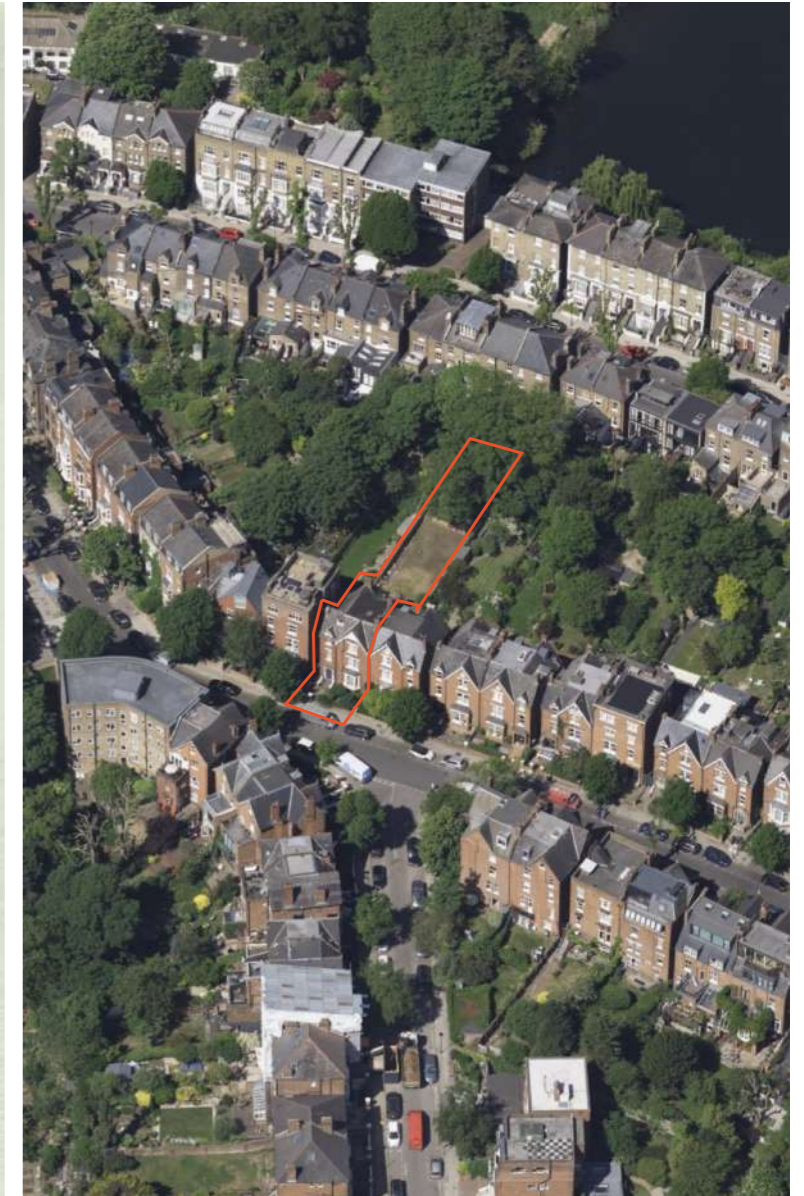
## 2.0 APPLICATION SITE

### 2.1 The South Hill Park Conservation Area

The application building is a semi-detached dwelling located on the west side of Parliament Hill arranged over three storeys plus roof, set in a plot with a long rear garden & small front garden.

The property is located close to Hampstead Heath and sits within the South Hill Park Estate Conservation Area, designated in 1988. The building is not listed, nor are any neighbouring properties.

The Conservation Area is divided into two distinct sub areas, historically laid out by different developers a decade apart in the late 19th century. The site falls within sub-area two, which covers Parliament Hill, Tanza Road & Nassington Road.



1. South Hill Park Conservation Area
2. 17 Parliament Hill within the South Hill Park Conservation Area



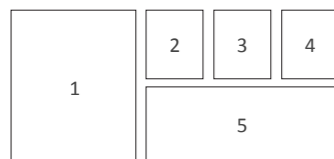
## 2.0 APPLICATION SITE

### 2.2 Character of Parliament Hill

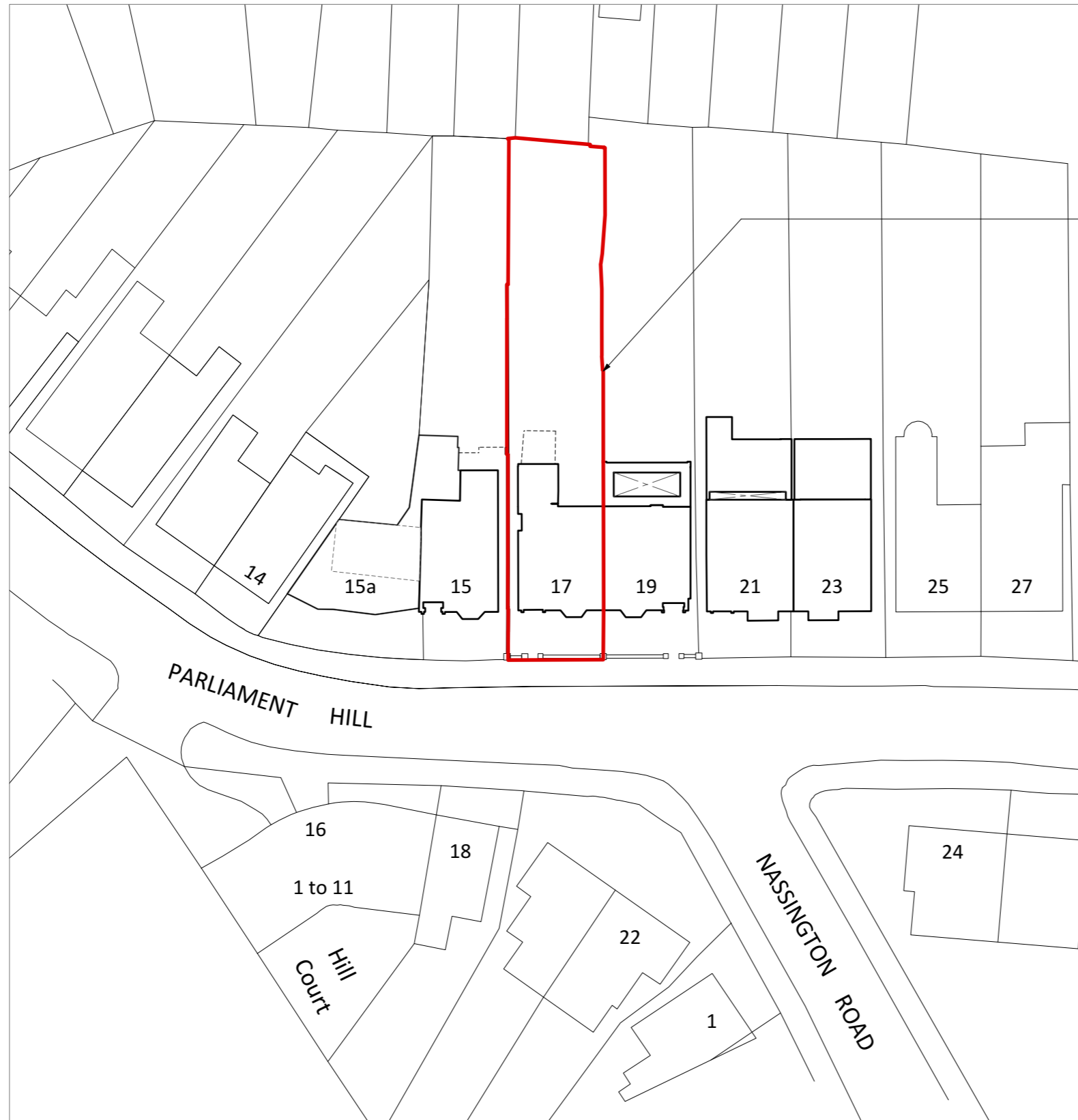
This sub-area is generally characterised by substantial semi-detached houses, overwhelmingly in the Victorian Gothic Revival style, many of which are adorned by decorative window, porch and roof features with entrance steps and complementary garden walls. The unique relationship of the dwellings to Parliament Hill and the Heath is a principle feature of the Conservation Area.

The South Hill Park Conservation Area Statement more specifically describes the character of Parliament Hill as ‘...characterised by red brick semi-detached villas, with prominent front gables, grey slated steeply pitched roofs and stucco surrounds to doors and windows.’

Within the South Hill Park Conservation Area Statement, an audit of buildings notes that on Parliament Hill, nos. 15-77 (odd) make a positive contribution to the character and appearance of the Conservation Area. The application site falls within this group of buildings.

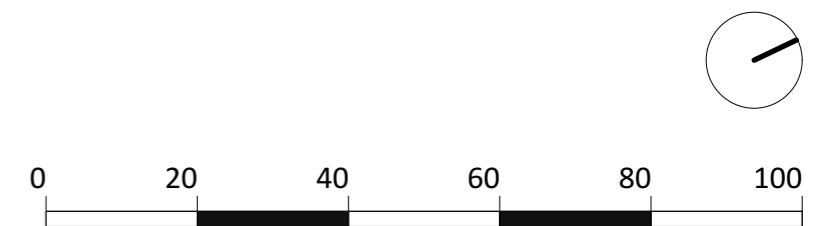


1. 17 Parliament Hill
2. 77 Parliament Hill
3. Front door typical to the South Hill Park Conservation Area
4. Gable detail typical to the Conservation Area
5. 73 Parliament Hill



site outline shown in red

1 Location Plan  
Scale: 1:500



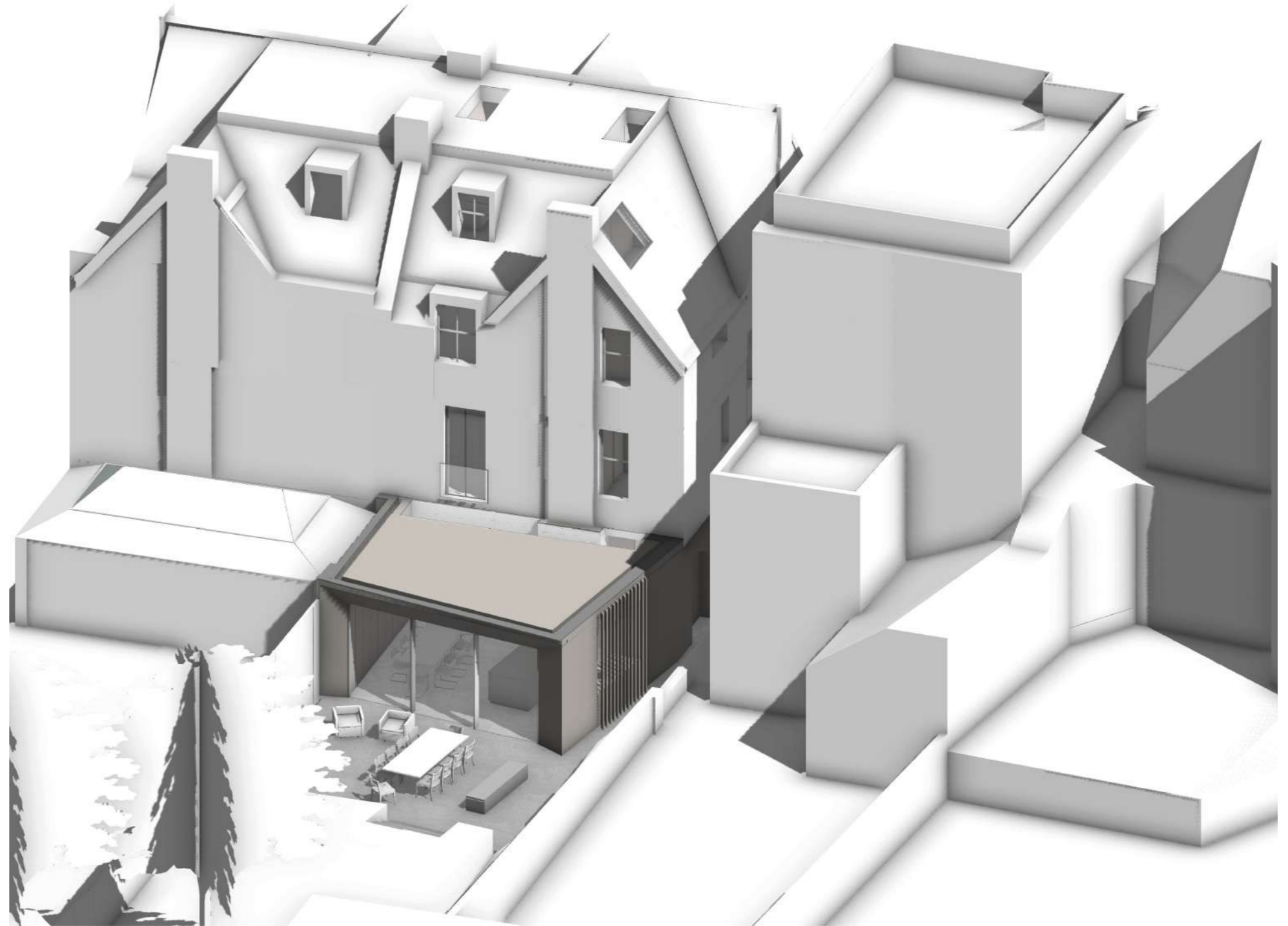


### 3.0 PROPOSED NEW WORKS

#### 3.1 Scope of Works

This application primarily seeks consent for the removal of the existing single storey rear additions and their replacement with a new single storey rear extension, full width to the existing building.

In addition, there are minor modifications proposed to the side elevation windows and door, the provision of a new window to the front elevation at roof level, provision of rooflights to the main existing flat roof, provision of a new outbuilding to the rear garden, together with minor alterations/remedials to the front garden walls. The adjacent 3D render indicates the proposed extension in its context. It is intended to repair & re-slate the existing roof which is in a poor state and un-insulated, and to remove the UPVC windows and side cladding to the existing dormer, to be replaced with a painted timber vertical sash window and dormer lining in lead to match adjacent properties.





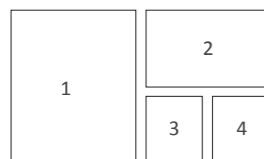
### 3.0 PROPOSED NEW WORKS

#### 3.2 Rear Extension

The removal of the existing single storey rear additions is shown on the demolition plans attached. It is proposed that they will be replaced with a single storey rear extension which extends across the full width of the rear of the parent building, but maintains the gap to the garden wall with nos.15 & 15A. In plan, the line of the proposed extension bends away from the garden wall to nos.15 & 15A, so is set further away than the position occupied by the existing rear additions.

The rear building line of the new extension sits behind the line of the existing rear extension to no.15A to the left and behind the line of the existing extensions to nos. 21 & 23 to the right, as seen on the block plan drawing. Where the right side is set directly adjacent to no.19, it will extend 1m beyond the rear line of the existing extension to no.19.

The proposed extension footprint is thus appropriately scaled within the context of rear extensions in this part of Parliament Hill. In terms of plan form, it is also subordinate to the parent building as recommended by policy. Overall, the proposed extension projects approx. 0.5m less from the main building rear elevation than the existing rear additions currently on site.



1. Existing Rear Facade of 17no. Parliament Hill (North Facing Garden)
2. Proposed view of the new extension from the end of the garden
3. Existing rear extension and shed to be demolished
4. Existing rear extension and shed to be demolished



### 3.0 PROPOSED NEW WORKS



#### Material Palette

- 01 Stone tile
- 02 Existing red brick
- 03 Terracotta cementitious panelling
- 04 PPC sliding door frame





### 3.0 PROPOSED NEW WORKS

#### 3.3. Front Elevation

To the front of the property, it is proposed to remove the non-original overboarding to the top part of the front gable and to restore the original bargeboard detailing with a timber finial to match no.19. It is also proposed to add a painted timber framed sash window to the 3rd floor front to the same detail, proportions and position as no.19. This will ensure that the semi-detached pair of houses read similarly within the Conservation Area, as originally intended.

It is proposed to remove the non-original soil stack to the front of the house and repair the existing brickwork where historically disturbed. Various details such as the cill to the 2nd floor front window, brick detailing over the 1st floor window and voussoirs over the front entrance door, will also be carefully repaired & restored where damaged. All windows will be retained, refurbished throughout and draught-proofed using a Ventrolla type system.

The front entrance door and sidelights will be retained and the stained glass refurbished/ restored where currently bent/damaged. The galvanised metal handrail to the front entrance steps will be removed, the front steps restored to 3no. even risers, and re-finished in Yorkstone.

The front path has previously been artificially raised to form a ramp in concrete. This will be locally removed & levels reset along the side of the house, to restore the original levels to the front steps. The finish will be replaced with Yorkstone paving laid in a random coursed pattern as seen in a number of properties along the street.

The planting to the front garden will be re-landscaped, together with provision of a space for bins, which entails the removal of the dwarf inner garden wall to the right as one enters the property. To the front, the garden boundary wall will be repaired in red brick to match where it has been either damaged by historic render, is in poor condition, or has failing pointing. New hedging will be provided directly behind the front boundary wall and all copings repaired & refinished.



1. Existing Front Facade of 17no. Parliament Hill
2. Front Door and Entrance Steps
3. Existing Front Facade of 17no. Parliament Hill in relation to no.19
4. Existing Side Entrance and ground condition leading to the rear
5. Existing handrail and entrance step condition
6. Gable overcladding to be removed and matched to no.19
7. Existing bin storage by front wall
8. Existing entrance gate
9. Inner wall to be demolished to form discreet bin storage



### 3.0 PROPOSED NEW WORKS

#### 3.4 Works to the Side Elevation

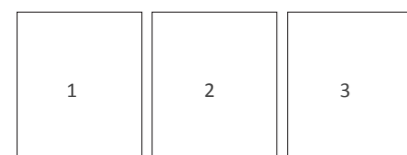
To the side of the property, it is proposed to alter one window opening at 2nd floor level, reducing it in size and replacing the existing uPVC window with a painted timber fixed light. In addition, the existing velux unit in the rear side slope is proposed to be replaced with a new velux unit in the same location, but larger in size and finished in a dark grey colour to match with the slate roof finish.

The existing external pipework will be rationalised to suit new internal services installations and to improve the external appearance, with any necessary repairs to brickwork carried out to match. All old service holes/flues etc will be removed and repaired in matching brick.

The side gate will be replaced with a new gate in a revised position set further back along the passage and the current concrete ramp will be adjusted slightly in terms of levels to suit the front garden and the new side entrance, then re-finished in Yorkstone.

The current large window opening at ground floor level will be partly infilled in red brickwork to match the existing, and then the opening will be extended further backwards to form a new side entrance door and glazed side panel. This re-arrangement should improve privacy between neighbouring properties, as the side windows to both properties currently sit directly opposite each other, offering views across the passageways to either property.

The side of the new rear extension is proposed to be finished in Viroc, which as a material has a natural patina finish and in the proposed red colour closely resembles terracotta. The finish is highly sympathetic to the immediate context, sitting comfortably against the existing red brick of the main building and employing a similar colour to the red wall tiling used successfully at no.15A. Please refer to the materials sample image within this document.



1. Existing window opening to the left to be adapted
2. Existing Rainwater Pipes to be rationalised
3. Existing Side Entrance to the existing rear extension, to be demolished



### 3.0 PROPOSED NEW WORKS

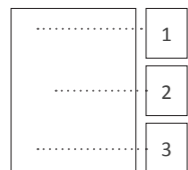
#### 3.5 Works to the Rear Elevation

To the rear of the property, it is proposed to re-clad the existing dormers in the main rear roof slope in lead to match the detailing of the same dormer in no.19 and to replace the existing upper non-original casement window with a timber sash window to match no.19. The roof is to be re-slatted in natural slate tiles to match the existing, with all ridge keyhole and finial details retained & re-fitted.

The existing external pipework will be rationalised to suit new internal services installations and to improve the external appearance, with any necessary repairs to brickwork carried out to match. All old service holes/flues etc will be removed and repaired in matching brick.

At first floor level, the left hand window is proposed to be replaced with a pair of inward opening painted timber French doors & fanlight over, with a Juliet balcony in clear glass to be fixed directly to the external brickwork within the window reveal, with no top balustrade detail.

Existing timber sash windows will be refurbished and draught proofed, all redundant flues and services will be removed and brickwork repaired to suit. At ground floor level, the windows will become internal to the new rear extension.



1. Original casement window to be removed, replaced with new timber sash window
2. Proposed position for Juliet balcony
3. Door to be removed and existing structure to become an internal opening



### 3.0 PROPOSED NEW WORKS

#### 3.6 Rear Garden

The existing brick boundary walls and timber fencing are all to remain as currently, with the exception of the minor part of the new rear extension adjacent to no.19 where it runs past by 1m. On no.15 side, opposite the new rear extension side window, it is proposed to add planting as a further visual screen, positioned along the existing boundary wall.

It is also proposed to create an outbuilding in the rear garden along the boundary wall with no.15A, directly opposite the outbuilding sited in the rear garden to no.15A. The outbuilding is to provide storage for bicycles, sports and garden equipment and is proposed to be built in blockwork on a concrete base, with timber cladding to the exterior and a flat green roof.

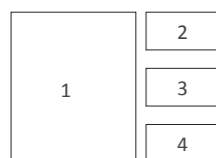
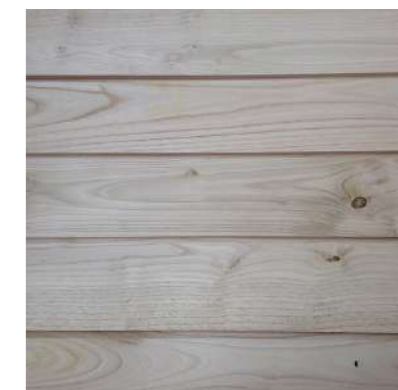
Whilst outbuildings are recommended in policy to be generally inset from boundaries, the proposed position is considered to be less visually obtrusive in the general rear garden context and through having a green roof and timber cladding will visually recede when viewed from upper levels.

The height has been kept down as much as possible to sit favourably alongside the existing wall and outbuilding to no.15A. This will require minor adjustment of garden levels externally and some local steps.

In forming the access to the shed at a level similar to the ground floor main house, there is an opportunity to add a small soakaway drain under either permeable paving or a gravelled path locally, to receive water from the new hard landscaping to the rear and assist with attenuating rainwater to the main drainage system.

It is understood that the site has limited potential for infiltration, so it is proposed to address SUDS issues by providing a soakaway with an overflow to the main drain, to serve hard landscaping at the rear. This is in addition to the attenuation provided by the new green roof to the extension, which will prove beneficial also.

New paving to the front has not been proposed as permeable, as the benefit to the Conservation Area of a new Yorkstone finish was considered greater than the need to add permeability locally to that small area. The existing condition is cast concrete to the front and side passageway. The rest of the front garden will remain soft landscaped and therefore permeable.



1. Proposed garden shed location in situ
2. Timber cladding
3. Bauder green roof systems
4. Permeable gravel paving

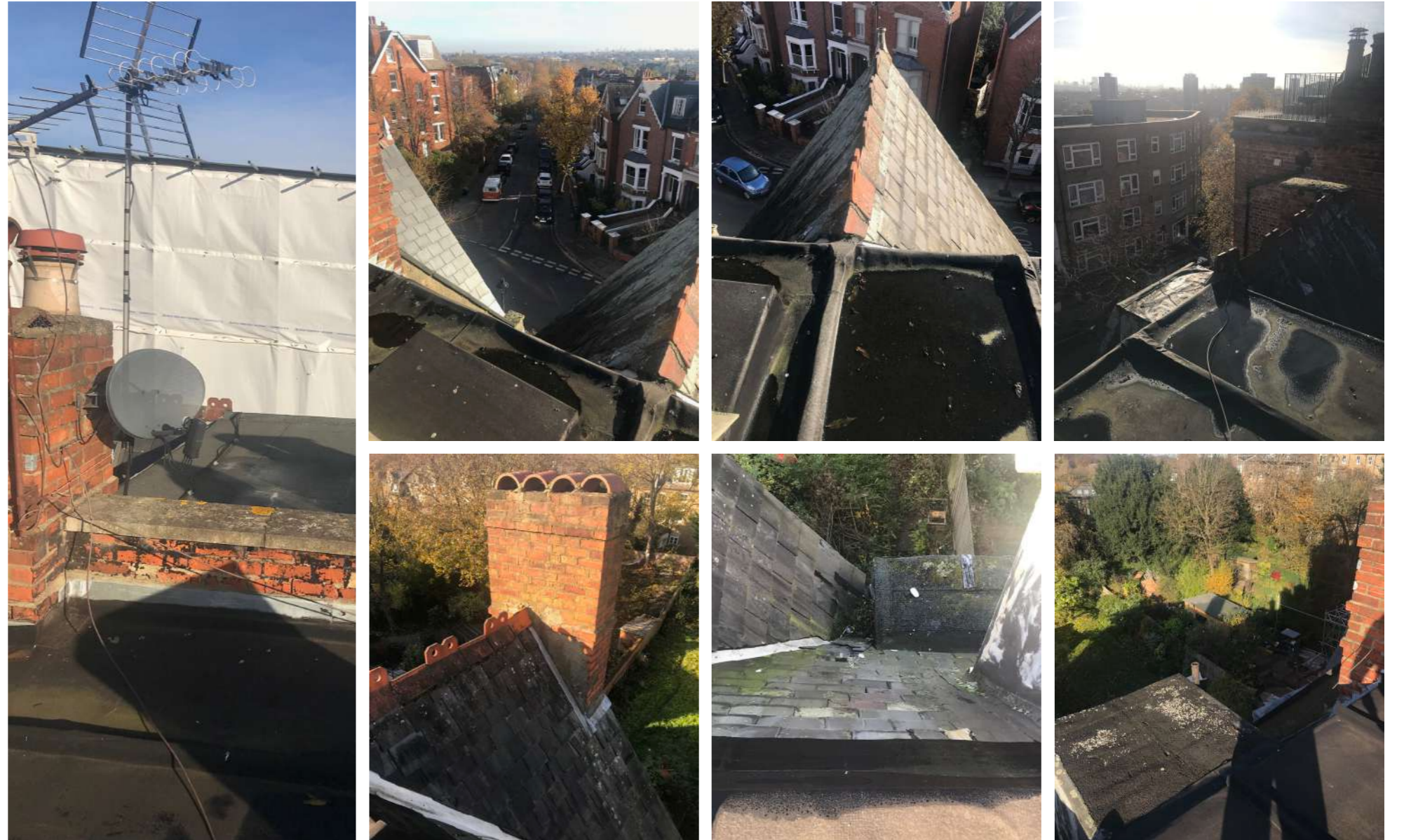


### 3.0 PROPOSED NEW WORKS

#### 3.7 Works to the Main Flat Roof

A new flat roof covering is proposed to the existing area, with 2no. new rooflights installed within it.

These provide improved daylighting to the interior, and the rooflight to the staircase will be partially openable to allow natural stack ventilation, reducing the need for mechanical cooling or ventilation. Their position will be set back from the front edge of the flat roof, ensuring they are not visible from the street.



1	2	3	4
	5	6	7

1. View over roof from no.17 to no.19
2. Front gables of no.17 and no.19
3. Main roof and front gable roof
4. Main roof and front dormer roof
5. Rear existing dormer in the main rear roof slope
6. Existing main rear roof slope
7. Existing rear dormer roof to be re-clad in lead



## 4.0 ASSESSMENT OF PROPOSAL

### Introduction

The Camden Local Plan, along with the London Plan and all adopted Supplementary Planning Documents, comprise the development plan for the borough. In addition, the Hampstead Neighbourhood Plan has been referred to in developing this application.

Due regard has also been paid to avoiding harm and the desirability of preserving or enhancing the character or appearance of the Conservation Area under s.72 of The Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

The following policies within the above documents have been specifically considered:

#### **4.1 Camden Local Plan (2017)**

A1 – Managing the impact of development  
D1 – Design  
D2 – Heritage

#### **4.2 Hampstead Neighbourhood Plan (2018)**

DH1 – Design  
DH2 – Conservation areas and listed buildings

#### **4.3 Supplementary Planning Guidance Documents**

South Hill Park Conservation Area Statement  
Amenity (2021)  
Home Improvements (2021)



## 4.0 ASSESSMENT OF PROPOSAL

### 4.1 Camden Local Plan

#### *Rear Extension*

The use of terracotta coloured natural panelling on the exterior ensures that the proposal presents materially in harmony with the parent building. The use of glazing to the rear and a slot rooflight between the extension and main rear elevation, ensures that the extension is perceived as a lightweight addition to the parent building.

The overall height of the proposed extension, which is set somewhat lower than the top of the adjoining extension to no.19, ensures that the massing is appropriate in scale with neighbouring extensions and subordinate to the parent building, retaining the vertical emphasis of the existing rear elevation and chimneystack.

The rear projection of the extension is set less far out than the existing rear additions on site currently, and as seen in the block plan is comparable with similar rear projections to existing buildings nearby. Given the existing surrounding development, the small projection past the rear of no.19 adjacent is not deemed significant.

It is not considered that the scheme would result in any detriment to the amenity of no.19 in terms of loss of light, outlook, sense of enclosure or impact upon privacy. Please refer to the proposed ground floor plan and elevation, which indicate the application of the 45 degree rule for reference in terms of daylight & sunlight.

The rear projection adjacent to the boundary with nos 15 & 15A is somewhat less in plan than the existing buildings currently on site, but is set at a higher level than the existing rear additions. Coupled with the separation distance afforded by the side passages, and the bending of the extension further away in plan from the boundary wall, the proposal is not considered to result in any significant detriment to the relationship between the application site and nos. 15 & 15A in terms of loss of light, outlook, sense of enclosure or impact upon privacy.

The proposals seek to provide a new side entrance door and glazed panel, which will be partly offset from the existing window to no.15 in the passageway and thus an improvement on the current levels of privacy, where windows sit directly opposite.

The extension also has a proposed side window facing towards nos.15 & 15A, which

will serve the new kitchen area. As can be seen from the proposed plans, half of the width of the window will be set behind the flank wall of no.15, which is a blank brick wall and will not afford any views toward the amenity space of no.15.

The remaining part of the window looks toward the rear amenity space of no.15, but remains separated by the passageways on both sides and the boundary brick wall, which is set at 1.3m high relative to the proposed internal kitchen level. The boundary wall to no.15A, which is slightly further along at the end of the window, steps up higher and is set at 1.6m high relative to the internal kitchen level.

The proposed extension bends further away from the boundary than the existing additions, improving the separation, and there is soft landscaping proposed at this juncture which will provide some additional screening above the level of the retained brick boundary wall. It is not therefore considered that the new window would result in a significant impact upon the amenity by way of loss of privacy to the occupiers of no.15 Parliament Hill, in accordance with the aims of Policy A1 of the Local Plan.

#### *Front Elevation*

To the front of the property, the removal of the non-original overboarding to the uppermost part of the front gable and restoration of the original bargeboard & finial detailing will ensure that no.17 presents the same as its paired elevation at no.19. The addition of a painted timber framed sash window to the 3rd floor front to the same detail, proportions and position as no.19 will further ensure that the semi-detached pair of houses read similarly as originally intended.

These small alterations seek to enhance the character and appearance of the parent building and its pairing with its immediate neighbour, and enhance the street scene and wider Conservation Area through reinstatement of original and matching features.

Removing non-original soil stacks, carefully repairing various details to existing cills and brickwork detailing/voussoirs where damaged and refurbishing the existing windows throughout will all benefit the street scene and wider Conservation Area, as will the repair of the existing front entrance door and sidelights, including restoration of the existing stained glass.

Removing the galvanised metal handrail and concrete ramp to the front entrance, restoring the original levels to provide even steps, and re-finishing the entrance area and passageway in random coursed Yorkstone paving will all benefit the street scene and wider Conservation Area.

Restoring the existing front wall, re-landscaping the planting to the front garden and removing the inner dwarf wall to provide a bin store area tucked away behind new hedging, will neatly screen the bins from street view and as a whole will improve the character and appearance of the parent building, the street scene and the wider Conservation Area.

The provision of new hedging behind the front boundary wall is an addition which the Conservation Area Statement identifies as being a particular feature of the locality that have been lost over the years. Reinstating this and the soft landscaping of the front garden behind will enhance the character and appearance of the street scene and wider Conservation Area.

In general therefore, the works to the front elevation in particular can be seen to enhance the character and appearance of the Conservation Area, in accordance with the aims of Policies D1 & D2 of the Local Plan.

#### *Side Elevation*

Replacing an existing uPVC window at 2nd floor level with a smaller painted timber fixed light is a positive minor alteration. Replacing the existing velux unit in the rear side slope with a new larger velux unit in the same location, is considered neutral in terms of any effect on the building, street scene or Conservation Area. Its position is such that any view from the street is negligible.

Removing & rationalising existing external services, minor repairs to brickwork and refinishing the side ramp in Yorkstone are positive minor alterations. The new side entrance and extension have been discussed earlier in the rear extension section. Taken overall therefore, it is considered that the proposals to the side elevation of the parent building will enhance the building, street scene and the wider Conservation Area as viewed from the street.



## 4.0 ASSESSMENT OF PROPOSAL

### *Rear Elevation*

Re-cladding the existing dormers in lead (currently covered in white uPVC sheeting) and replacing casement windows with traditional painted timber vertical sashes will match the detailing of the dormers to no.19. Re-slating the roof in natural slate and retaining all original ridge keyhole and finial details will improve the roof appearance. Rationalising existing pipework/services and minor brick repairs are also a positive minor alterations. Taken together, the above works will enhance the building and the rear views of it within the Conservation Area.

The new first floor level French doors with juliet balcony in clear glass will be a discreet addition to the rear elevation, with the glass inset within the brickwork reveals. Retaining the original window width ensures minimal impact on the vertical composition of the rear elevation. The juliet balcony follows guidance in the Amenity CPG document to ensure that the extent of any overlooking will remain as per the existing window and therefore also accords with Policy A1 of the Local Plan.

### *Main Roof*

The new flat roof covering and 2no. new rooflights proposed will improve daylighting and passive insulation to the building and allow natural stack ventilation. Set back from the front edge, they will not be visible from the street and thus will have no impact on the street scene or Conservation Area.

The repair and re-slating of the main pitched roof area, also with improved passive insulation underneath, will be carried out in natural slates sized and arranged to match the existing. All existing ridge keyhole and finial details will be reinstated. Given the existing poor condition of the roofing finishes, this will enhance the building, street scene and wider Conservation Area.

### *Rear Garden*

The creation of an outbuilding in the rear garden along the boundary wall with no.15A, directly opposite the outbuilding sited in the rear garden to no.15A, will provide storage for bicycles, sports and garden equipment. Its location and scale are such that

it is considered to have minimal visual impact and to be visually subordinate within the host garden.

Surrounded by soft landscaping and set at a height to match next door's boundary wall, its position will retain visibility over garden walls and fences. It retains suitable soft landscaping space around, and its disposition will maintain the open character and garden amenity of neighbouring gardens.

The proposal will include a green roof and a water butt for collection of rainwater as part of the landscaping scheme, and will complement the overall character of the surrounding garden. Taken as a whole, the approach to the outbuilding follows guidance in the Home Improvements SPG and thus has a minimal impact on the garden itself and adjoining garden spaces.

In summary, in accordance with the aims of the Camden Local Plan and in particular with reference to Policies A1, D1 & D2, the proposals will preserve and enhance the character and appearance of the parent building, the street scene and wider conservation area. They respect the character and appearance of the original building with regard to design, location and choice of materials, and they do not affect the amenities of surrounding properties.





## 4.0 ASSESSMENT OF PROPOSAL

### 4.2 Hampstead Neighbourhood Plan

The proposal site lies within Character Area 3 of the Hampstead Neighbourhood Plan, which is described as 19th Century Expansion. Policies DH1 Design and DH2 Conservation Areas & Listed Buildings are relevant to this application.

Policy DH1 requires development to show how they respect and enhance the character and local context of the relevant character area through sympathetically and positively responding to the existing proportion, height, scale, massing, materials and storey heights of surrounding buildings. It also requires the amenity and privacy of neighbouring properties to be protected.

The description of the proposals above has previously covered these areas in detail, and confirms that the development would respect and enhance the character of the area and would thus be in accordance with the aims and objectives of Policy DH1.

Policy DH2 requires development to take advantage of opportunities to enhance Conservation Areas by protecting and, where appropriate, restoring original architectural features including walls, windows, doors, etc., that would make a positive contribution to the Conservation Area. It also requires proposals to seek to protect and/or enhance buildings (or other elements) which make a positive contribution to the Conservation Area, as identified in the relevant Conservation Area Appraisals and Management Strategies.

The description of the proposals above has previously covered these areas in detail, and confirms that the development does take advantage of opportunities to enhance the Conservation Area and protect/restore original features. In addition, as no.17 Parliament Hill is identified as part of a group of buildings which make a positive contribution to the South Hill Park Conservation Area, the specific proposals to protect and enhance this building, as previously outlined, would thus be in accordance with the aims and objectives of Policy DH2.

In summary therefore, the proposals accord with the aims of the Hampstead Neighbourhood Plan, with particular regard to Policies DH1 & DH2, as noted above.



## 4.0 ASSESSMENT OF PROPOSAL

### 4.3 Supplementary Planning Guidance Documents

#### South Hill park Conservation Area Statement

The South Hill Park Conservation Area Statement is slightly more prescriptive about development within the designated heritage asset and assesses development against a number of guidelines, including specific guidance relating to extensions and alterations.

*Policy SHP1* states that new development should be seen as an opportunity to enhance the Conservation Area and that all new development should respect existing features. As outlined above, the various minor alterations to the main building collectively take the opportunity to do this to the benefit of the wider Conservation Area.

The new rear extension is modest in scale and designed to respect the existing building and immediate neighbours. The materials and contemporary design approach are considered to complement the surrounding area and given it is set at garden level only, there will be minimal views from within the Conservation Area towards the site, and no views from the public realm.

*Policy SHP8* states that choice of materials is very important and that they should closely match existing. The proposed works to the main building do this throughout, following all existing materials and detailing. The new rear extension uses a material palette which very closely aligns with the main red brick finish to the building, whilst clearly remaining as a lightweight contemporary addition.

*Policy SHP17* encourages the retention or reinstatement of architecturally interesting features, which the works to the front elevation already noted will support.

*Policy SHP18* notes that rear extensions should be as unobtrusive as possible, not adversely affect the building or a group of buildings by insensitive design, scale or inappropriate materials and that they should usually not be more than a single storey high. The proposed rear extension follows this guidance as outlined above in detail, and is single storey in height.

*Policy SHP19* states that extensions should be in harmony with the original form and character of the house and historic pattern of extensions within the terrace or group of buildings. The historic pattern of local rear extensions has been discussed above and

the proposal to add a rear extension full width to the existing building is in line with this. The local rear extensions approved or built to date are of varying modern styles, and most are materially carefully linked to the parent building. The proposed rear extension follows this established approach.

*Policies SHP22-25* collectively relate to tree protection and landscaping. One tree exists within the application site and is located within 10m of the footprint of the proposed outbuilding, this is marked on the drawings. It is not proposed to carry out any works to this tree.

Care will be taken to ensure that the outbuilding construction does not impact upon any existing tree roots through the use of careful prior investigation and excavation to confirm their presence or otherwise. If present, to avoid any unacceptable cutting of roots the use of intermittent supports such as Abbey Pynford minpiles or similar will be employed as necessary.

*Policy SHP26* requires original front garden boundaries to be generally retained and the green character of the Conservation Area preserved. The proposals respect this and through the addition of new hedging behind the repaired existing boundary wall will enhance the Conservation Area.

In summary therefore, the proposals accord with the aims of the South Hill Park Conservation Area Statement as noted above.

#### Amenity (2021)

Amenity issues have been discussed in detail earlier under the Camden Local Plan, referring to Policy A1. It is worth re-iterating however that it is considered there should be no loss of outlook arising from the proposals; that the scheme avoids issues for adjacent neighbours in regard to sunlight or daylight; and that the proposed first floor Juliet balcony will provide the same condition in terms of overlooking as the existing window.

The side window to the kitchen is set down in level such that the higher part of the boundary wall opposite is varyingly at 1.3m and 1.6m above floor level. This combined with the setback of the extension in plan and a soft planting proposal adjacent to

the boundary wall, should provide adequate privacy and avoid issues of overlooking toward no.15, or further toward no.15A's garden.

The applicant has proposed a green roof to the extension and would be happy for any consent granted to contain a restriction on any possible future use of this space as usable or terrace area, in order to protect the amenity of immediate neighbours.

In summary, it is therefore considered that the proposals accord with the aims of the Amenity CPG as noted above.

#### Home Improvements (2021)

This policy guidance covers extensions, materials, alterations inside and outside, and gardens. It refers in all areas to four key principles of Home, Sustainability, Neighbours and Community.

Section 1.0 Materials is of general relevance to the application and the materials proposed are contextual, relate well to the existing building and Conservation Area, are resilient and recyclable, all of which is in line with policy requirements.

Section 2.1.1 Rear Extensions is of specific relevance to this application and the proposals comply with the general aims of this section, which in many areas are reflected in other earlier policy noted above. In terms of building regulations, the extension will comply with all current legislation and will be energy efficient in terms of heating, lighting and passive insulation. The proposed green roof will also have a substrate depth of over 100mm, to ensure a greater biodiversity value in line with policy recommendations.

Section 3.0 External Alterations is of relevance to the repair and remedial works proposed to the main building. The proposals follow the guidelines for replacement timber windows, brick repair and works to the existing poorly arranged external pipework. The roof is to be re-slatted in a like for like natural slate finish and all decorative ridge tiles retained as per policy, in addition the entire roof will be insulated internally as also recommended by policy, where it proves possible.

Section 4.0 Internal Alterations has been generally considered in the development of



## 4.0 ASSESSMENT OF PROPOSAL

the proposals and the opening up of the ground floor provides substantially improved living accommodation and connection to the exterior/views as a result.

Section 5.5 Outbuildings is of relevance to this application and the proposals comply with the general aims of this section which in many areas are reflected in other earlier policy noted above. The provision of a green roof and timber cladding to the exterior will complement the host property and the overall character of the surrounding garden as policy requires, and a water butt will provide collection of rainwater for garden irrigation.

Under the heading of Sustainability, the policy outlines a number of measures to be considered in any application or works to a home. It is worth noting here that the following form part of the proposed refurbishment works to this building. Whilst several do not of necessity form part of the planning application themselves, taken together these measures will significantly improve the long term sustainability of the building as a whole:

1. Natural cooling – the new rooflight to the staircase promotes stack ventilation.
2. Roof insulation – all existing roofs are to be insulated throughout and new green roofs are proposed to the rear extension and outbuilding, at a depth of medium that will also support greater biodiversity value.
3. Pipes & servicing – a new high efficiency condensing boiler, heating and HW system will provide an energy efficient system, with all internal pipework lagged.
4. Draught proofing – all existing windows and the front door will be draught proofed using the Ventrolla system or similar.
5. Lights & appliances – low energy lighting will be specified throughout along with A+ energy rated appliances.
6. Heating controls – the new system will contain zoning and timer controls for all areas.
7. Wall insulation – some areas of internal walls will be upgraded thermally, with the existing raised timber ground floor also being insulated.
8. Glazing – all new windows and rooflights will be double glazed and will exceed building regulations minimum requirements.
9. Wildlife – it is proposed to erect 2no. bird boxes within the garden and 2no. bee bricks within the outbuilding in order to promote support of wildlife and biodiversity.



## 5.0 Conclusion

As outlined in the document above, there are multiple positive benefits to the building, the street scene and the Conservation Area resulting from the proposals.

The scheme is shown to comply with relevant policies in the Camden Local Plan (A1, D1, D2) and to comply with relevant policies in the Hampstead Neighbourhood Plan (DH1, DH2).

In addition, the proposals are shown to have full regard to the relevant Supplementary Planning Guidance documents, including Amenity & Home Improvements, but in particular given the site's location, the South Hill Park Conservation Area Statement.