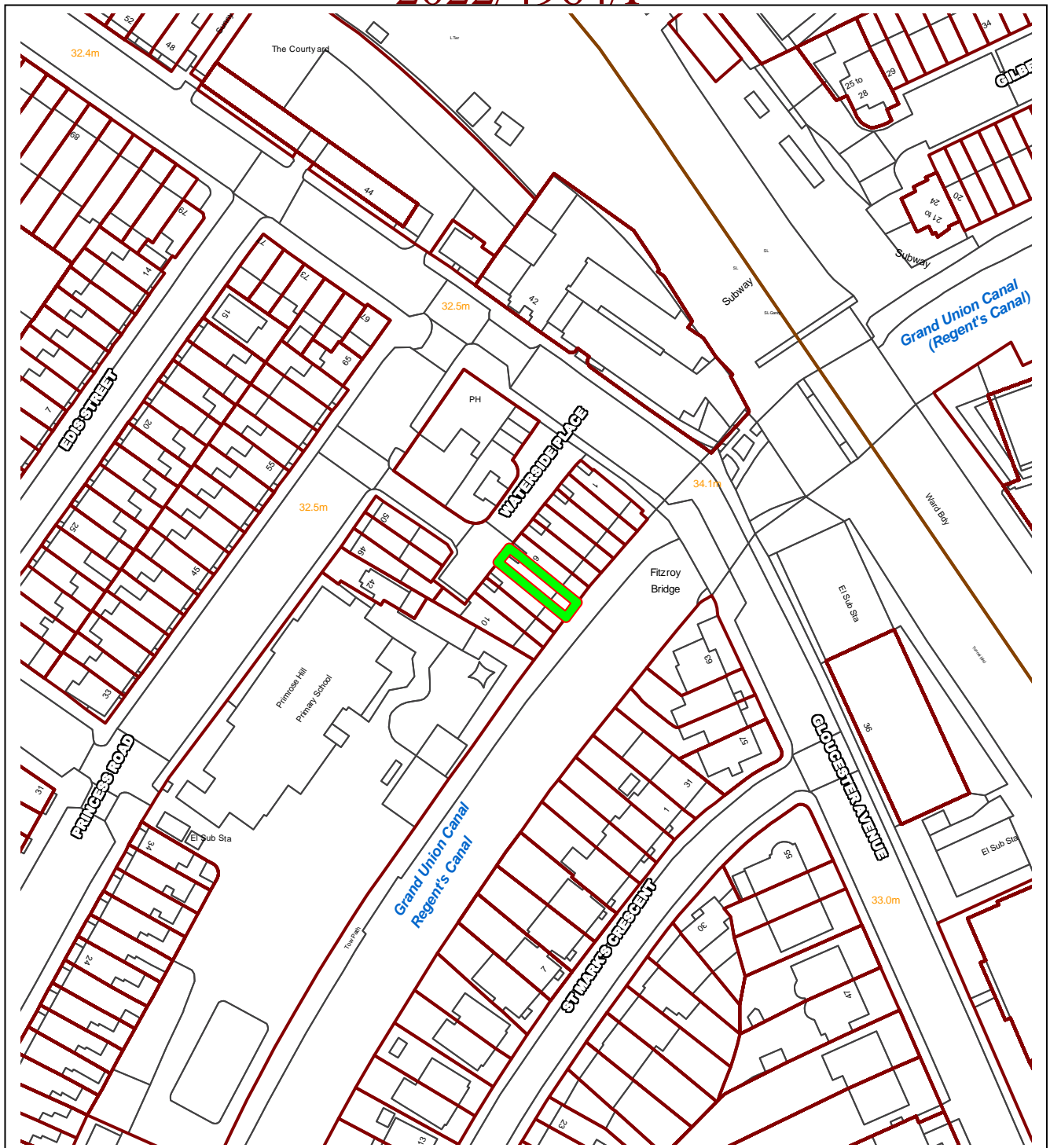


7 Waterside Place, London, NW1 8JT

2022/4964/P



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Figure 1: Rear elevation of application site highlighted in red when viewed from Gloucester Avenue Bridge.



Figure 2: Front elevation of application site when viewed from Princess Road.



Figure 3: Rear elevation of application site viewed from Gloucester Avenue Bridge.

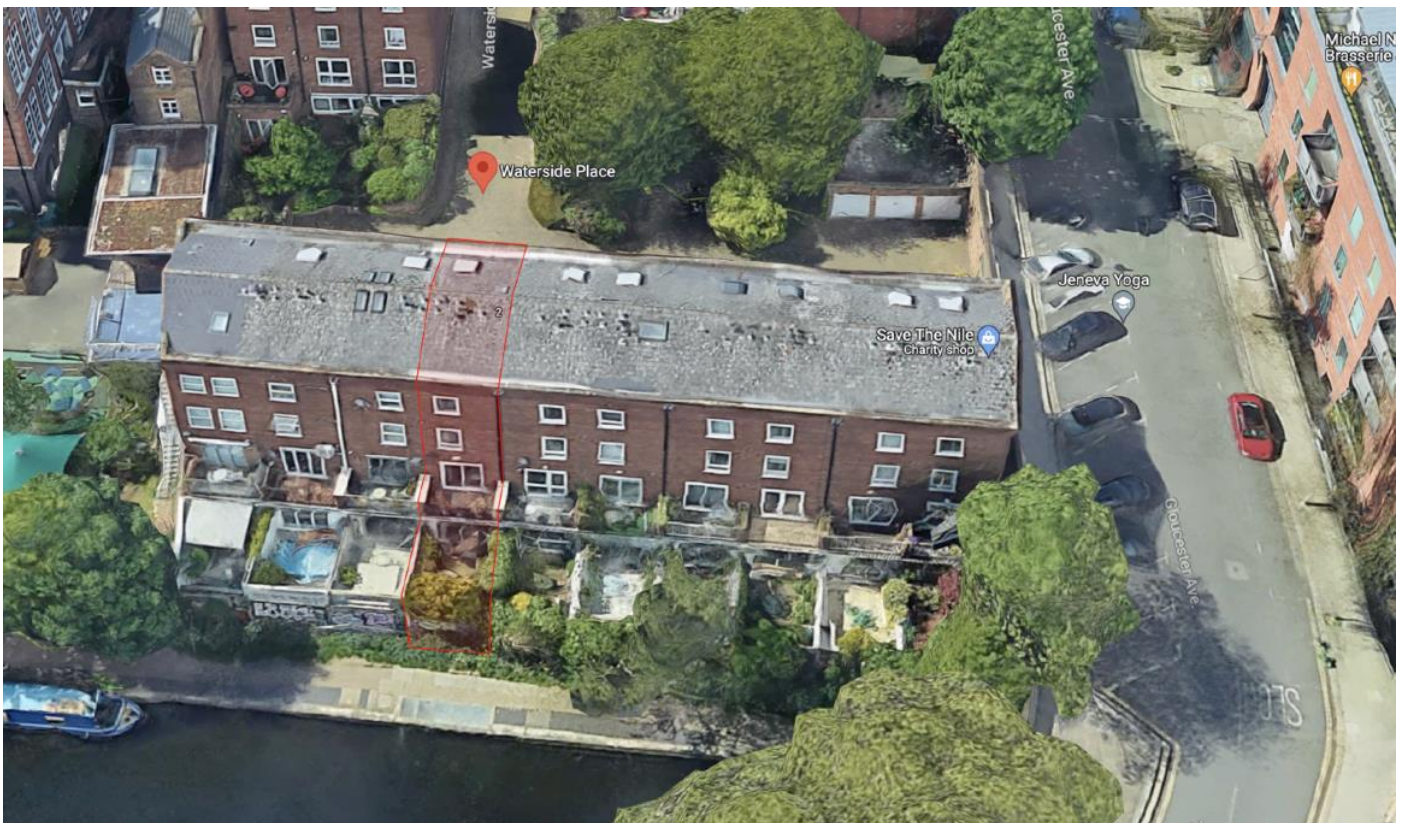


Figure 4: Aerial view showing existing development and the subject site.

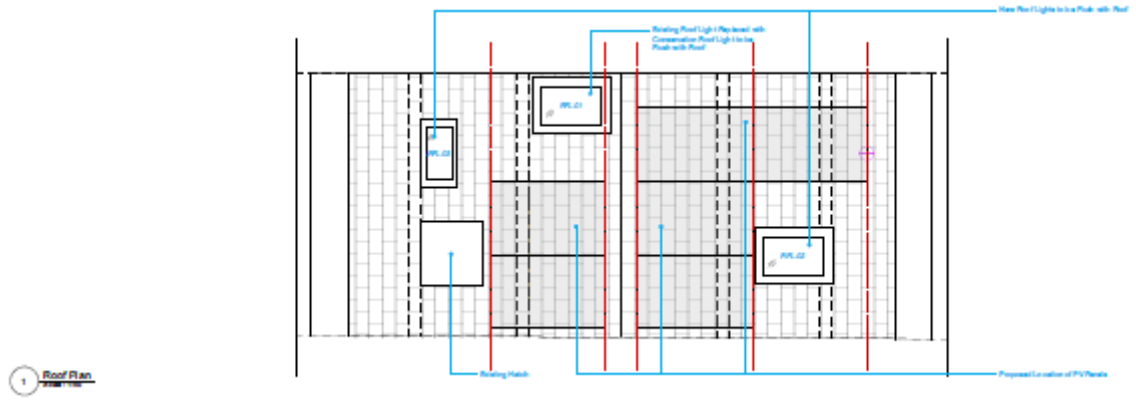


Figure 5: Proposed Roof Plan.

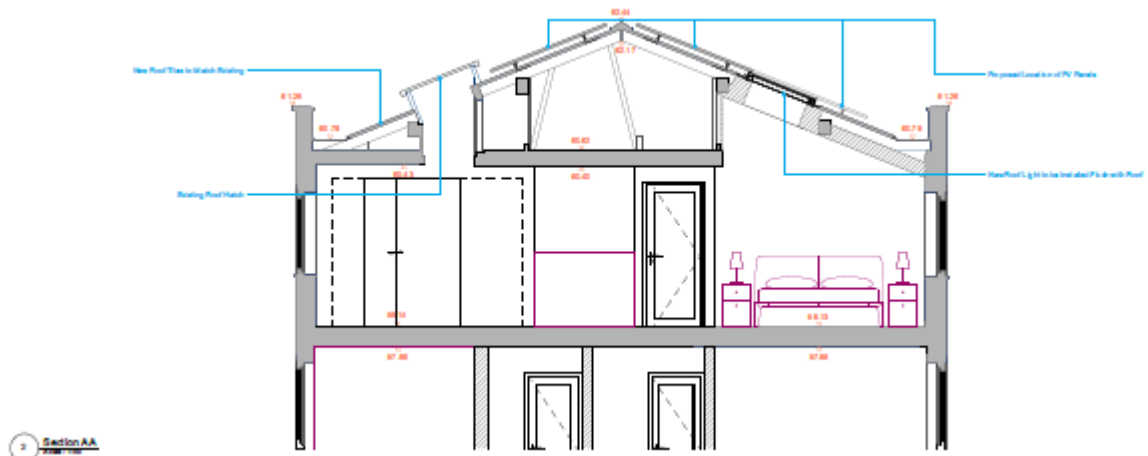


Figure 6: Proposed Sections.

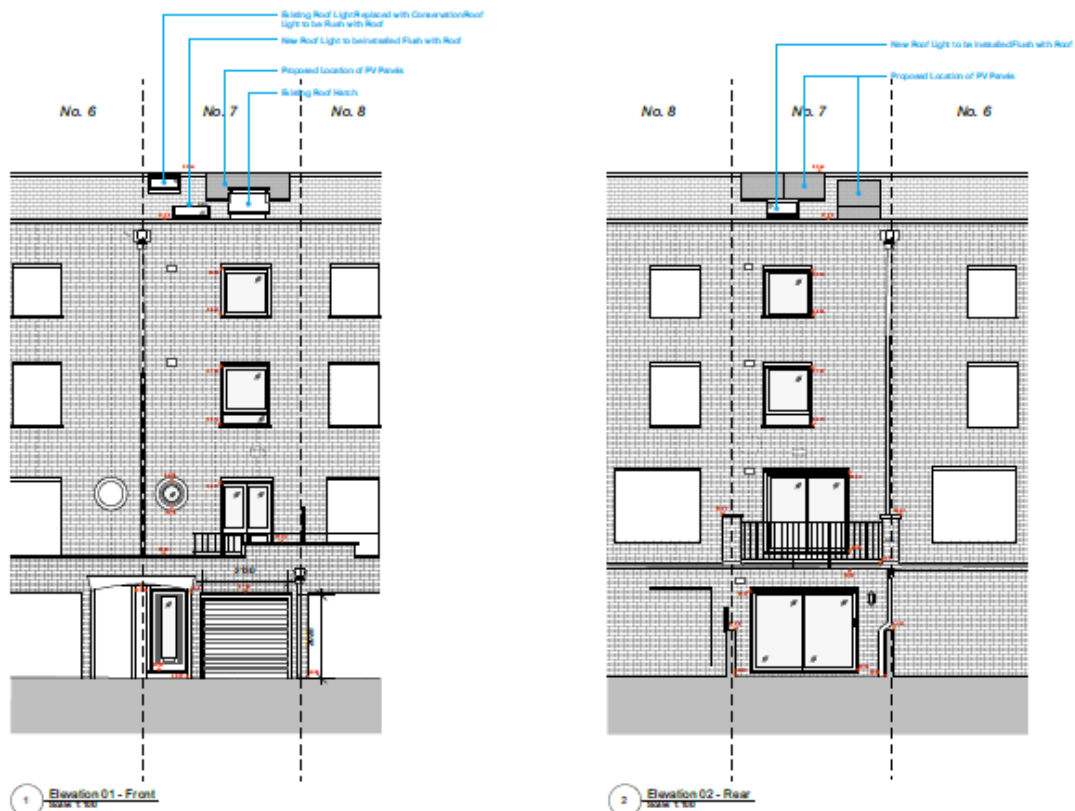


Figure 7: Proposed Elevations.

Delegated Report (Members Briefing)		Analysis sheet	Expiry Date:	17/02/2023
		N/A	Consultation Expiry Date:	05/02/2023
Officer			Application Number(s)	
Alex Kresovic			2022/4964/P	
Application Address			Drawing Numbers	
7 Waterside Place London NW1 8JT			Refer to Draft Decision Notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s) Installation of 6 photovoltaic panels and 2 additional rooflights on the roof.				
Recommendation(s):		Grant Conditional Planning Permission		
Application Type:		Householder Application		

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	1	No. of objections	1
Summary of consultation responses:	<ul style="list-style-type: none">A press advert was published on 12/01/2023 (expiry 05/02/2023)A site notice was displayed on 11/01/2023 (expiry 04/02/2023)			
	<p>One (1) objection was received from Primrose Hill CAAC (PHCAAC), as summarised below:</p> <ul style="list-style-type: none">The PHCAAC is keen to support retrofitting in our conservation area which enables us to move towards a carbon-neutral environment while preserving and enhancing the character and appearance of the conservation area. This was the theme of the Open Day we held in November 2022, which was attended by 76 people. Officer's response: <i>Noted.</i>1-10 Waterside Place are categorised in the Primrose Hill Conservation Area Statement, the current SPD for the PHCA, at p. 18, as 'negative buildings' detracting from the character and appearance of the conservation area. We would comment that Waterside Place has good qualities, in particular its consistency and simple forms which provide a coherent pattern to the individual houses and to the houses as a group. Officer's response: <i>Noted.</i>The roof of the terrace, which forms a continuous surface not divided by party wall parapets, is a key part of the more positive elements of the group. While it is true that the roof has limited visibility from the Princess Road aspect, and none from the Canal towpath, it has considerable visibility in views from Gloucester Avenue, especially from the east side, from south and south-east, a view where the Waterside Place terrace forms a visual boundary to the Canal. Officer's response: <i>The proposed works are considered to have minimal visibility from the streetscape, which would contribute to no harm to the conservation area.</i>The PHCAAC's concern is that the formally acknowledged negative qualities of Waterside Place should not be exacerbated – cumulative harm to the character and appearance of the conservation area – and the positive aspects of coherence and consistency enhanced. Officer's response: <i>Noted.</i>We object to the present layout of the PV panels and the rooflights which are visually incoherent, but which could be regularised and consistent in terms of alignment and location. We would also seek to move the PV panels lower down the roof slope from the ridge. We also suggest that roof-integrated PV panels could minimise impact on the conservation area and enhance the appearance of the installation. Officer's response: <i>Please see the below satellite image highlighting the existing inconsistent layout of rooflights and hatches on the roofscape, which are not seen from street level.</i>			



It is however not possible to move the PV panels down the roof due to the limited size of the roof, and existing location of the hatch. It is reiterated that the angle of view from any point in the surrounding area, including Gloucester Avenue, is too acute to provide a view of the roofscape of Waterside Place. Therefore, the panels will barely be visible, if at all.

- The decision on this application will have important implications in precedent for the rest of the terrace: a set of alignments which would enhance the good qualities of the Waterside Place terrace.

Officer's response: *The positioning of the PV panels has been amended to be in a more regularised manner, creating an ordered grid which could then be repeated along other houses in the terrace without adversely impacting the conservation area.*

- We note that an air-source heat pump is also proposed, but its location is not shown. While we accept that ASHPs may be covered by permitted development rights, subject to certain constraints, we would welcome a holistic approach to energy efficiency installations – based in an Energy Plan – to ensure the maximum effectiveness of the retrofit programme.

Officer's response: *No Air source heat pumps are included within the application.*

- We would welcome a revised scheme which we could discuss to achieve a good outcome in terms of energy efficiency and for the preservation and enhancement of the character and appearance of the conservation area.

Officer's response: *Noted.*

Site Description

The application site is a four-storey terrace building with a pitched roof and is situated in the centre of a row of terraced houses, within a private cul-de-sac accessed via Princess Road. The rear of the property faces Regents Canal with steps accessing the Regents Canal Tow Path. The property was constructed in the late 20th century.

The application site, along with the row of terraced houses is identified within the Primrose Hill Conservation Area appraisal as 'number of buildings' due to inappropriate qualities such as bulk, scale, height, materials, the way in which they address the street or application of architectural details.

Relevant History

APPLICATION SITE:

NA

SURROUNDING AREA:

Application	Address	Description	Status
2006/4673/P	10 Waterside Place London NW1 8JT	Erection of a single storey front extension with enlarged first floor terrace over and minor changes to boundary walls to single family dwelling house (C3).	Granted 12/12/2006
2008/5057/P	10 Waterside Place London NW1 8JT	Alterations and additions in connection with the installation of two retractable awnings at ground and first floor level to rear elevation of single-family dwelling house (Class C3).	Granted 25/11/2008

Relevant policies

National Planning Policy Framework (2021)

London Plan 2021

Camden Local Plan 2017

G1 Delivery and location of growth
A1 Managing the impact of development
D1 Design
D2 Heritage
CC1 Climate change mitigation
CC2 Adapting to climate change

Camden Planning Guidance

CPG Home improvements 2021
CPG Housing 2021
CPG Amenity 2021
CPG Design 2021

Primrose Hill Conservation Area Statement 2000

1.0 Proposal

1.1 The applicant seeks permission for the following:

- Installation of 6 photovoltaic panels on the roof; and
- Installation of 2 rooflights on the roof.

2.0 Assessment

2.1 The main planning considerations in the assessment of this application are:

- Design and Heritage
- Sustainability and climate change

3.0 Design and Heritage

Installation of 6 photovoltaic panels on the roof

3.1 The proposal to install six (6) PV panels are intended to contribute to a more sustainable future and a reduced carbon footprint for the property, in line with Camden Council's Climate vision.

3.2 Three of the proposed six PV panels are proposed along the front elevation and the other three PV panels are proposed along the rear elevation of the existing roof. The PV panels would effectively cover the majority of the roof. The PV panels would have minimal to no visibility from any point in the surrounding area, including Gloucester Avenue, which would contribute to there being no harm to the conservation area.

3.3 The positioning of the PV panels once submitted were very erratic in terms of design and appearance from Gloucester Avenue Bridge, along the rear elevation. However, the position of the PV panels on the rear elevation have slightly been altered during the process of the application to be in a more regularised manner, creating an ordered grid which could then be repeated along other houses in the terrace without adversely impacting the conservation area.

Installation of 2 rooflights on the roof.

3.4 The proposal also includes the installation of two (2) conservation rooflights and replacement of an existing rooflight with a conservation rooflight of the same size. All rooflights are to be flush with the existing roof.

3.5 As such, a total of three conservation rooflights are also proposed, two are proposed along the front elevation and the other located along the rear elevation. The existing rooflight that is being replaced by a new conservation rooflight is located along the front elevation.

3.6 The current layout of rooflights on the row of terraces display a lack of cohesion from house to house, as well as upon the roof of each individual house, however roof lights are present. As such, the proposed layout of conservation rooflights on the application site would not be excessive or harmful to the character or appearance of the Conservation Area. The Council's Conservation Officer raised no concerns with the proposed works.

3.7 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

3.8 Overall, the proposed development would be of a modest scale, sympathetic to the character and appearance of the host building and in keeping with the row of terrace building and wider Primrose Hill Conservation Area, and therefore comply with policies D1 and D2 of the Camden Local Plan 2017.

4.0 Sustainability and climate change

4.1 Six (6) PV panels are proposed on the roof of the existing four storey terrace building. The proposed PV panels are intended to contribute to a more sustainable future and a reduced carbon footprint for the property, in line with Camden Council's Climate vision.

4.2 In addition, the PV panels would not be unduly prominent in the streetscene or Conservation Area and furthermore, it would not result in any adverse effects on the amenity of any neighbouring occupiers. Due to the size, siting, and orientation the PV panel would not affect the outlook or light received through the windows.

4.3 The provision of renewable energy facilities accords with the Council's (and London Plan and NPPF) policies for climate change mitigation.

5.0 Conclusion

5.1 Grant conditional planning permission.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 6th March 2023, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2022/4964/P
Contact: Alex Kresovic
Tel: 020 7974 3134
Email: Alex.Kresovic@camden.gov.uk
Date: 28 February 2023

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk

Miltiadou Cook Mitzman Architects Llp
1 Primrose Mews
London
NW1 8YW

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
7 Waterside Place
London
NW1 8JT

Proposal:

Installation of 6 photovoltaic panels and 2 additional rooflights on the roof.

Drawing Nos: Drawing Nos: 377-DWG-001, Rev: P1, dated: 11/11/2022; 377-DWG-000-OS, Rev: P1, dated: 11/11/2022; 377-DWG-005, Rev: P1, dated: 11/11/2022; 377-DWG-003, Rev: P1, dated: 11/11/2022; 377-DWG-002, Rev: P1, dated: 11/11/2022; 377-DWG-020, Rev: P1, dated: 11/11/2022; 377-DWG-130, Rev: P1, dated: 10/11/2022; 377-DWG-120, Rev: P2, dated: 12/01/2023; 377-DWG-110, Rev: P3, dated: 22/02/2023;

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:
377-DWG-001, Rev: P1, dated: 11/11/2022; 377-DWG-000-OS, Rev: P1, dated: 11/11/2022; 377-DWG-005, Rev: P1, dated: 11/11/2022; 377-DWG-003, Rev: P1, dated: 11/11/2022; 377-DWG-002, Rev: P1, dated: 11/11/2022; 377-DWG-020, Rev: P1, dated: 11/11/2022; 377-DWG-130, Rev: P1, dated: 10/11/2022; 377-DWG-120, Rev: P2, dated: 12/01/2023; 377-DWG-110, Rev: P3, dated: 22/02/2023;

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new *submission form* (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer

DRAFT

DECISION