

**5 BOSCASTLE ROAD, DARTMOUTH PARK,
LONDON, NW5 1EE**

**APPLICATION FOR CERTIFICATE OF LAWFULNESS
PLANNING STATEMENT**

Prepared By

NTA+

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1.0 INTRODUCTION

- 1.1 This Planning Statement has been prepared by NTA Planning LLP on behalf of the proprietor of No. 5 Boscastle Road, Dartmouth Park, London, NW5 1EE (the **Site**).
- 1.2 This Statement supports an application for a certificate of lawfulness relating to the erection of single storey ancillary residential outbuilding comprising of a study/studio, garage, a WC and storage space equating to 31.5sqm in area. The outbuilding is proposed to be erected under Class E of Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (GPDO). The certificate seeks confirmation that the proposed works comply with the above Order.
- 1.3 The application Site is a three-storey semi-detached dwelling on the southwest side of Boscastle Road. The Site benefits from a large rear garden, approximately 25m long and 7.2m wide backing onto Grove Terrace Mews, although no access to No.5 Boscastle currently exists from the rear.
- 1.4 The Grove Terrace Mews is a private mews (approximately 4m wide) providing access to the rear of the properties along Boscastle Road and Grove Terrace.
- 1.5 The Site is not statutory listed but is located within the Dartmouth Park Conservation Area. No.5 Boscastle Road is identified as making a positive contribution to the Conservation Area which includes Nos.1-33 (odd) Boscastle Road.

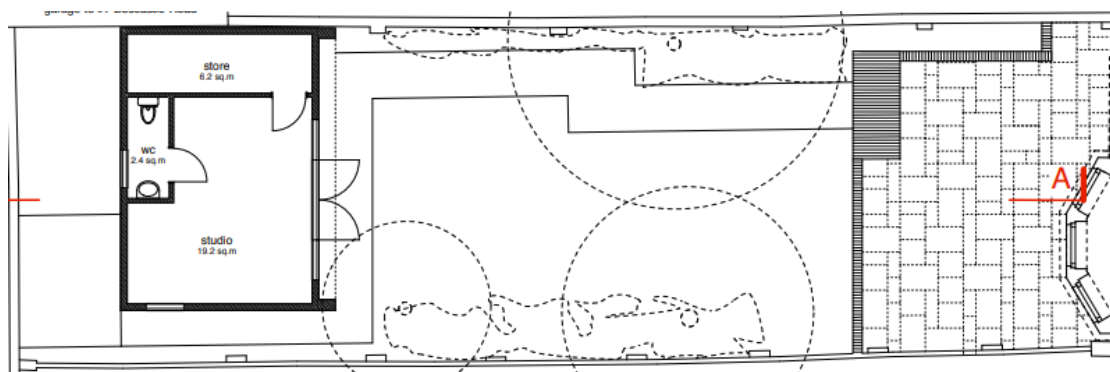


SITE LOCATION PLAN

- 1.6 This application is accompanied by the following documents drawings prepared by 4orm Architects.

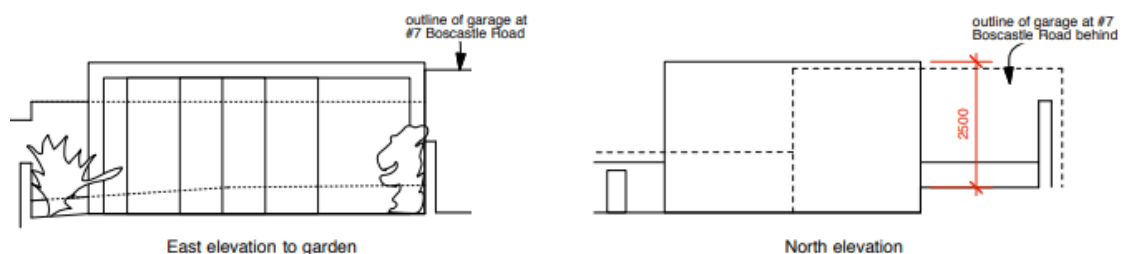
2.0 THE PROPOSED DEVELOPMENT

- 2.1 The proposed development is for the erection of single storey outbuilding comprising of ancillary residential floorspace, including a study/studio, a WC and storage space equating to 31.5sqm in area. The outbuilding is proposed to be erected under Class E of Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (GPDO).



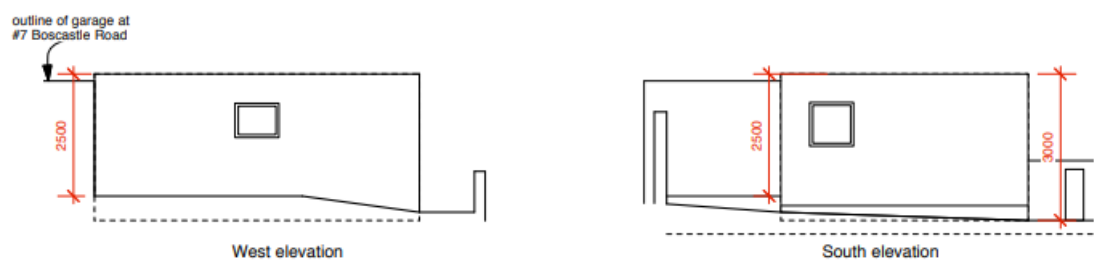
PROPOSED BLOCK PLAN

- 2.2 The east elevation of the outbuilding comprises of glazed French doors leading from the garden into the study/studio. The outbuilding benefits from natural light via one fixed window on the southern elevation as well as the French doors and an additional fixed window on the western elevation providing light into the WC.



PROPOSED EAST & NORTH ELEVATIONS

- 2.3 Materially, the outbuilding will comprise of vertical redwood cladding, aluminium for both windows and doors and a bitumen waterproof membrane for the roof.



WEST & SOUTH ELEVATIONS

3.0 PLANNING ASSESSMENT

- 3.1 The outbuilding is proposed to be erected under Class E of Part 1 of Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (GPDO).
- 3.2 Accordingly, the garden building is assessed against Class E of Part 1 of Schedule 2 of the GPDO, which permits any building for a purpose incidental to the enjoyment of the dwelling house. We assess the proposals against the conditions and limitations in the following table:

CLASS E		
The provision within the curtilage of the dwellinghouse of—		
(a) any building or enclosure, swimming or other pool required for a purpose incidental to the enjoyment of the dwellinghouse as such, or the maintenance, improvement or other alteration of such a building or enclosure; or		
(b) a container used for domestic heating purposes for the storage of oil or liquid petroleum gas		
If yes to any of the questions below the proposal is not permitted development		Yes/ No
E.1(a)	Permission to use the dwellinghouse as a dwellinghouse has been granted only by virtue of Class M, N, P or Q of Part 3 of this Schedule (changes of use)	N/A
E.1 (b)	As a result of the works, will the total area of ground covered by buildings, enclosures and containers within the curtilage of the dwellinghouse (other than the original dwellinghouse) exceed 50% of the total area of the curtilage (excluding the ground area of the original dwellinghouse)?	No, refer to drawing No. 4155-X.01
E.1 (c)	Would any part of the building, enclosure, pool or container be situated on land forward of a wall forming the principal elevation of the original dwellinghouse?	No
E.1 (d)	Would the building have more than one storey?	No
E.1 (e)	Would the height of the building, enclosure or container exceed— (i) 4 metres in the case of a building with a dual-pitched roof, (ii) 2.5 metres in the case of a building, enclosure or container within 2 metres of the boundary of the curtilage of the dwellinghouse, or (iii) 3 metres in any other case?	N/A No, refer to drawing no. 4155-P.102 N/A
E.1 (f)	Would the height of the eaves of the building exceed 2.5 metres?	No, refer to drawing no. P.102
E.1 (g)	Would the building, enclosure, pool or container be situated within the curtilage of a listed building?	No
E.1 (h)	Would it include the construction or provision of a veranda, balcony or raised platform?	No
E.1 (i)	Does it relate to a dwelling or a microwave antenna?	No
E.1 (j)	Would the capacity of the container exceed 3,500 litres?	N/A
E.2	In the case of any land within the curtilage of the dwellinghouse which is within (a) An area of outstanding natural beauty (b) The Broads (c) A National Park, or (d) A World Heritage Site Development is not permitted by Class E if the total area of ground covered by buildings, enclosures, pools and containers situated more than 20m from any wall of the dwellinghouse would exceed 10 square metres	N/A
Is the property in a conservation area? If yes to the question below then the proposal is not permitted development		

E.3	Would any part of the building, enclosure, pool or container be situated on land between a wall forming a side elevation of the dwellinghouse and the boundary of the curtilage of the dwellinghouse?	No
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- 3.3 In reference to E.1 (e) (ii) please refer to the Technical Guidance for Permitted Development rights for householders, where it states: *the height of the building should be measured from the highest ground level immediately adjacent to the building*. For complete transparency, the building height is 2.5m from the highest ground level adjacent to the building as specified in drawing no. 4155-P.102.
- 3.4 In summary, the host property is a single family dwelling house which benefits from permitted development rights afforded under the GPDO. The proposed outbuilding would be in accordance with the criteria outlined by Class E, Part 1 of Schedule 2 of the GPDO and is therefore lawful, not requiring planning permission.
- 3.5 For the reasons set out above, we consider that the works are Permitted Development, and the Certificate of Lawful Development (Proposed) should be granted.