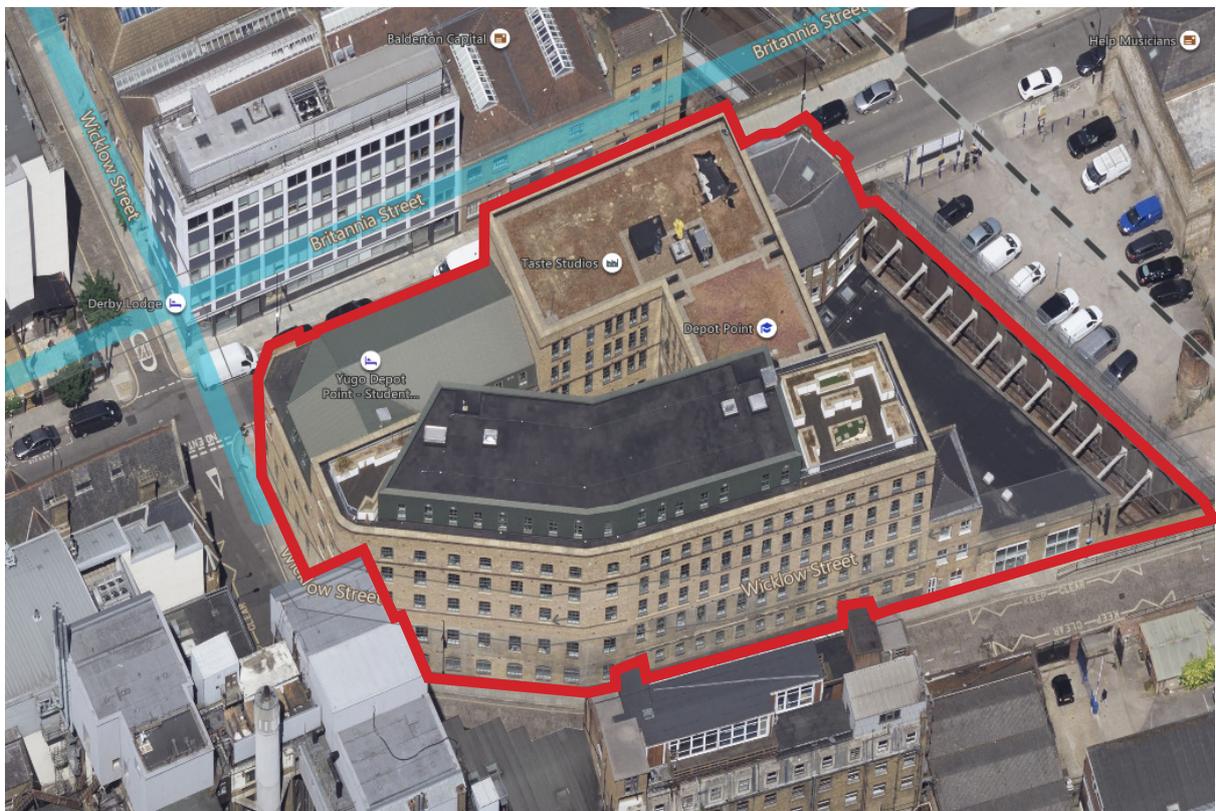


Design & Access Statement

Yugo Depot Point
15-27 Britannia St,
London
WC1X 9AH





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KEY:

 Site Area Outline

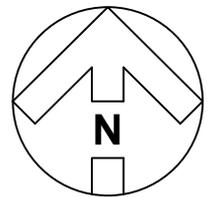


Fig. 1 Site Location - Area: 2292 sqm

1. Introduction

This Design and Access Statement has been prepared by Hadfield Cawkwell Davidson. It provides an overview of the proposed internal configuration and minor external changes for the development of an existing student residence.

Some of the minor external changes are required in the case of the proposed gym and the relocation of the bin store.

2. Application Overview

This section is to be read in conjunction with the application drawings, scheduled below

- A-01-000 Site Location Plan
- A-200-001 Existing Bin Provision Scope
- A-200-002 Proposed Bin Provision Scope
- A-70-001 Existing Bin Store Plan & Elevation
- A-70-004 Proposed Gym Store Plan & Elevation
- A-70-002 Existing Amenity Space Plan & Elevation
- A-70-005 Proposed Laundry Plan & Elevation
- A-70-003 Existing Undercroft Wall Plan & Elevation
- A-70-006 Proposed Undercroft Wall Plan & Elevation
- A-70-007 Existing Balustrade Plan & Elevation
- A-70-008 Proposed Balustrade Plan & Elevation

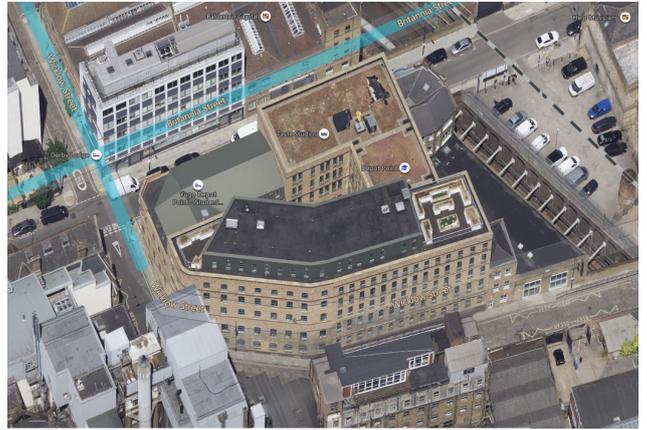


Photo 1 South Elevation



Photo 2 West Elevation



Photo 4 North Elevation



Photo 3 East Elevation

3. Site & Surrounding Context

3.1 Location

Depot Point is located within the London Borough of Camden, adjacent to both Britannia Street to the north and Wicklow Street to the south. To the east, it is bounded by a London Underground line. The building sits within 0.4 mile of St. Pancras International and King's Cross Stations, which provide both UK and European rail connections, including the London Underground network.

Beyond the railway line, there is a car park and residential apartments, forming part of the listed Peabody Housing block. To the northern side of Britannia Street there are offices, a hospice and an art gallery. At the junction between Wicklow Street and Britannia Street there is a mixed-use commercial and residential building named Pioneer House; a Grade II listed centre for Auditory Research and head offices for charities and voluntary organisations.

The site sits within the Gray's Inn Road subsection of the King's Cross Conservation area.

3.2 Access

Access to the building is from the intersection of Britannia Street and Wicklow Street, to the north-west of the building.

3.3 Existing building and site

Depot Point is a 5 storey tall student residence

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Yugo Depot Point - Design & Access Statement

with an internal courtyard. The building is primarily constructed with masonry and was built in 1900.

4. Design

4.1 Proposed Materials

HCD Architects are proposing to remove and install new glazed doors and window units which relate to the remodelling of the ground floor plan. The frame colours and materials will match the existing materials.

4.2 Outline of Changes

1 5x bins are to be relocated from the existing bin store to a new store to the end of the cycle store. 126 allocated bike spaces as per original planning application. Stacked bike storage: 86 bikes; vertical bike storage: 40 bikes.

2 The existing bin store will be repurposed into a gym. The wall between the existing bin store and service area will be demolished and a new wall with access doors will be constructed to hide the services. New glazed doors are proposed as access from the courtyard.

3 The existing amenity space will become a laundry room. A new grey aluminium door will replace an existing window to provide courtyard access.

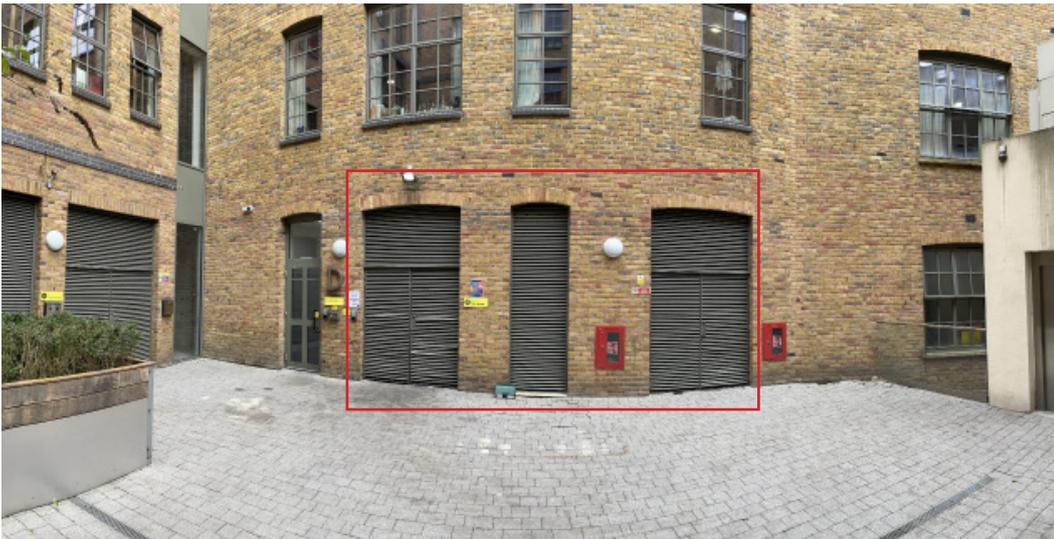
4 A new glazed door and fixed casement window are proposed for the undercroft wall. Both are to have aluminium frames.

5 New glass balustrade at 1100mm height to replace metal balustrade.

Courtyard photos



Existing Amenity Space - Window to be replaced with grey aluminium door.



Existing Bin Store - doors and window to be replaced with glazed doors and window with grey aluminium frames.



Existing door showing light grey aluminium frame

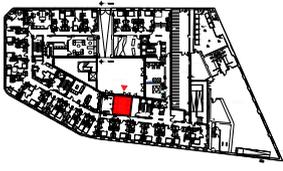


Fig. 2 Existing Bin Provision Scope

- 1** 5x bins are to be relocated from the existing bin store to a new store to the end of the cycle store. 126 allocated bike spaces as per original planning application. Stacked bike storage: 86 bikes; vertical bike storage: 40 bikes.



Fig. 3 Proposed Bin Provision Scope



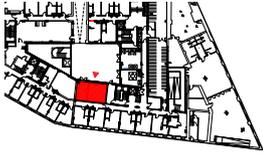
Key Plan:



Fig. 4 Existing Bin Store Elevation



Fig. 5 Existing Bin Store Plan



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Key Plan:

2 The existing bin store will be repurposed into a gym. The wall between the existing bin store and service area will be demolished and a new wall with access doors will be constructed to hide the services. New glazed doors are proposed as access from the courtyard.

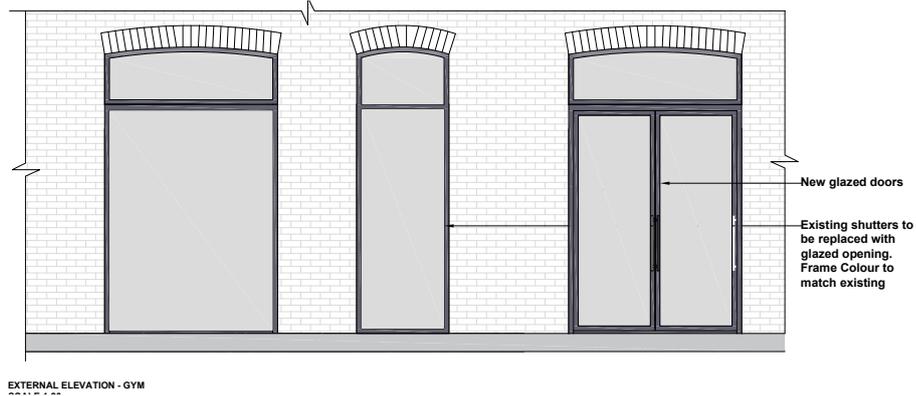


Fig. 6 Proposed Gym Elevation

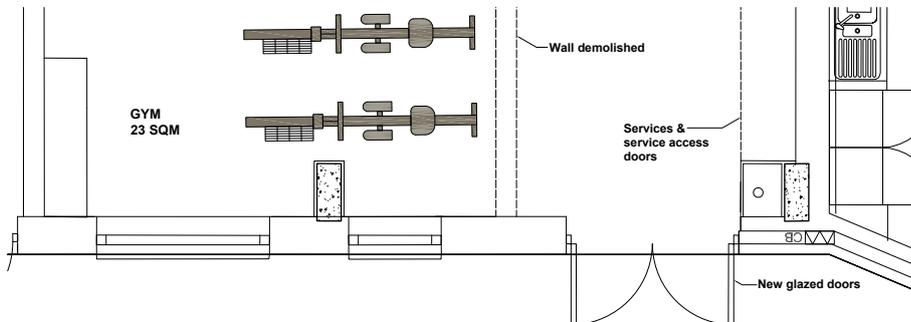
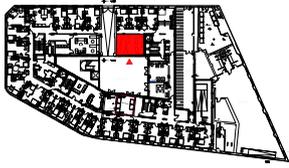


Fig. 7 Proposed Gym Plan



Key Plan:

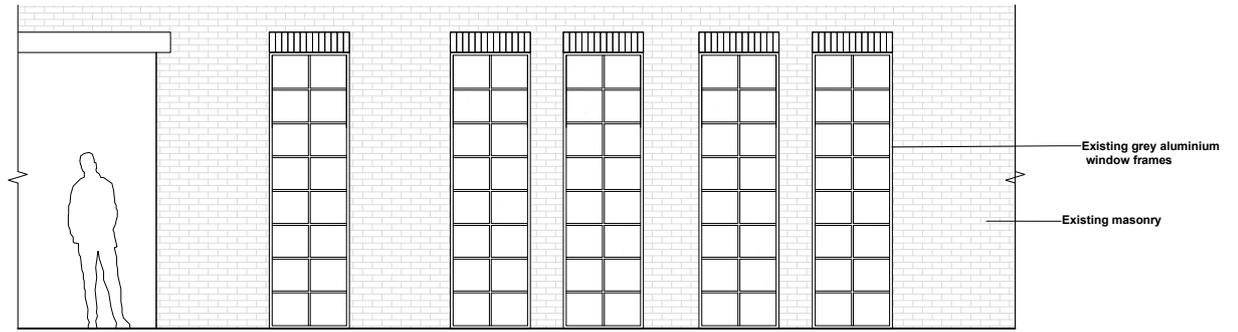


Fig. 8 Existing Amenity Space Elevation

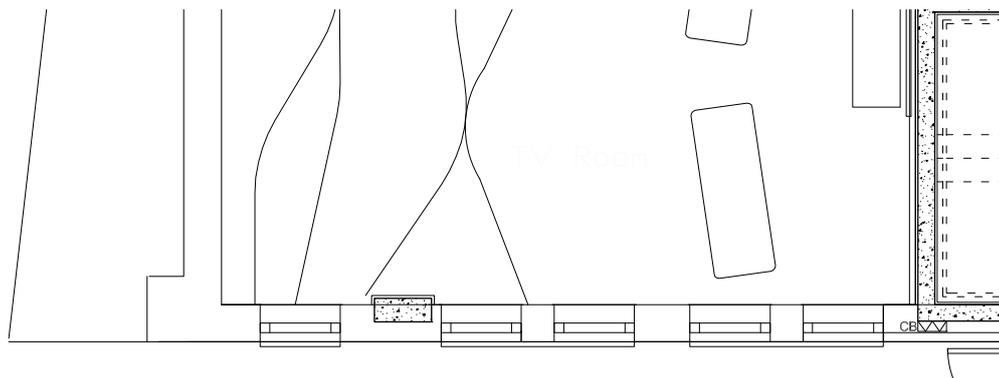
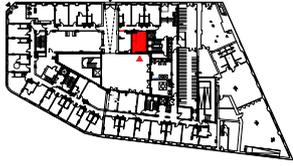


Fig. 9 Existing Amenity Space Plan



Key Plan:

- 3 The existing amenity space will become a laundry room. A new grey aluminium door will replace an existing window to provide courtyard access.

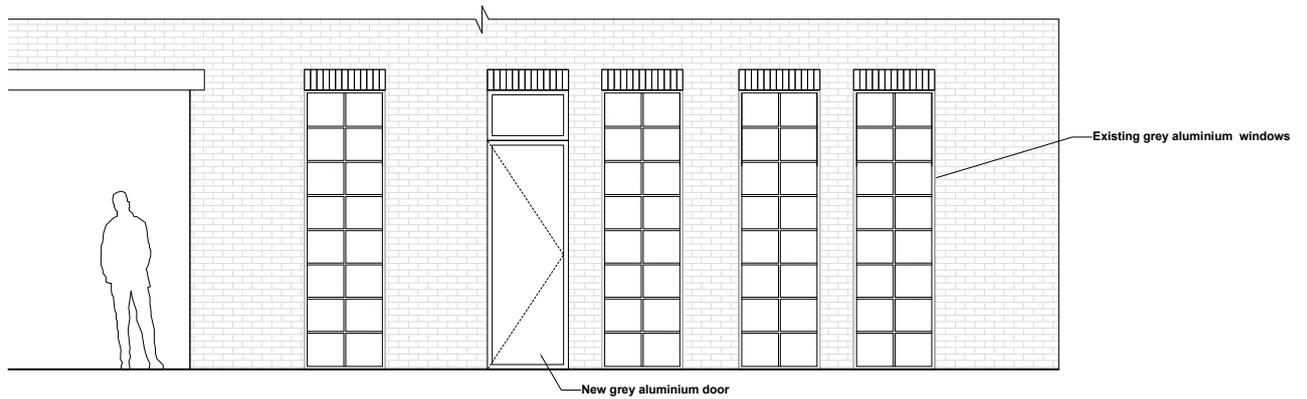


Fig. 10 Proposed Laundry Elevation

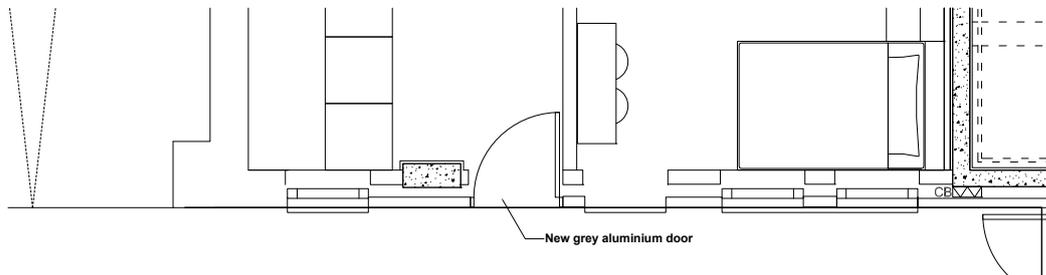
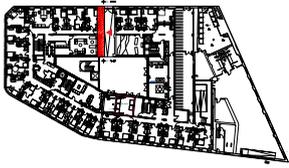


Fig. 11 Proposed Laundry Plan



Key Plan:

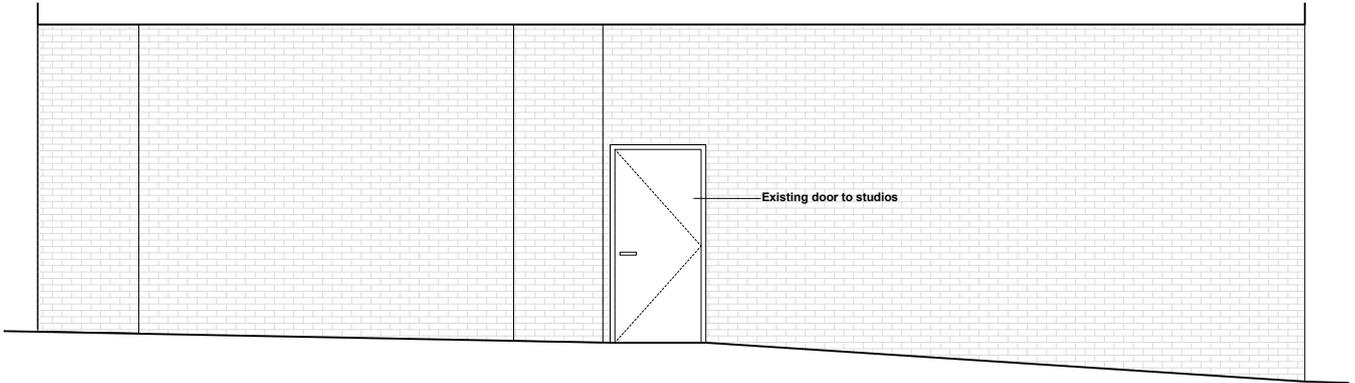


Fig. 12 Existing Undercroft Wall Elevation

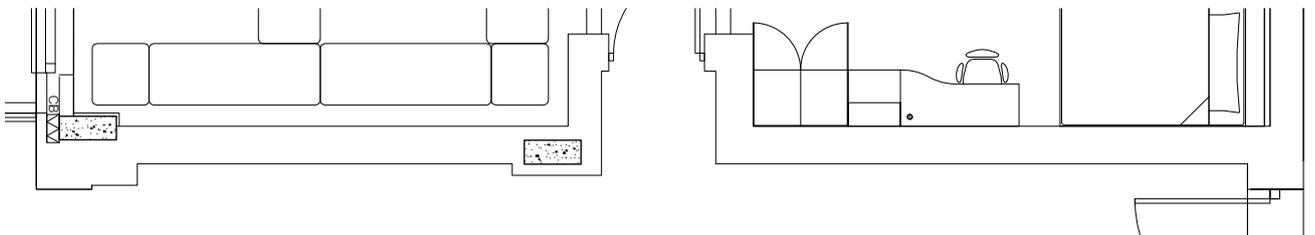
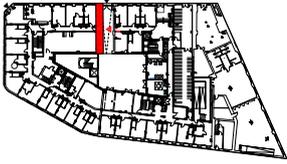


Fig. 13 Existing Undercroft Wall Plan



4 A new glazed door and fixed casement window are proposed for the undercroft wall. Both are to have aluminium frames.

Key Plan:

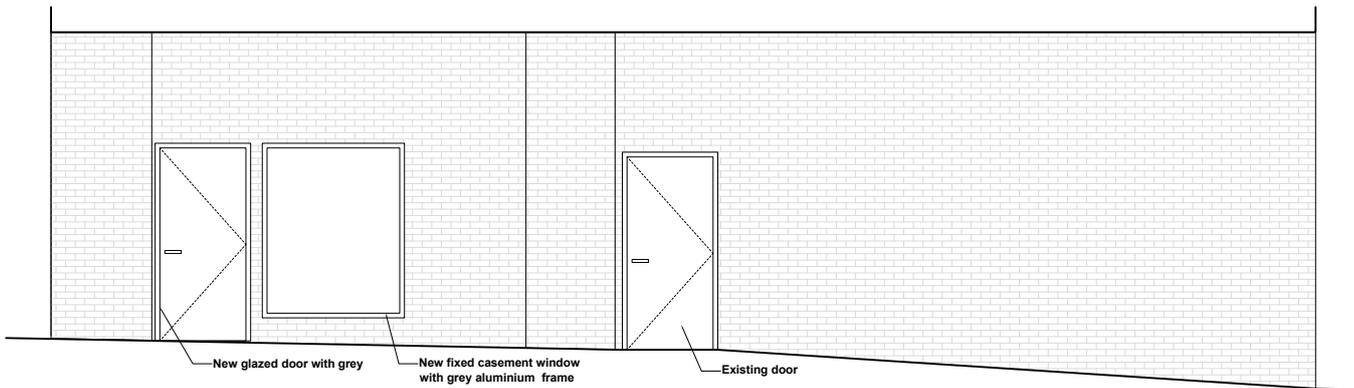


Fig. 14 Proposed Undercroft Wall Elevation

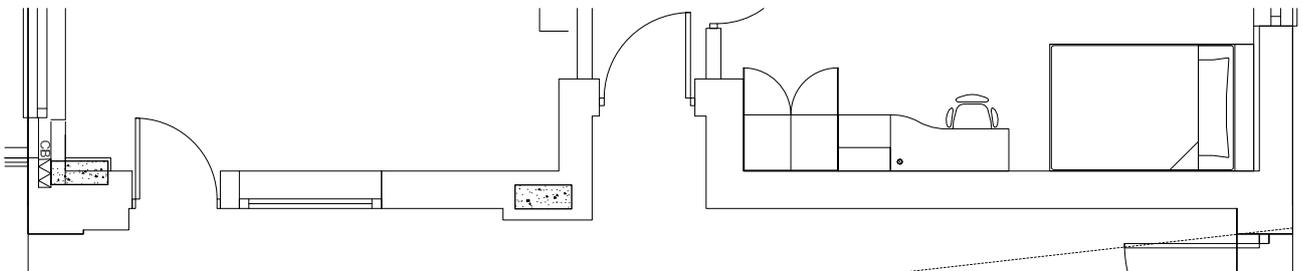
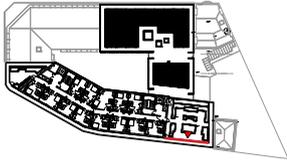


Fig. 15 Proposed Undercroft Wall Plan



Key Plan:

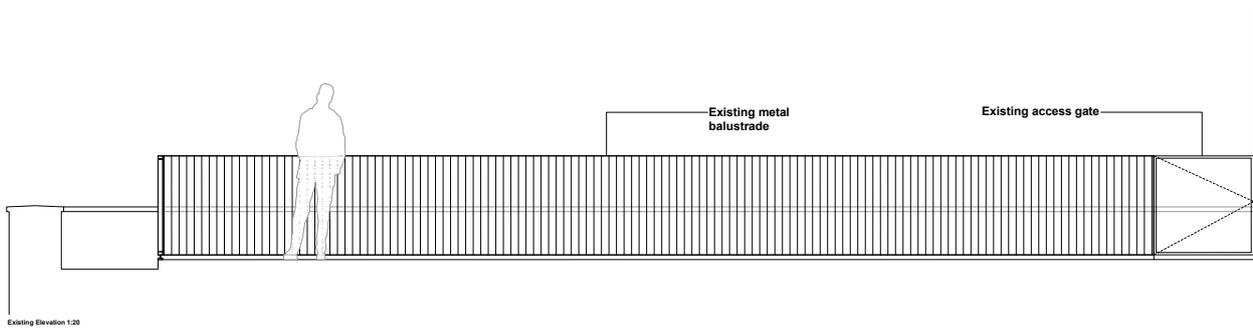


Fig. 16 Existing Balustrade Elevation

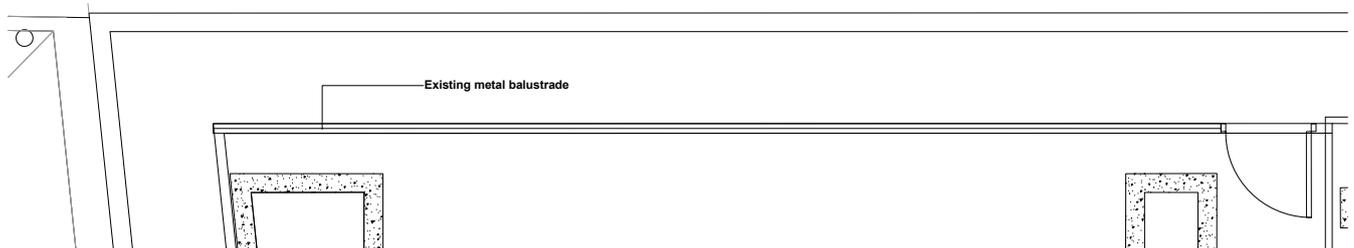
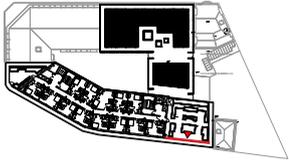


Fig. 17 Existing Balustrade Plan



Key Plan:

5 New glass balustrade at 1100mm height to replace metal balustrade.

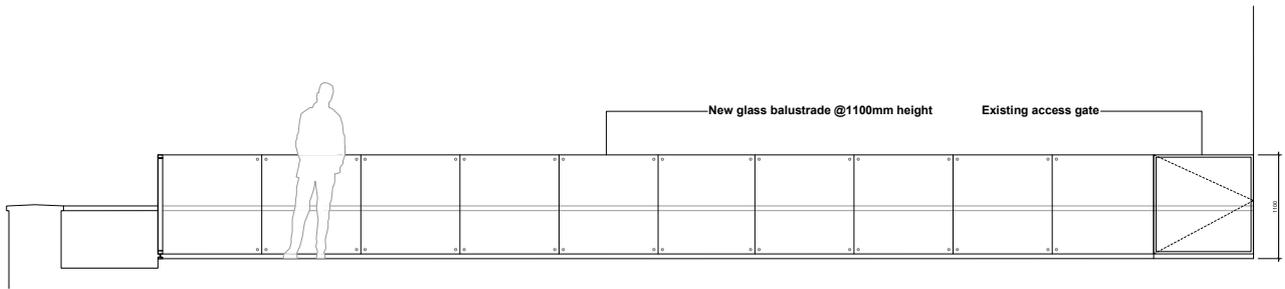


Fig. 18 Proposed Balustrade Elevation

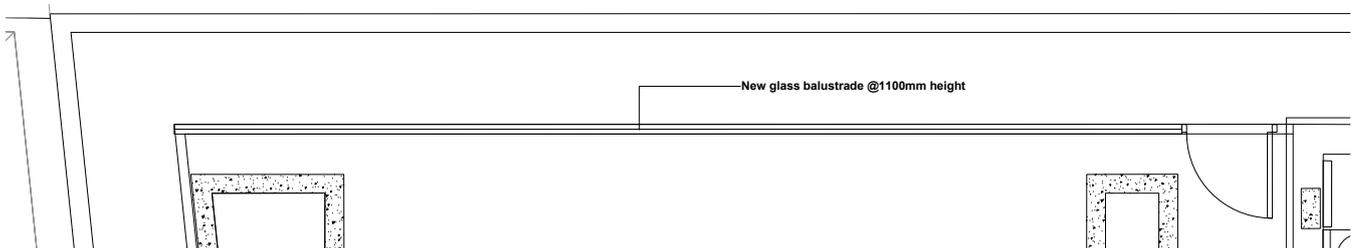


Fig. 19 Proposed Balustrade Plan

Design & Access Statement prepared by:
Hadfield Cawkwell Davidson Limited
13 Broomgrove Road
Sheffield, S10 2LZ
tel. 0114 266 8181
www.hcd.co.uk
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Hadfield Cawkwell Davidson

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