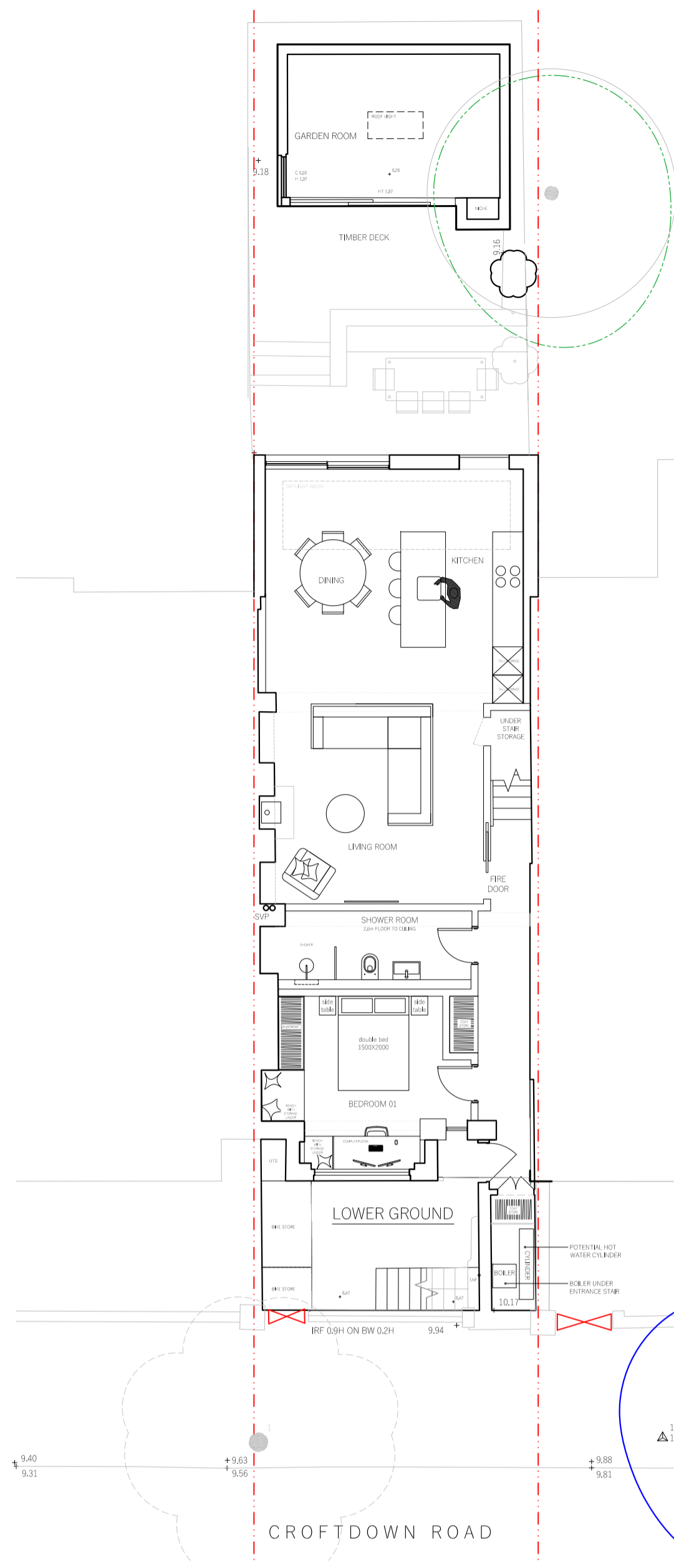


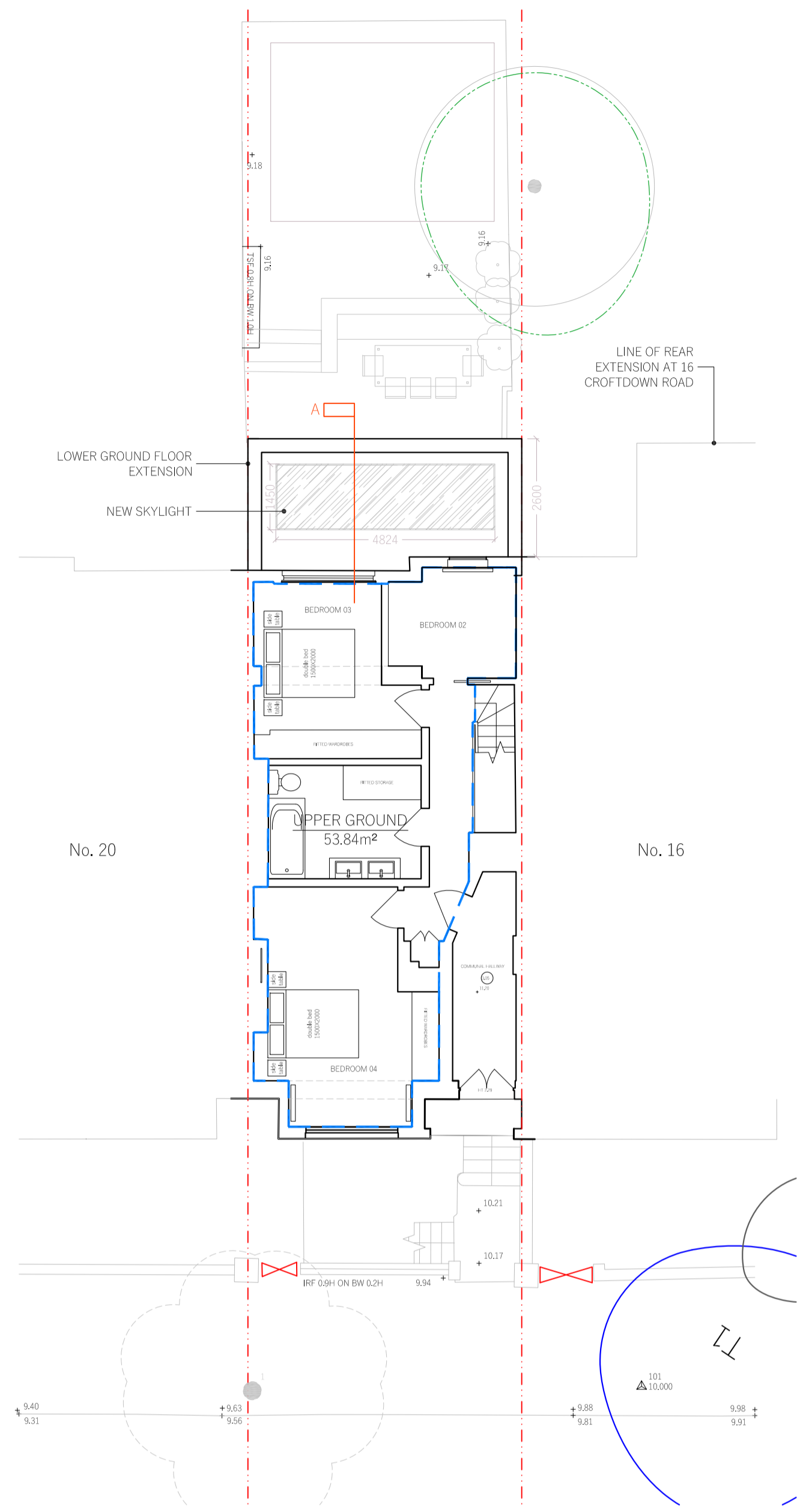
DO NOT SCALE FROM THIS DRAWING
The contractor shall check and verify all dimensions on site and report any discrepancies in writing to the architect before proceeding with work.

FOR ELECTRONIC DATA USE
Electronic data/drawings are issued as "read only" and should not be interrogated for measurement. All dimensions and levels should be read only from those values stated in text, on the drawing.

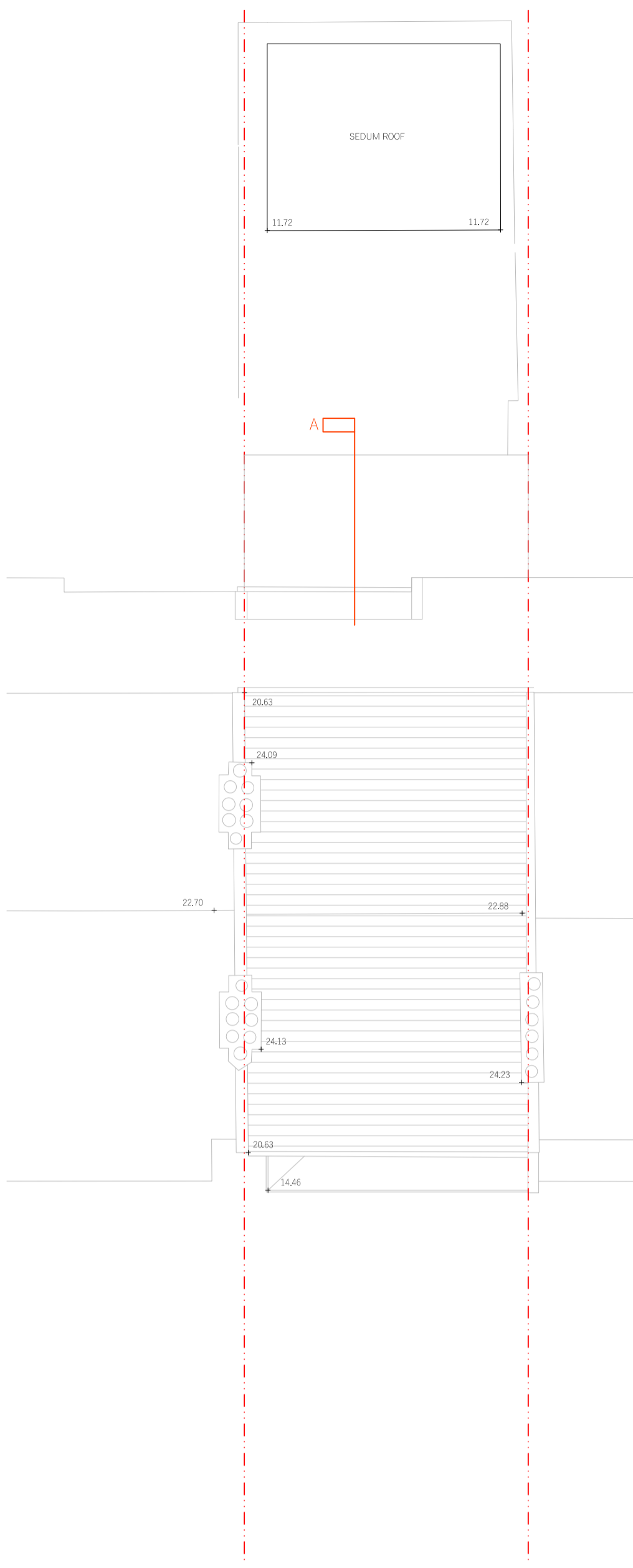
AREA MEASUREMENT
The areas are approximate and can only be verified by a detailed dimensional survey of the completed building. Any decisions to be made on the basis of these predictions whether as to project viability, pre-letting, lease agreements or the like should include due allowance for the increases and decreases inherent in the design development and building processes. Figures relate to the likely areas of the building at the current state of the design and using Gross External Area (GEA), Gross Internal Area (GIA) and Net Internal Area (NIA) method of measurement from the Code of Measuring Practice, 5th edition (RICS code of practice). All areas are subject to Town Planning and Conservation Area Consent, and detailed Rights to Light analysis.



01 LOWER GROUND FLOOR PLAN



02 UPPER GROUND FLOOR PLAN



03 ROOF PLAN



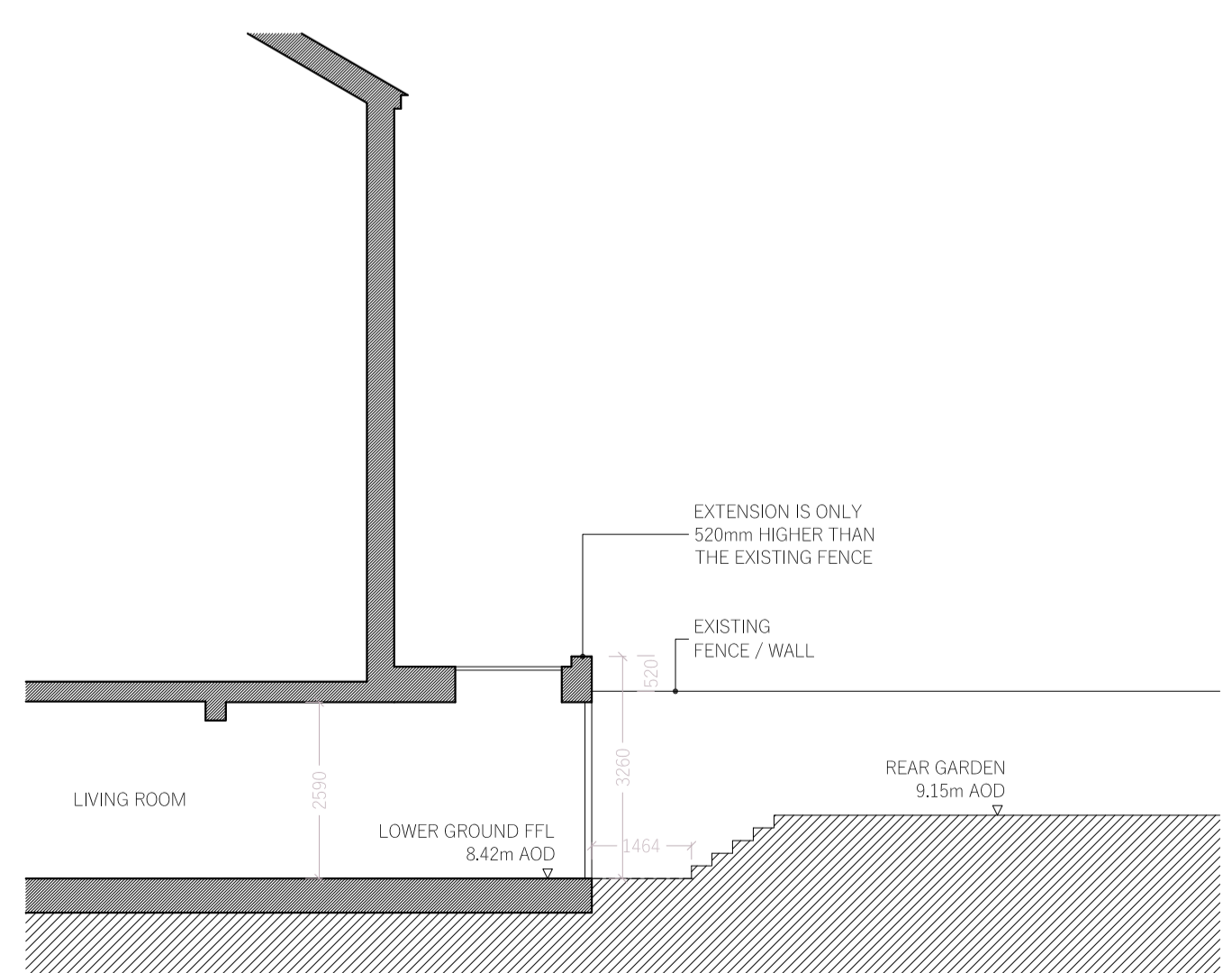
04 CROSS SECTION THROUGH REAR EXTENSION



05 FRONT ELEVATION



06 REAR ELEVATION



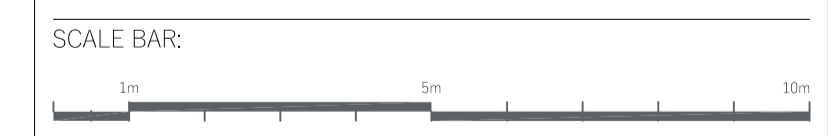
07 SECTION AA

REVISION	DATE	COMMENT
4	11.01.23	REVISED REAR ELEVATION

PROJECT:
18a CROFTDOWN ROAD
LONDON NW5 1EH

CLIENT:
DAVID ELKINGTON

DRAWING:
PROPOSED PLANS & ELEVATIONS



DATE: 09.03.23	SCALE: 1:100 @ A1	DRAWN: DW	CHECK: DG
REASON FOR ISSUE: PLANNING		NORTH: 	
DRAWING NO: 0141_PL_001		REV: 5	

DHaus
THE DHAUS COMPANY LIMITED | UNIT 13, OLD DAIRY COURT | 17 DRUGH HILL, LONDON NW4 6AP
info@dhaus.com