

3.0 New Build - Office & Affordable Residential Accommodation

3.1.0 UCLH Charity's Objectives

- 3.1.1 UCLH Charity funding provides support for patients and for staff and helps to finance medical research, equipment and facilities. The Charity's primary objective is to improve the experience for patients at the Trust's seven hospitals.

- Invested £1.5m in the Trust's Making a Difference Together programme to improve the patient experience Helped UCL Hospitals to purchase a new PET/CT scanner – the first in the UK;
 - Invested with UCL Hospitals in a state-of-the-art education centre, ensuring our staff are trained to the highest standards to improve patient care and every year, medical and non-medical staff can apply for financial support to continue their studies: over the last four years more than 100 people have benefited from this; and
 - Committed £7m to support the UCL/UCLH Comprehensive Biomedical Research Centre, one of the UK's five top medical research centres.
- 3.1.2 The Charity has a particular focus on funding facilities that are over and above what should be expected by a leading NHS hospital, such as:

- Buying an important piece of equipment, the NHS cannot afford;
 - Funding extra training for staff, particularly in specialist areas;
 - Investing in research so that better therapies can be developed;
 - Providing funds for innovative projects within the hospitals; and
 - Improving the hospital environment.
- 3.1.3 In recent years, the charity has:

- Built the purpose-built University College Hospital Macmillan Cancer Centre opened in April 2012, which provides patients with access to the very best treatment, support and advice for their particular type of cancer;
 - Fitted out a 35-bedroom, four star “hotel” for patients undergoing chemotherapy, giving them greater comfort and independence (at Tottenham Court Road);
 - Invested £4m in new equipment in the UCLH opened in 2005;
- 3.1.4 Rather than acting as a developer in the traditional sense, as a charitable trust, all of the income from the development proposal at Middlesex Hospital Annex (MHA) generates funds that are fed directly back into University College London Hospitals to improve services.

New Build Basement & Ground Floor

Middlesex Annex Basement Imaging Centre

- 3.1.5 It is proposed to establish a state-of-the-art Imaging Centre in the Basement of the Middlesex Annex development. The unit will house a maximum of 6n° MRI scanners for medical diagnostic purposes. The unit will be run by the Radiology Department of University College London Hospitals (UCLH) and provide vital services for the Trust. Its services will be used for initial diagnosis and follow-up examination and will significantly reduce waiting times for patients in the local population.

It is understood that the Imaging Centre will work primarily in conjunction with the Macmillan Cancer Centre, a specialist centre for many types of cancer treating patients from both the local area and across the country.
- 3.1.6 The Imaging Centre will be complemented by ambulatory medical services on the Ground and First Floor, which will likely include Rehabilitation and Outpatients facilities.
- 3.1.7 This proposal offers the opportunity to establish clinical services and patient care in the heart of the community within a modern development.
- 3.1.8 The following section highlights the proposed changes to the basement and ground floor illustrating the new MRI scanner suite and associated space.

3.1 New Build - Issues Raised by RP

New Build Floors 3 - 7th

Affordable Residential Accommodation

3.1.5 The design team has met with Origin Housing and discussed the following design issue highlighted in the right hand tables.

3.1.6 These comments have been resolved and addressed.

3.1.7 Origin Housing and UCLH Chairty have agreed heads of terms for the proposed purchase of the affordable residential accommodation.

1. Bin stores – bin store location always works best if located on a natural route of ingress/ egress from a building, so can be used without necessitating a detour to a natural route taken by residents. A ground floor area on the route to or from the main door would be ideal. *Please refer to basement & Ground floor plan. RP provider has confirmed bin strategy & storage arrangement acceptable.*
2. The location in the basement presents a detour so the travel distance needs to be minimised from the lift to the bin store and ideally be clearly visible from the lift entrance. Could the hot water storage area adjacent to the lifts be used for the affordable bin store? *Please refer to basement floor plan. RP provider has confirmed bin strategy & storage location is acceptable.*
3. The affordable homes should only have access to the corridor system in the basement immediately from the lift to the bins store with access excluded from other basement areas of the building. *Agreed access to affordable bin store only accessible by affordable residents and in house refuse management. Please refer to basement floor plan.*
4. Our usual solution to metering and charging for energy usage from central boilers is the use of prepayment meters to each apartment. Is there adequate room to locate these and where would they be located? Adjacent to or within the flat is the best option. *Flat utilities (electricity + Heating) will be on a prepayment meter system. Meters will be located within the apartment.*
5. Bike store appears to have access through lobby area - potential for cleanliness issues. Better for external access near front door. *Please refer to Ground floor plan. External access not achievable. Lobby area to be tiled to provide easy cleaning.*

6. The storage cupboards on 3rd floor would be good to use for a caretaker's cleaning cupboard. Include correct storage for harmful materials and hot/ cold water supply. *Please refer to Third floor plan. Cleaners cupboard and storage facilities provided as requested.*
7. Winter conservatory. This will be difficult to manage if this is retained as a public area and could create a poorly used area as there is little natural surveillance. The intention here seems to be to create outdoor recreation space. It may be a better use of this area to include it within the adjacent flat AL25 (if the circulation space around the narrow area behind the staircase allows) and using the outdoor amenity space as the terrace for that for that flat also? Open to ideas on this area? *Please refer to Fourth floor plan. Winter conservatory removed and duplex apartment created.*
8. There appears to be an amenity area at the base of the light well to flats AL10 to AL15. Who is this intended to be accessed by and is this at the same level as the surrounding flats or recessed below – there is an implication of a staircase. The concern here is the amount of privacy for the surrounding flats through people using the courtyard area at the base of the light well. For the upper floors around the light well, the finishes around the balcony access will need to be low maintenance or maintainable without use of scaffolding. *Amenity space provided.*
9. Terrace areas on roofs. Layouts imply that these areas are located directly outside flat windows. Unless these areas are supposed to be for the private use of the adjacent flats, some form of privacy screening may be required depending on the detailed layout. *Landscape buffer zone provided between terrace and private balconies.*

Below is a list of overall changes to the flat designs:

- Bathrooms configured to 4 different types.
- Bathrooms and kitchens designed to stack for SVP's.
- Flats are now designed so that the kitchen/ living and/ or main bedrooms are fed onto the balconies. No single bedrooms have access to balconies for health and safety purposes.
- Proposed design means that doors are standardised to eliminate the need for sliding doors.
- Flats designed so that circulation within the flats is minimal.
- Kitchens do not clash with windows – no bespoke kitchen units required.
- Store added in each flat to accommodate HIU units .
- Winter garden removed to create a duplex flat and changed from a 2 bed unit to 3 bed duplex with terrace space.
- Washing machines integrated within the kitchen designs.

Flat changes:

- AL05 was 2 bed/ 3 person – now 3 bed/ 4 person
- AL20 & AL24 was 3 bed/ 4 person – now 3 bed/ 5 person

3.2 New Build Approved Planning - Basement Floor Plan

3.2.1 Basement Floor Plan - Approved planning

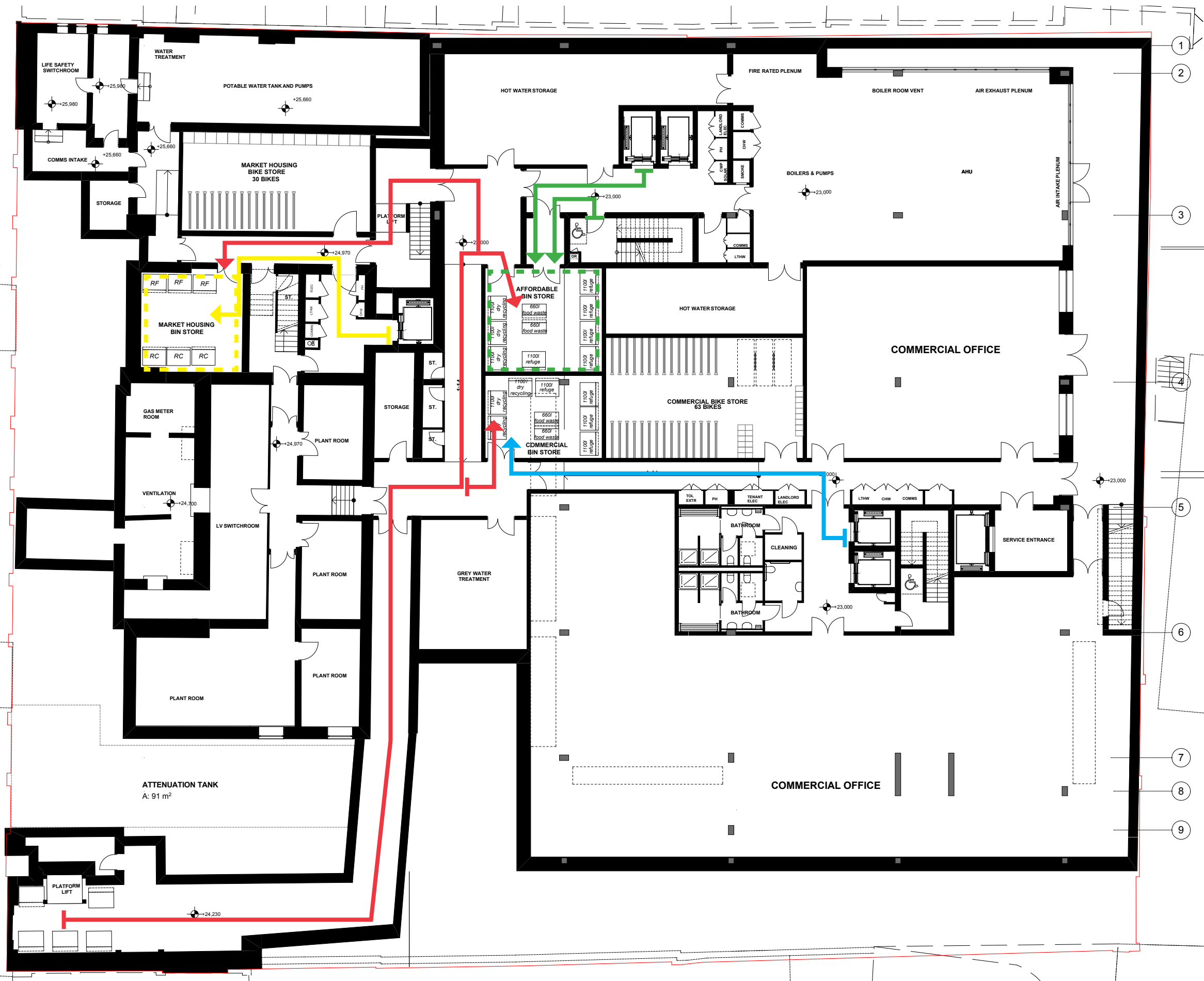
Bin stores – bin store location always works best if located on a natural route of ingress/ egress from a building, so can be used without necessitating a detour to a natural route taken by residents. A ground floor area on the route to or from the main door would be ideal.

The affordable housing bin store is located in the basement. The affordable bin store will only be accessible by the affordable residents. will only be able to access this area. The bins will be collected by the management company and will wheel these to the bin store “collection area” next to Cleveland Street. These will then be lifted up to the ground floor by a platform lift. The bins will then be collected from Cleveland Street. No bin lorry will be allowed to enter the Bedford Passage.

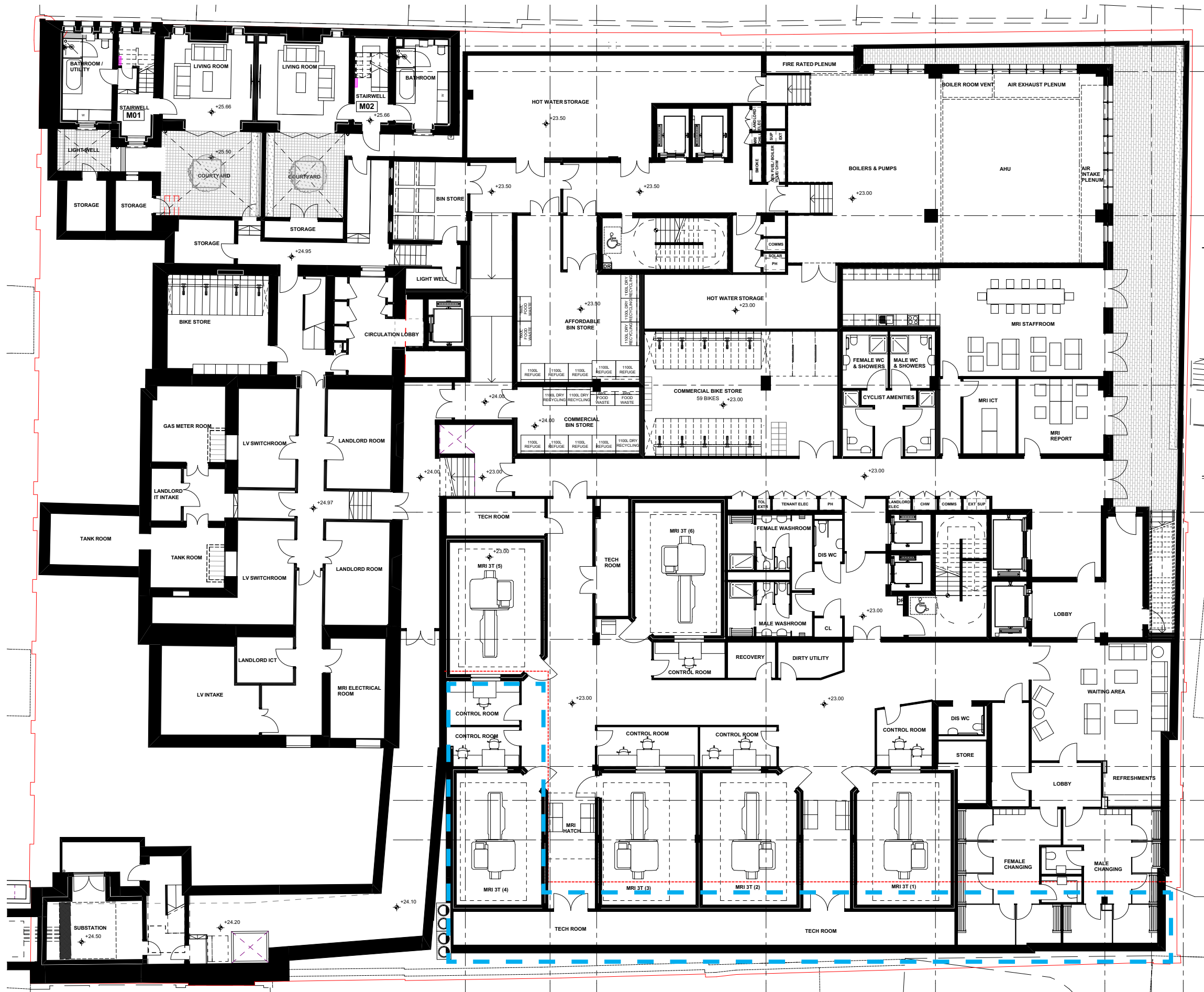
The location in the basement presents a detour so the travel distance needs to be minimised from the lift to the bin store and ideally be clearly visible from the lift entrance. Could the hot water storage area adjacent to the lifts be used for the affordable bin store? Bin store cannot be relocated.

- Affordable bin store location
- Affordable Access Route to Bin Store
- Secure route (Not accessible to residents - service route only)
- Commercial Space
Bins used only by cleaners staff
- Market Housing Route

The affordable homes should only have access to the corridor system in the basement immediately from the lift to the bins tore with access excluded from other basement areas of the building. Agreed. Affordable area access / bin store shown in green.



3.2.1 New Build Revised Scheme - Basement Floor Plan



3.2.1 Basement Floor Plan - Revised Layout

No change to affordable basement area.
Reduction in plant space

Commercial area amended / extended south-west to provide Hospital D1 use.

Basement area extended to provide D1 space

It is proposed to establish a state-of-the-art Imaging Centre in the Basement of the Middlesex Annex development. The unit will house a maximum of 6no MRI scanners for medical diagnostic purposes. The unit will be run by the Radiology Department of University College London Hospitals (UCLH) and provide vital services for the Trust. Its services will be used for initial diagnosis and follow-up examination and will significantly reduce waiting times for patients in the local population.

It is understood that the Imaging Centre will work primarily in conjunction with the Macmillan Cancer Centre, a specialist centre for many types of cancer treating patients from both the local area and across the country.

The Imaging Centre will be complemented by ambulatory medical services on the Ground and First Floor, which will likely include Rehabilitation and Outpatients facilities.

This proposal offers the opportunity to establish clinical services and patient care in the heart of the community within a modern development.


Service strategy will incorporate previous principles.

3.2.2 New Build Approved Planning - Ground Floor Plan

Ground Floor Plan - Approved Planning


Bin stores – bin store location always works best if located on a natural route of ingress/ egress from a building, so can be used without necessitating a detour to a natural route taken by residents. A ground floor area on the route to or from the main door would be ideal.

 *Bin storage area*

 *External route to Bin Store
70m +*

Affordable bin store located next to Basement stairs. See basement floor plan for bin strategy.

Bike store appears to have access through lobby area - potential for cleanliness issues. Better for external access near front door.

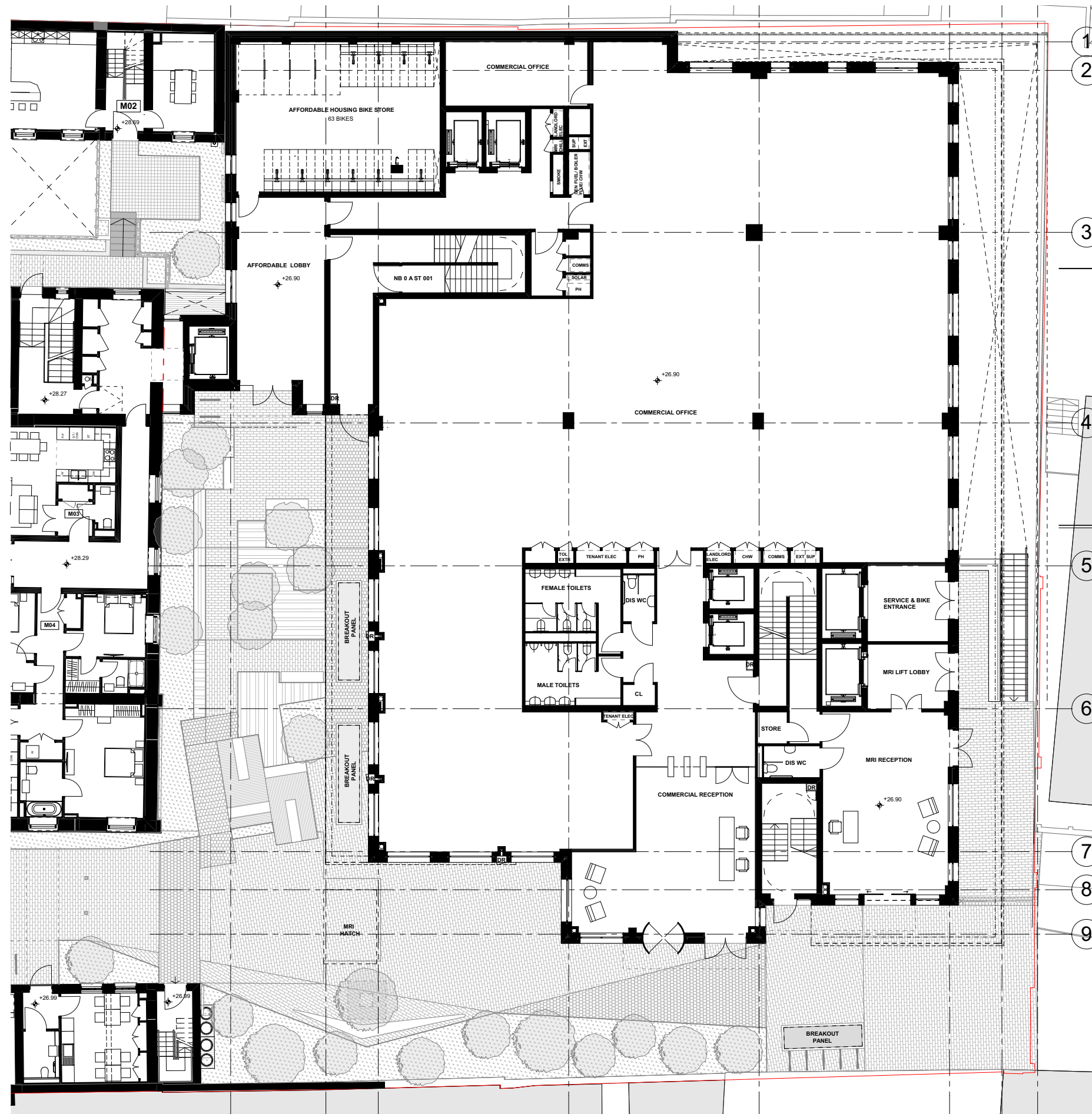
 *Robust floor finish
to entrance Hallway
incorporating entrance
matting.*

*Tiled finish to floor - washable /
wipe down etc.*

*Post box to be located within
Entrance Hallway*



3.2.2 New Build Ground Floor Plan - Revised Scheme



Ground Floor Plan - Revised Layout

Minimal change to Affordable Ground Floor Plan.

Bicycle are reconfigured to allow space for column.

Office & D1 Entrance

Opportunity for separate entrance space for B1 & D1 use.

D1 entrance for ground and basement floor.

A new entrance and reception area is provided for the upper floors. Precise use to be determined at a later date.


3.2.3 New Build Approved Planning - First Floor Plan

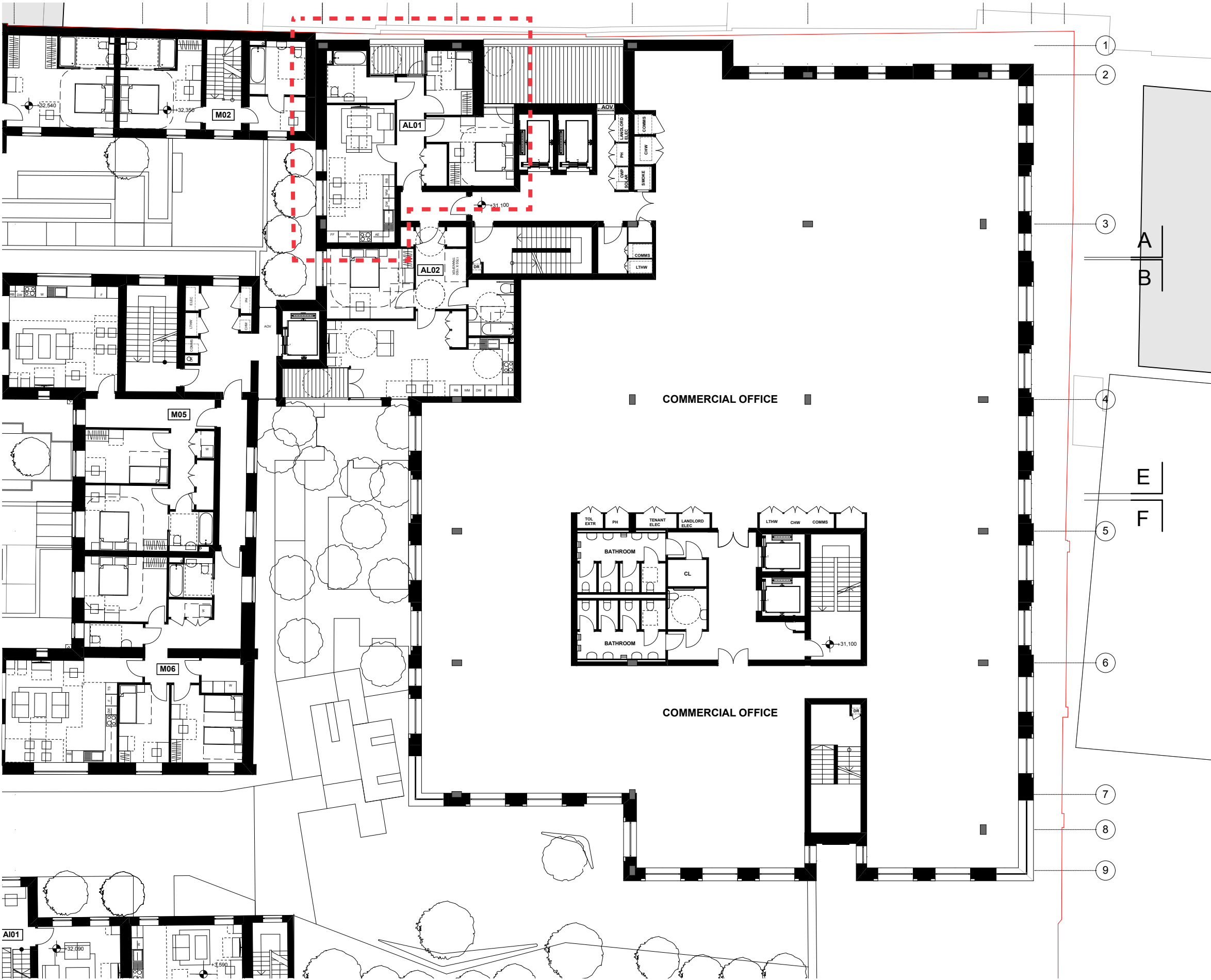
First Floor Plan - Planning Application

Affordable Social Rented Units

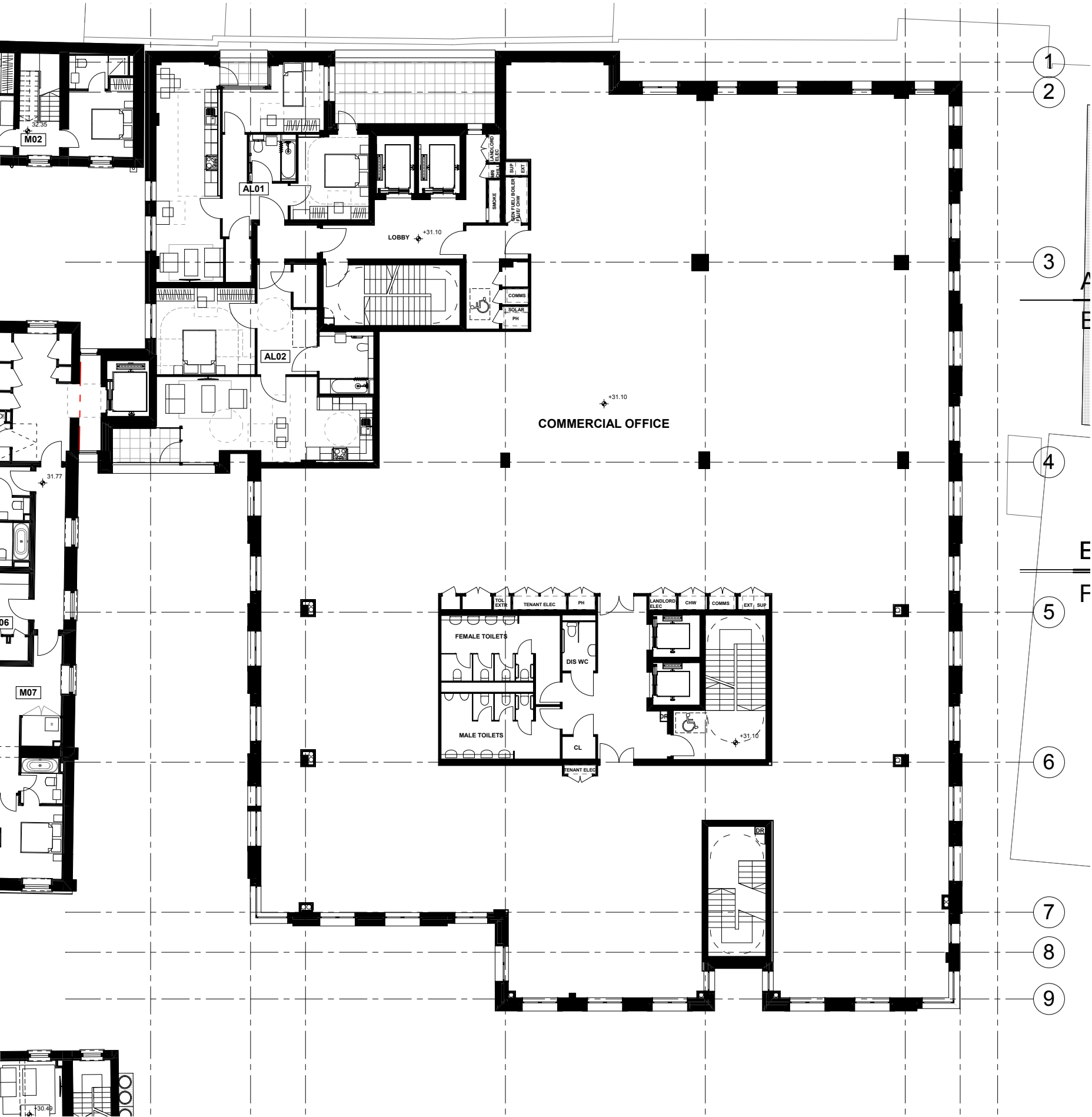
Approved First Floor Plan

- AL01 65.6m² 2 bed unit
- AL02 71.5m² 1 Bed Wheelchair Unit.

 Unit reconfigured to co-ordinate services with above units.
Kitchen and living room area increased.



3.2.3 New Build First Floor Plan - Revised Scheme



First Floor Plan - Revised Layout

Affordable Social Rented Units

AL01 70.2m² 2 bed unit

Unit footprint increased.
Lounge / Kitchen relocated to provide access to large terrace area

AL02 72.1m² 1 Bed Wheelchair Unit.

Bedroom reconfigured to increase storage area

No change to Office / D1 area

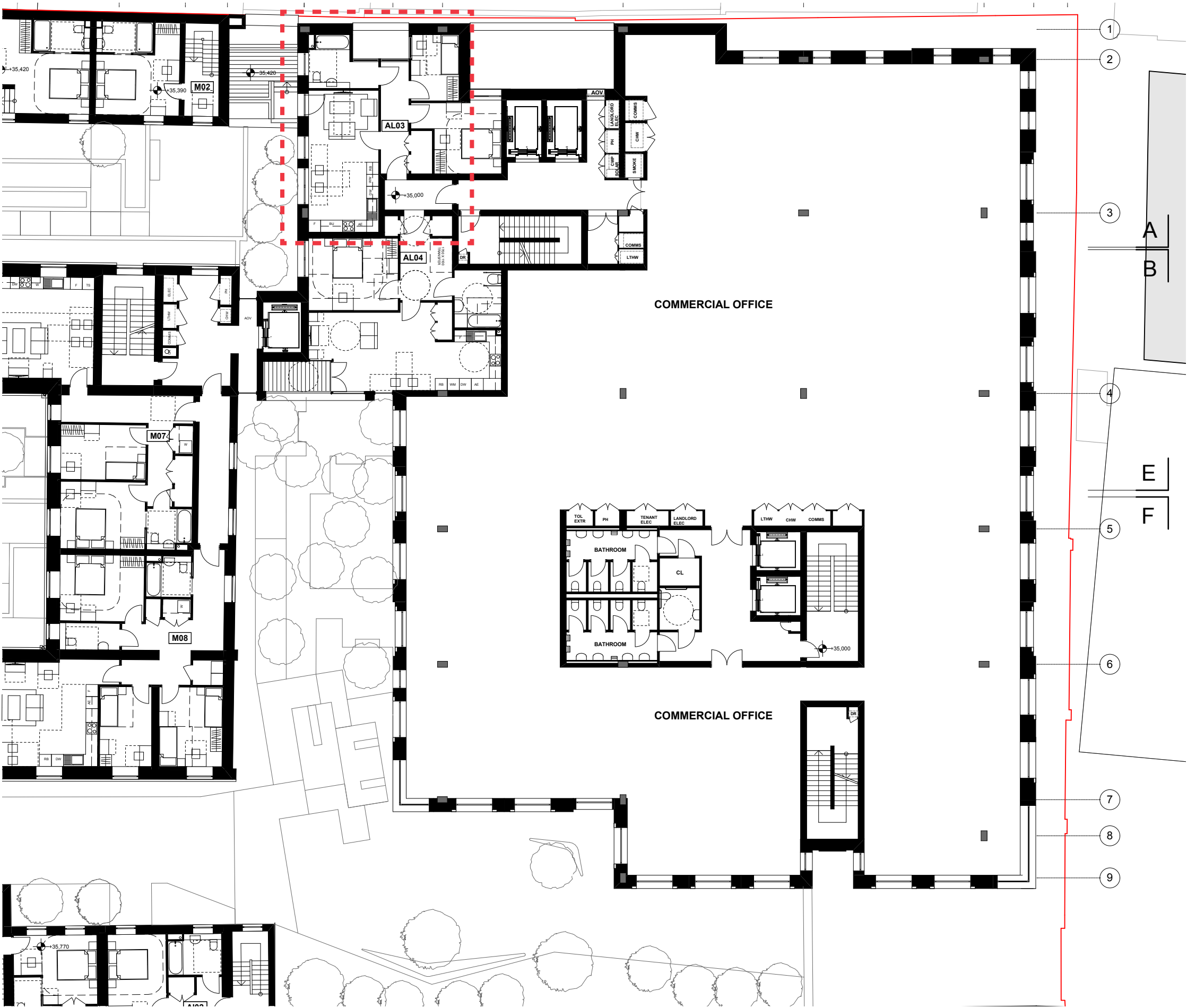
3.2.4 New Build Approved Planning - Second Floor Plan

Second Floor Plan - Approved Scheme

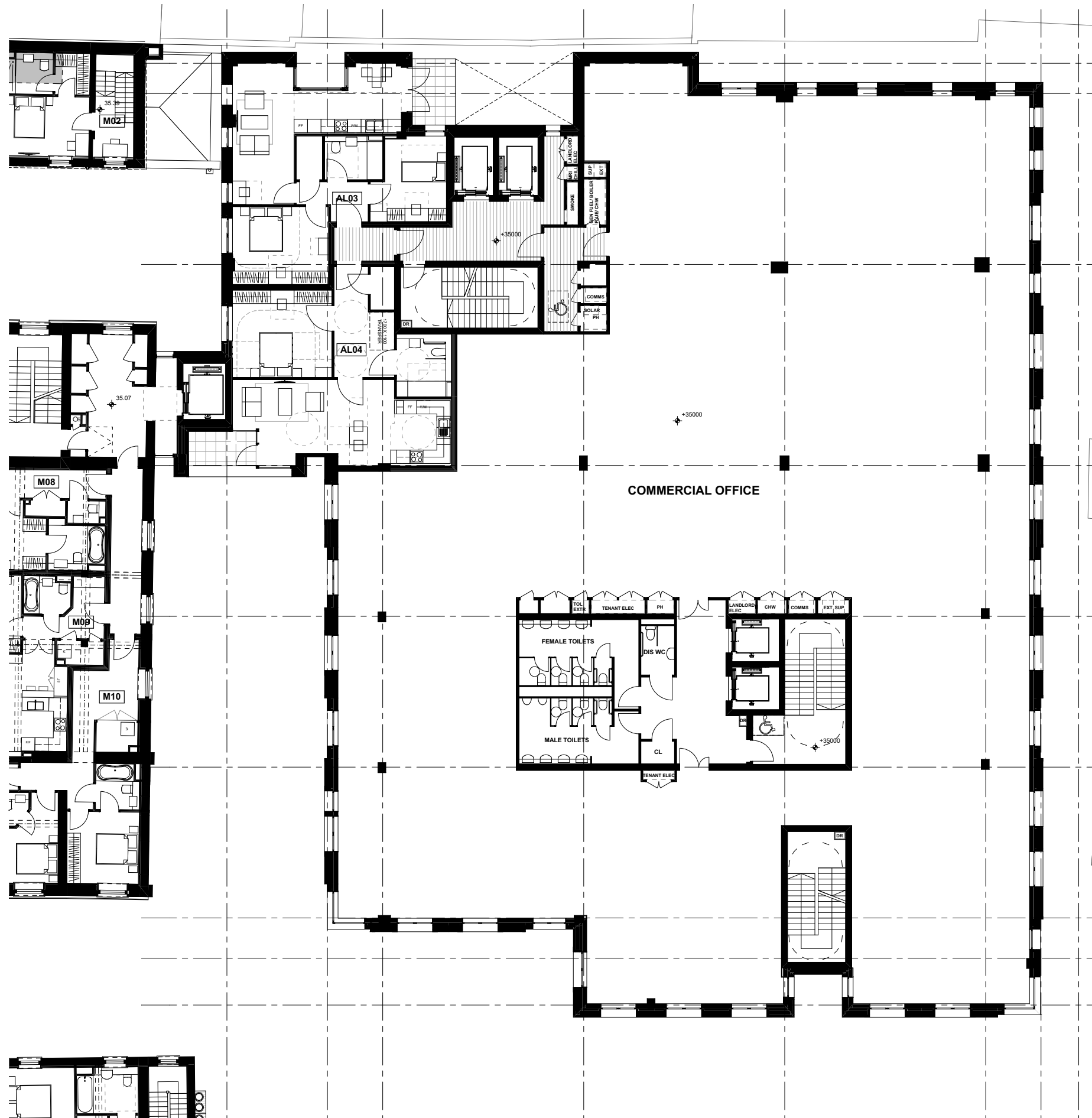
Affordable Social Rented Units

AL03	65.8m ²	2 bed unit (2B/3P)
AL04	71.5m ²	1 Bed Wheelchair Unit. (1B/2P-WA)

- Unit reconfigured to co-ordinate services with above units.
- Kitchen and living room area increased.



3.2.4 New Build Second Floor Plan - Revised Scheme



Second Floor Plan - Revised Scheme

Affordable Social Rented Units

AL03 70.1m² 2 bed unit (2B/3P)

Unit footprint increased.
Unit standardised.
Lounge / Kitchen relocated to provide access to rear balcony.
Previous terrace space located above the North House relocated to simplify building ownership / boundaries.

AL04 72.1m² 1 Bed Wheelchair Unit.
(1B/2P-WA)

Bedroom reconfigured to increase storage area

3.2.5 New Build Approved Planning - Third Floor Plan

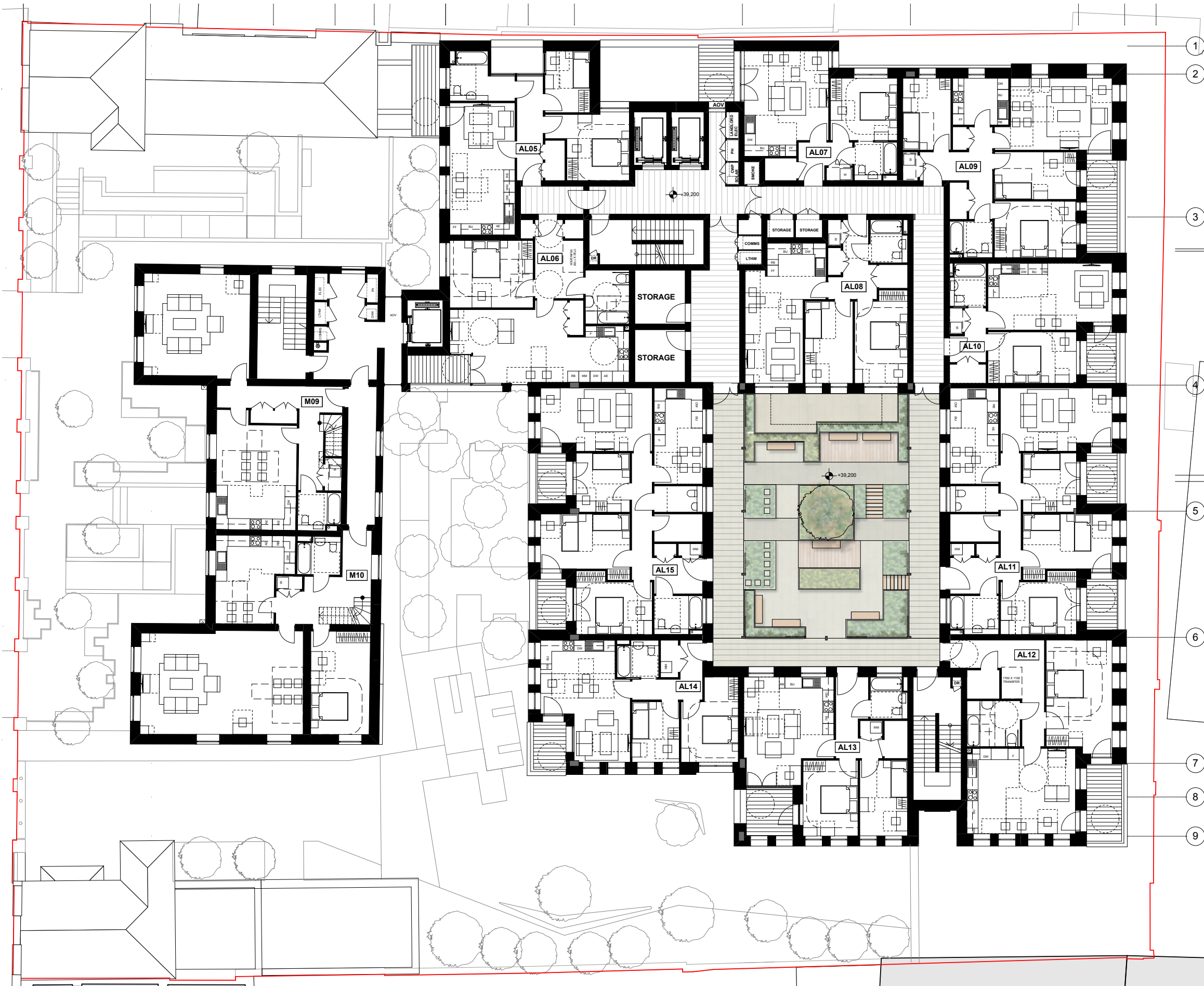
Third Floor Plan - Approved Scheme

Affordable Social Rented Units

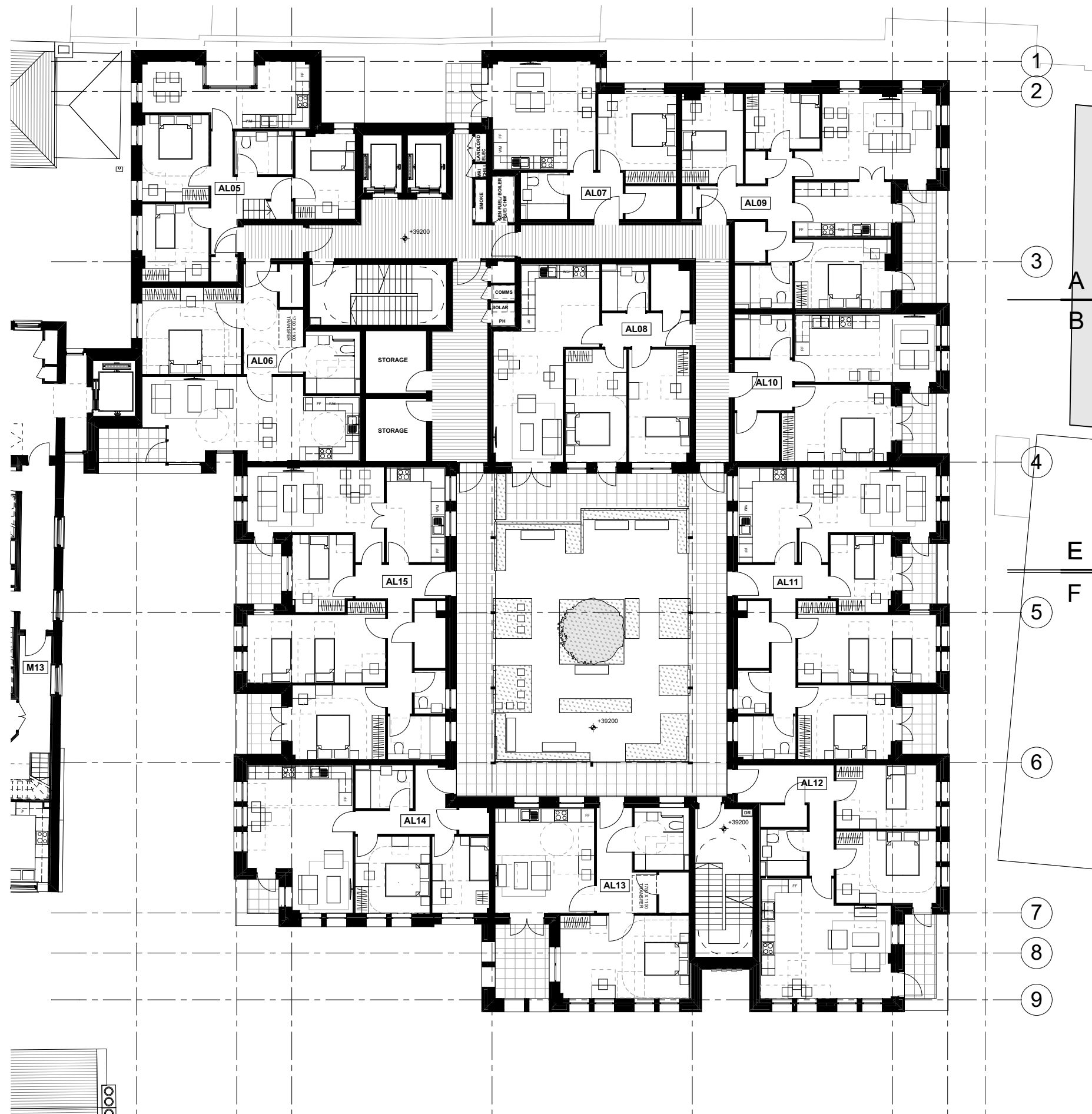
AL05	65.8m ²	2 bed unit (2B/3P)
AL06	71.4m ²	1 Bed Wheelchair Unit. (1B/2P-WA)
AL07	50.1m ²	1 Bed (1B/2P)
AL08	68.9m ²	2 Bed (2B/3P)
AL09	86.2m ²	3 Bed (3B/4P)
AL10	50.0m ²	1 Bed (1B/2P)
AL11	100.7m ²	3 Bed (3B/5P)
AL12	74.2m ²	1 Bed (1B/2P-WA)
AL13	65.8m ²	2 Bed (2B/3P)
AL14	61.1m ²	2 Bed (2B/3P)
AL15	100.5m ²	3 Bed (3B/5P)

6. The storage cupboards on 3rd floor would be good to use for a caretaker's cleaning cupboard. Include correct storage for harmful materials and hot/ cold water supply.

1 Storage cupboard retained for a caretakers.



3.2.5 New Build Third Floor Plan - Revised Scheme



Third Floor Plan - Revised Scheme

Affordable Social Rented Units

AL05 70.1m² 3 bed unit (3B/4P)
+ Fourth Flr 18.6m² = 88.7m²

Unit reconfigured as 3 Bed Duplex - incorporating space above, formerly winter garden area. Terrace space provided on floor above and external balcony removed

AL06 72.1m² 1 Bed Wheelchair Unit. (1B/2P-WA)

AL07 50.6m² 1 Bed (1B/2P)
Kitchen / Bathroom reconfigured

AL08 74.8m² 2 Bed (2B/3P)
Kitchen / Bathroom reconfigured

AL09 88.5m² 3 Bed (3B/4P)
Unit redesigned so access to balcony is from Living Room, Kitchen & master bedroom

AL10 52.6m² 1 Bed (1B/2P)

AL11 102.5m² 3 Bed (3B/5P)
Entrance / Toilet reconfigured for SVP stacking

AL12 75.9m² 1 Bed (1B/2P-WA)

AL13 63.5m² 2 Bed (2B/3P)

AL14 64.6m² 2 Bed (2B/3P)

AL15 102.5m² 3 Bed (3B/5P)
Entrance / Toilet reconfigured for SVP stacking

3.2.5 Third Floor - Affordable Courtyard



3.2.5 Third Floor - Affordable Courtyard



3.2.6 New Build Approved Planning - Fourth Floor Plan

Fourth Floor Plan - Approved Scheme

7.

Winter conservatory. This will be difficult to manage if this is retained as a public area and could create a poorly used area as there is little natural surveillance. The intention here seems to be to create outdoor recreation space. It may be a better use of this area to include it within the adjacent flat AL25 (if the circulation space around the narrow area behind the staircase allows) and using the outdoor amenity space as the terrace for that for that flat also?

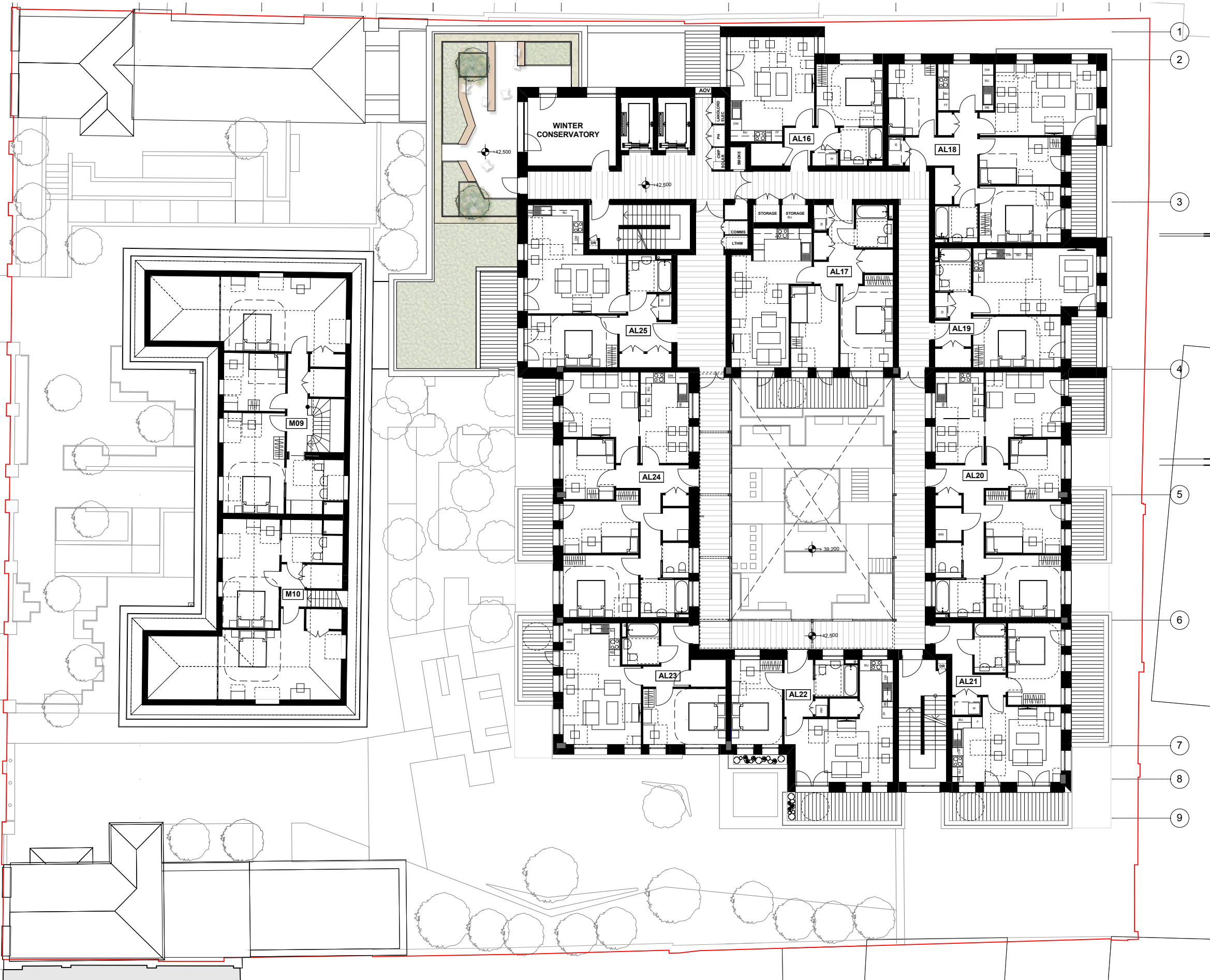
See revised Plan winter conservatory removed.
8.

There appears to be an amenity area at the base of the light well to flats AL10 to AL15. Who is this intended to accessed by and is this at the same level as the surrounding flats or recessed below – there is an implication of a staircase. The concern here is the amount of privacy for the surrounding flats through people using the courtyard area at the base of the light well. For the upper floors around the light well, the finishes around the balcony access will need to be low maintenance or maintainable without use of scaffolding.

See visuals on following page.

Affordable Social Rented Units

AL16	50m ²	1 bed (1B/2P)
AL17	68.9m ²	2 Bed (2B/3P)
AL18	86.3m ²	3 Bed (3B/4P)
AL19	50m ²	1 bed (1B/2P)
AL20	89.3m ²	3 Bed (3B/4P)
AL21	51.7m ²	1 bed (1B/2P)
AL22	50.6m ²	1 bed (1B/2P)
AL23	53.5m ²	1 bed (1B/2P)
AL24	89.3m ²	3 Bed (3B/4P)
AL25	55m ²	1 bed (1B/2P)



3.2.6 New Build Fourth Floor Plan - Revised Scheme



Fourth Floor Plan - Revised Scheme

Winter conservatory removed and replaced with duplex unit, linked to apartment AL05 below 2 Bed Flat changed to 3 bed duplex

Communal terrace removed.

- Private balcony space provided to units
- Communal terrace replaced with low maintenance bio diversity green roof. Not accessible to tenants. Possible location for PV equipment.

Affordable Social Rented Units

AL16	50.6m ²	1 bed (1B/2P)	Kitchen / Bathroom reconfigured
AL17	74.8m ²	2 Bed (2B/3P)	Kitchen / Bathroom reconfigured
AL18	88.5m ²	3 Bed (3B/4P)	Unit redesigned so access to balcony is from Living Room, Kitchen & master bedroom
AL19	53.0m ²	1 bed (1B/2P)	
AL20	90m ²	3 Bed (3B/5P)	Entrance / Toilet reconfigured for SVP stacking
AL21	53.1m ²	1 bed (1B/2P)	
AL22	52.6m ²	1 bed (1B/2P)	
AL23	55.3m ²	1 bed (1B/2P)	
AL24	90m ²	3 Bed (3B/5P)	
AL25	57m ²	1 bed (1B/2P)	

3.2.7 New Build Approved Planning - Fifth Floor Plan

Fifth Floor Plan - Approved Scheme

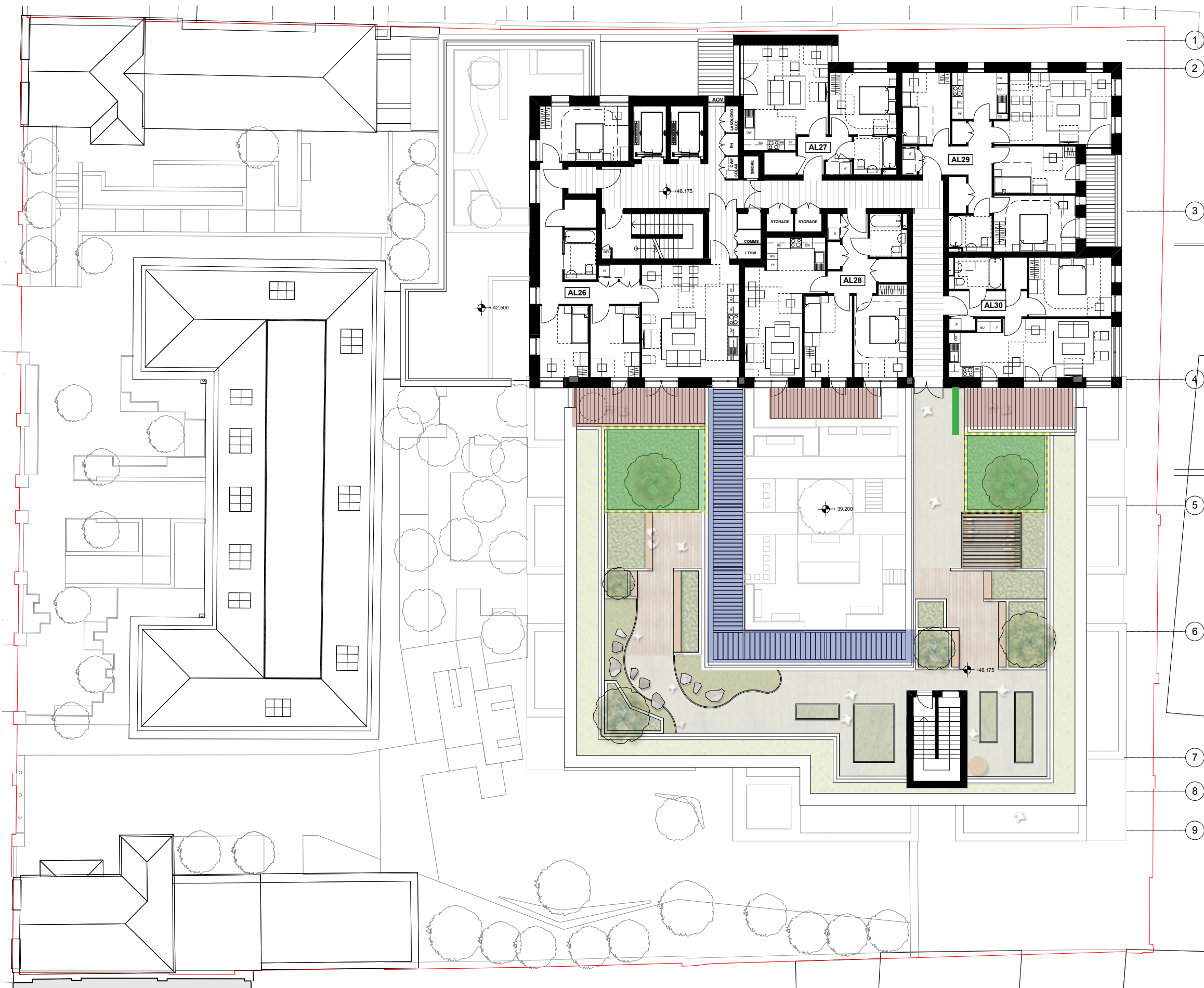
9. Terrace areas on roofs. Layouts imply that these areas are located directly outside flat windows. Unless these areas are supposed to be for the private use of the adjacent flats, some form of privacy screening may be required depending on the detailed layout.

- Private terrace garden space
- Louvred ceiling above external walkway. Not accessible. (see images on following page)
- Raised landscape area for planting not accessible. Provides a visual barrier between private terrace area and communal garden area. See sections on following pages.
- Screening to be added between pathway & private terrace area

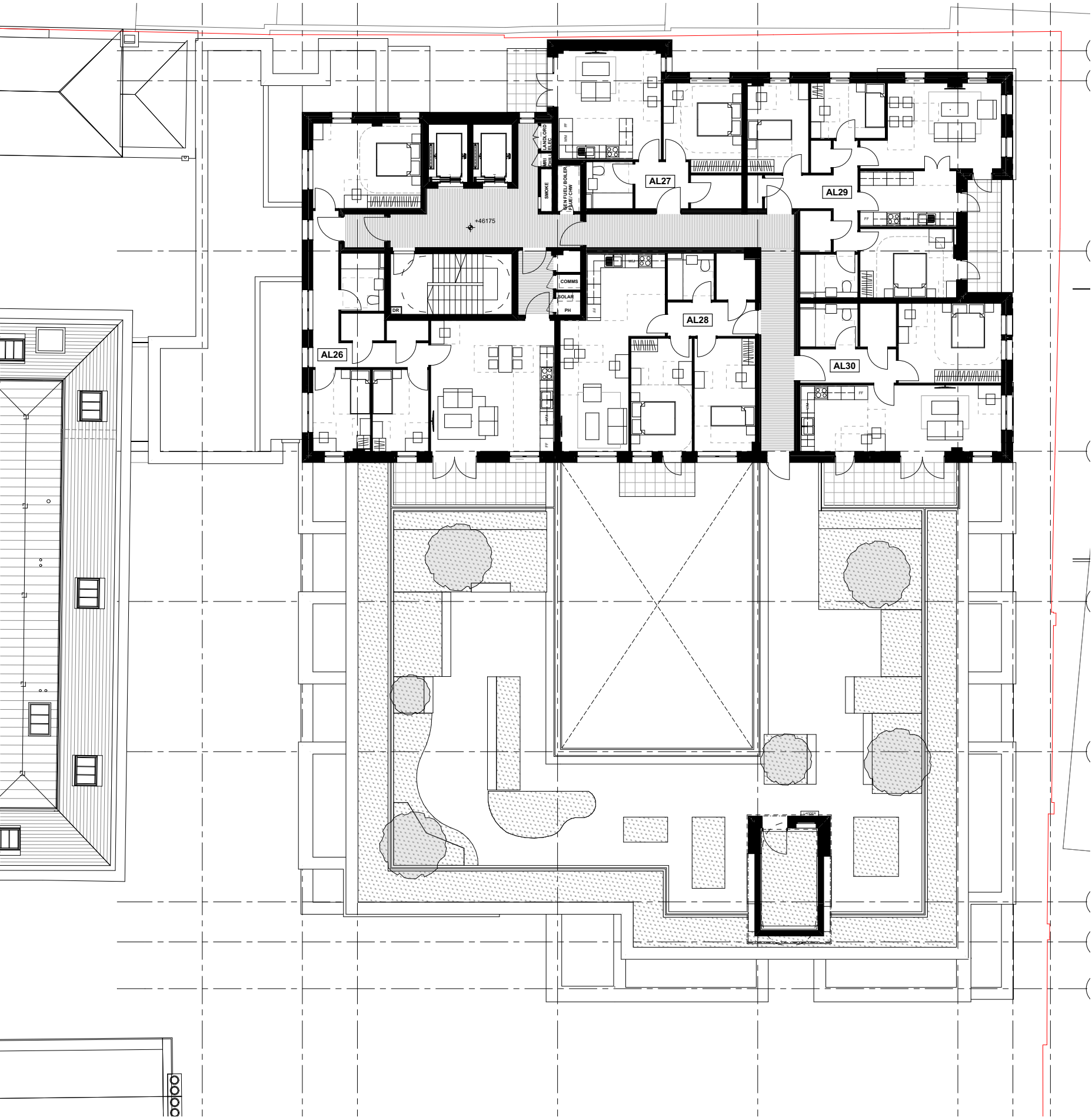
Approved scheme unit areas

Affordable Social Rented Units

AL26	91.5m ²	3 bed (3B/4P)
AL27	50.0m ²	1 bed (1B/2P)
AL28	68.7m ²	2 bed (2B/2P)
AL29	86.3m ²	3 Bed (3B/4P)
AL30	56.6m ²	1 bed (1B/2P)



3.2.7 New Build Fifth Floor Plan - Revised Scheme



Fifth Floor Plan - Revised Scheme

Revised scheme unit areas

Affordable Social Rented Units

AL26 94.5m² 3 bed (3B/4P)
Bathroom reconfigured

AL27 50.6m² 1 bed (1B/2P)
Bathroom and kitchen reconfigured

AL28 74.4m² 2 bed (2B/2P)
Bathroom and kitchen reconfigured

AL29 88.5m² 3 Bed (3B/4P)
kitchen & Bedroom reconfigured.
Balcony accessible from living room, kitchen
and master bedroom

AL30 60.3m² 1 bed (1B/2P)
Kitchen & Bathroom reconfigured

3.2.8 New Build Approved Planning - Sixth Floor Plan

Sixth Floor Plan - Approved Scheme

Approved scheme unit areas

Affordable Intermediate Units

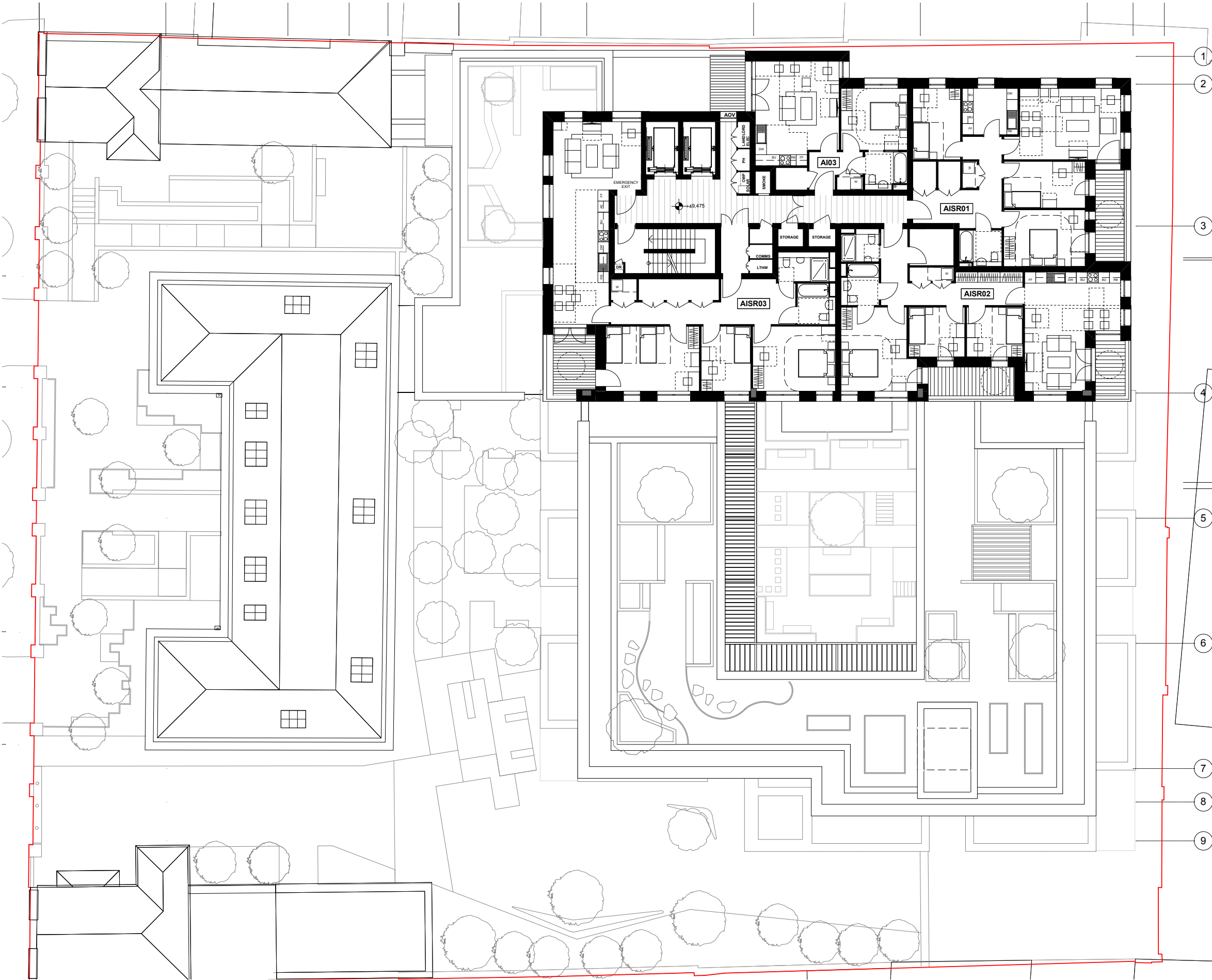
AI03 50.0m² 1 bed (1B/2P)

Affordable Social Rented

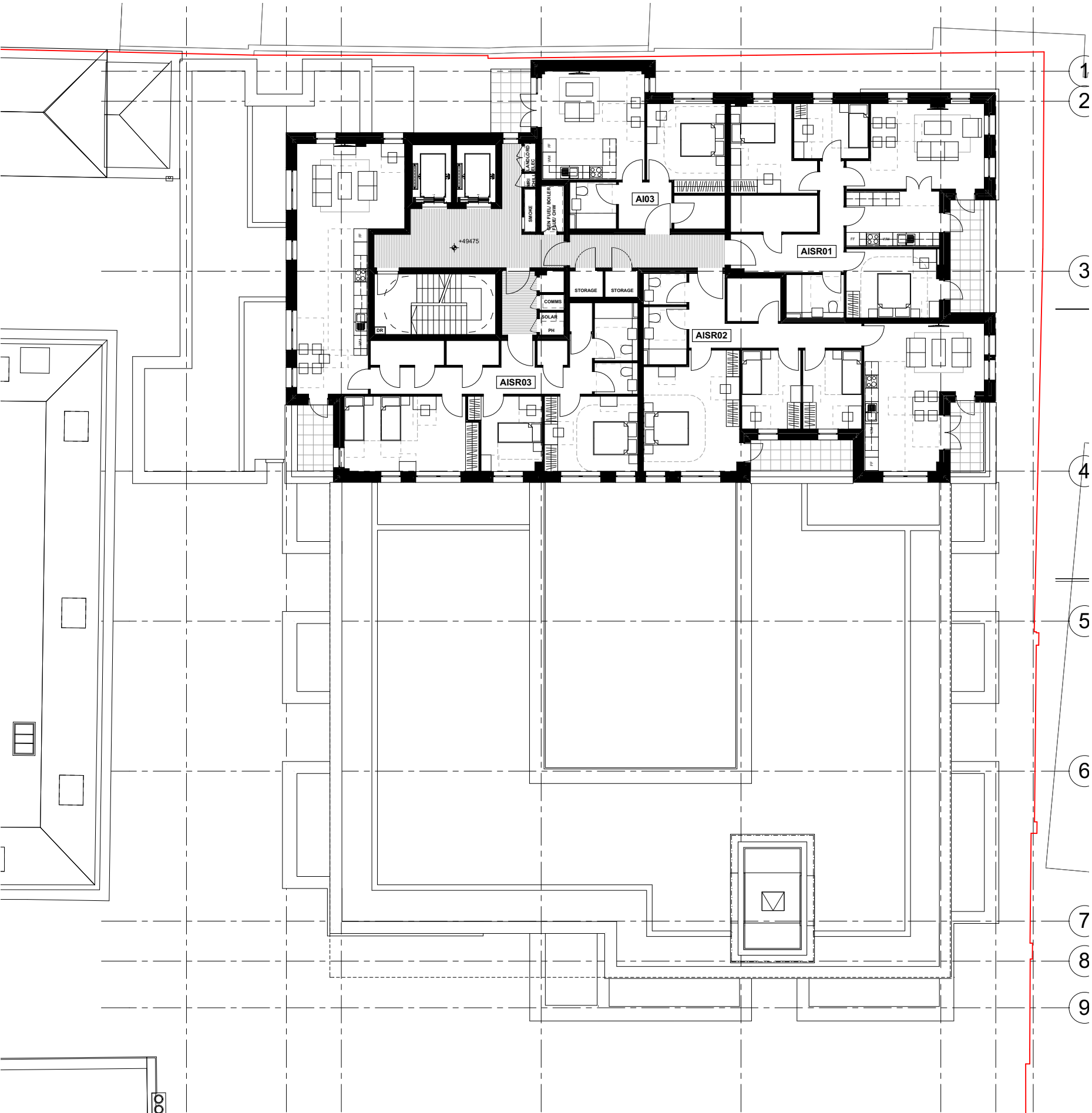
AISR01 90.8m² 3 bed (3B/4P)

AISR02 93.8m² 3 Bed (3B/4P)

AISR03 118.6m² 3 bed (3B/5P)



3.2.8 New Build Sixth Floor Plan - Revised Scheme



Sixth Floor Plan - Approved Scheme

Approved scheme unit areas

Affordable Intermediate Units

AI03 50.6m² 1 bed (1B/2P)
Bathroom and kitchen reconfigured

Affordable Social Rented

AISR01 93.1m² 3 bed (3B/4P)
kitchen & Bedroom reconfigured.
Balcony accessible from living room, kitchen
and master bedroom

AISR02 97.5m² 3 Bed (3B/4P)
Bedroom size increased to incorporate stor-
age. Kitchen & Bathroom reconfigured.

AISR03 122.9m² 3 bed (3B/5P)
Bathroom reconfigured

3.2.9 New Build Approved Planning - Seventh Floor Plan

Seventh Floor Plan - Approved Scheme

Approved scheme unit areas

Affordable Intermediate Units

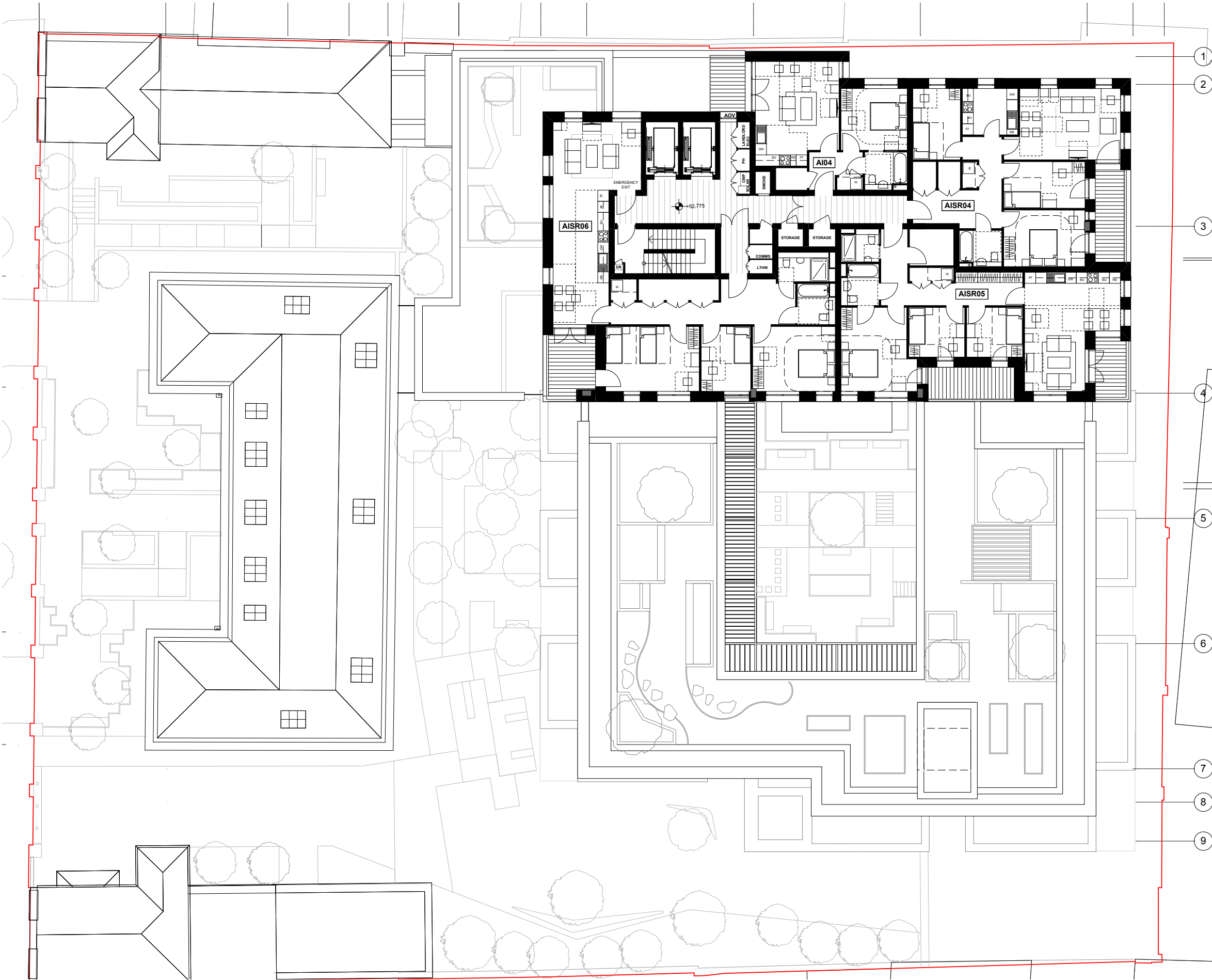
AI04 50.0m² 1 bed (1B/2P)

Affordable Social Rented

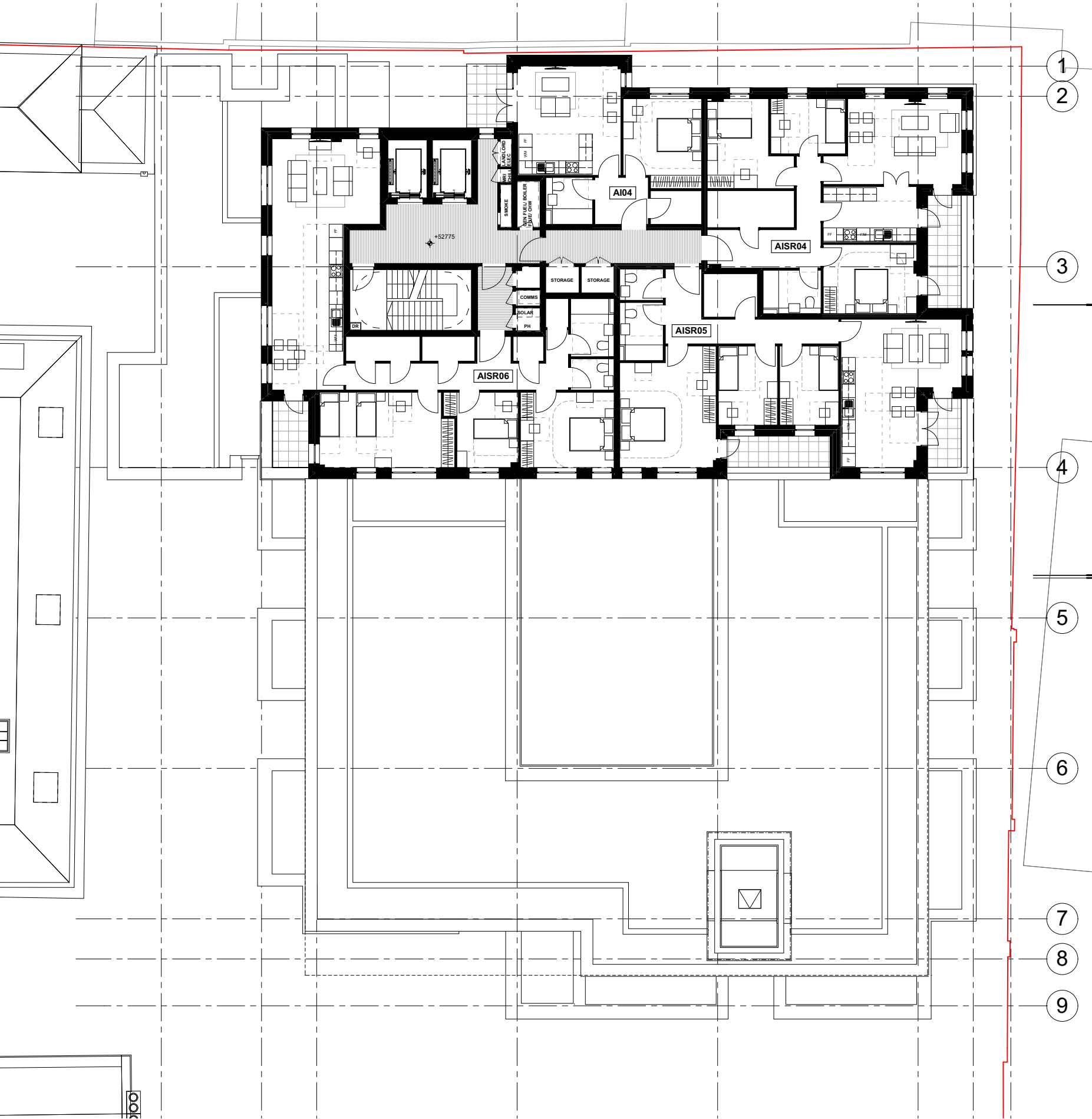
AISR04 90.8m² 3 bed (3B/4P)

AISR05 93.9m² 3 Bed (3B/4P)

AISR06 118.6m² 3 bed (3B/5P)



3.2.9 New Build Seventh Floor Plan - Revised Scheme



Sixth Floor Plan - Approved Scheme

Approved scheme unit areas

Affordable Intermediate Units

AI04 50.6m² 1 bed (1B/2P)
Bathroom and kitchen reconfigured

Affordable Social Rented

AISR04 93.1m² 3 bed (3B/4P)
kitchen & Bedroom reconfigured.
Balcony accessible from living room, kitchen
and master bedroom

AISR05 97.5m² 3 Bed (3B/4P)
Bedroom size increased to incorporate stor-
age. Kitchen & Bathroom reconfigured.

AISR06 122.9m² 3 bed (3B/5P)
Bathroom reconfigured

3.2.10 New Build Approved Planning - Roof Plan

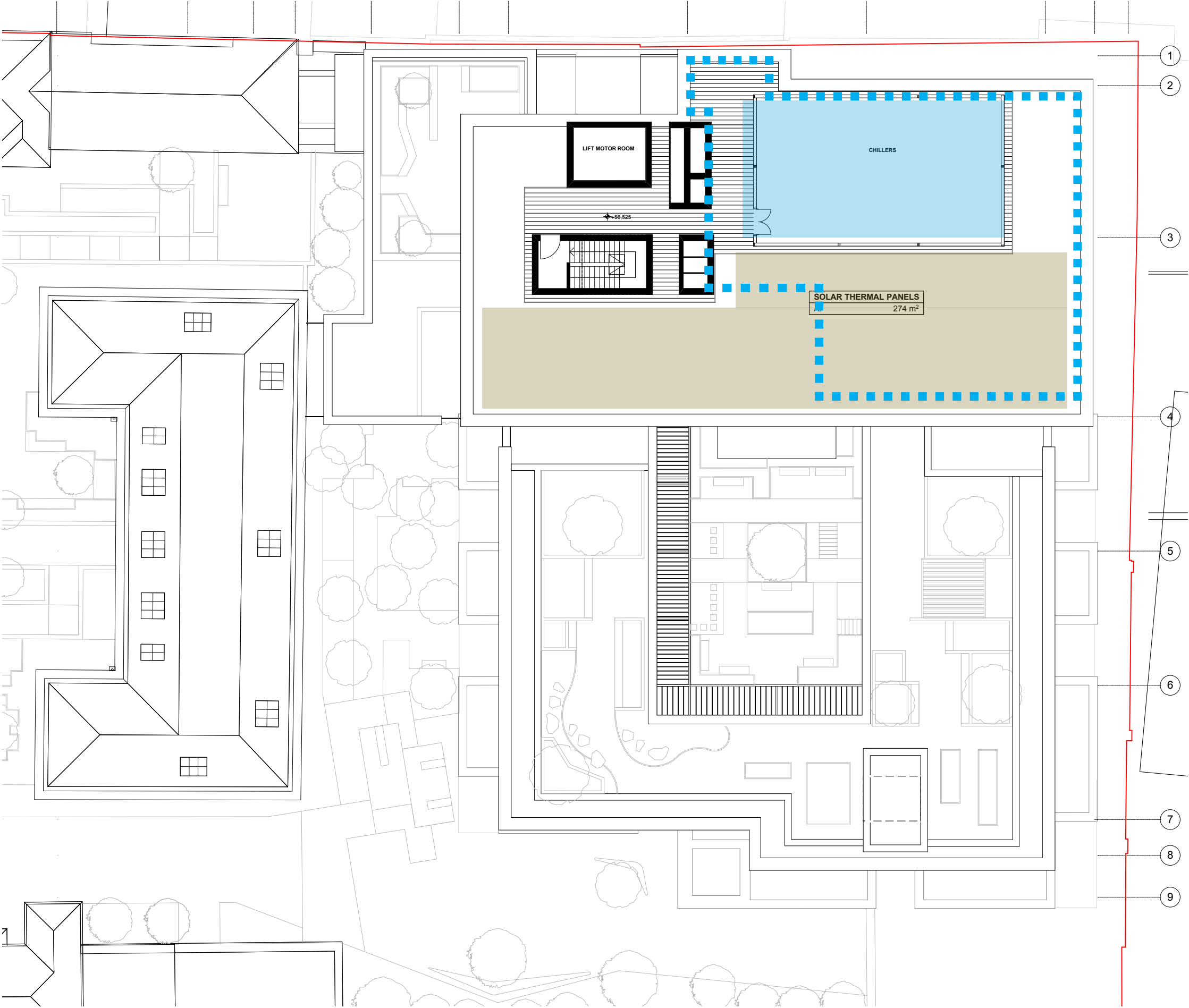
Roof Floor Plan - Approved Scheme

Plant area amended

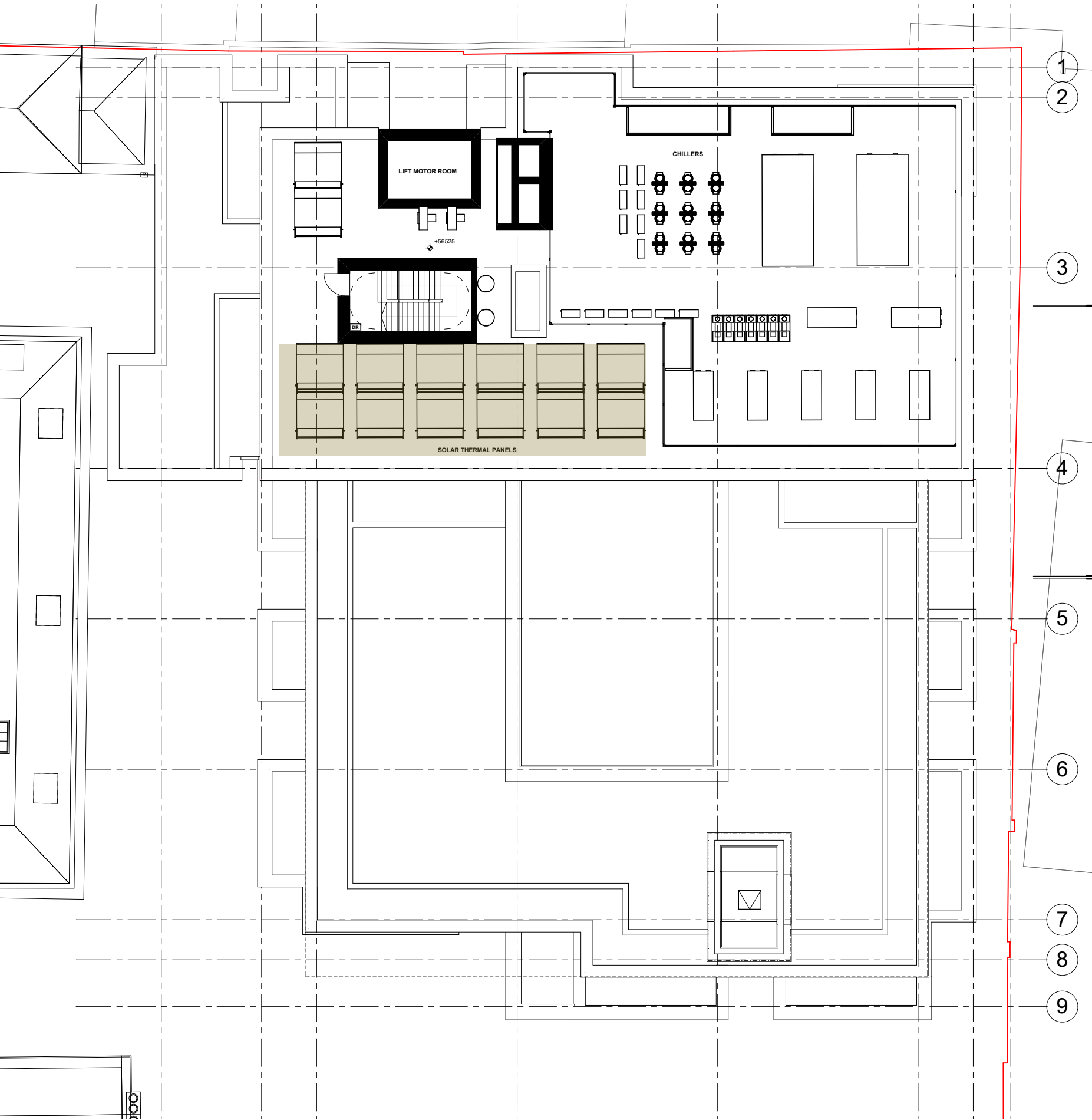
Plant space area increased

Plant area increased

Solar area reduced



3.2.10 New Build Roof Plan - Revised Scheme



Roof Floor Plan - Revised Scheme

Solar array area reduced.

Plant area reconfigured and increased for D1 facilities.